

District Name: Boone County District Code: 035 Facility Name: Cooper & Ryle High School School Code: 015, 071
Date: 7/22/26 REH: 129-1024-C

Project Name: Cooper and Ryle High School - Fieldhouse Additions

PROJECT TYPE:	Yes	No	Gross Building Area (sf.) Cooper	Gross Building Area (sf.) Ryle
New Building	☒	☐	<u>1,417sf</u>	<u>NA</u>
Addition	☒	☐	<u>6,581sf</u>	<u>5,195sf</u>
Renovation	☒	☐	<u>6,668sf</u>	<u>8,331sf</u>

Provisions for Future Expansion: No

Proposed Alternates: (1) No
(2) No
(3) No

Describe special conditions, phasing of project and alternates, attach a supplemental sheet, if needed.

BUILDING CONSTRUCTION CHARACTERISTICS:

Description of Building Structure:

Foundation: Poured concrete foundation & footings.

Exterior Walls: 8" CMU Core, spray air barrier polyisocyanurate insulation, air space, face brick

Roof Structure: Steel joist structure with 1 1/2" metal decking. EPDM fully adhered over gypsum cover board and polyisocyanurate insulation

ENERGY EFFICIENT DESIGN (KRS 157.450 and KRS 157.455):

n/a Energy Consumption "Existing" (kBtu/sf/yr)

65 Energy Consumption Target (kBtu/sf/yr)

YES NO

☐	☒	LEED Certified	Other: _____
☒	☐	Designed to meet Energy Star	
☒	☐	Exceeds ASHRAE 90.1(2007) by 10% (Minimum)	
☐	☒	Whole Building Life Cycle Cost Analysis Demonstrating Cost Effective Design	

Life Cycle Cost Analysis Software Used: _____

If not yes to one or more of the above, explain why. _____

☐	☒	Designed to be Net-Zero
☐	☒	Designed to be Net-Zero Ready

Energy Efficient Design Features: (See List Page 4, or Use Drop Down List)

East / West Building Orientation ☐ YES ☒ NO

Gross Exterior Wall Area (sf): Cooper: 5,883sf | Ryle: 4,065sf Avg. Exterior Wall R-Value: 13

Gross Window / Door Area (sf): Cooper: 869sf | Ryle: 899sf Avg. Window/Door R-Value: 1.7

Gross Roof Area (sf): Cooper: 7,998sf | Ryle: 13,526sf Avg. Roof R-Value: 28

Exterior Wall Type: Face brick, capurtd air space, board insulation and waterproof CMU Other: _____

Roofing Type: EPDM membrane over rigid insulation & metal decking Other: _____

HVAC System Type: _____ Other: L-Packaged RTU

Classroom Lighting: E - other Other: _____

Active Daylighting: F - none Other: _____

Passive Daylighting: G - None Other: _____

On Site Energy Generation: G - None Other: _____

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Air Purification Systems : YES ☐ NO ☒

Gray Water System : YES ☐ NO ☒

Low Water Use Fixtures : YES ☒ NO ☐

Other: _____

PLUMBING:

Type of Sewage Disposal: Municipal

HEATING, VENTILATION AND AIR CONDITIONING:

Heating Only: _____ Heating & Mechanical: _____ HVAC: X A/C Only: _____
Ventilation Only

Fuel Source/Backup (if applicable): Natural Gas

ELECTRICAL:

Source of Electric Power: Utility (Duke & Owen Electric)

Voltage Serving Facility: 277/480V

Number of Convenience Outlets:

Classrooms	<u>NA</u>
Library/Media Center	<u>NA</u>
Business Ed	<u>NA</u>
Family & Consumer Science	<u>NA</u>

Camera System: NA

Lighting Intensity (fc.):

Std. Classrooms	<u>NA</u>
Library/Media Ctr	<u>NA</u>
Science Lab	<u>NA</u>
Science Clrm	<u>NA</u>
Band/Music	<u>NA</u>
Business Ed	<u>NA</u>
Shops	<u>NA</u>
Corridors	<u>30</u>
Stairways	<u>NA</u>
Cafeteria	<u>NA</u>
Pre-School Clrm	<u>NA</u>
Art Classroom	<u>NA</u>
Gymnasium	<u>NA</u>

SPECIAL EQUIPMENT:

System	Conduit Only	Conduit & Wiring	Complete with Equipment
Bell	<u>_____</u>	<u>_____</u>	<u>_____</u>
Clock	<u>_____</u>	<u>_____</u>	<u>X</u>
Fire Alarm	<u>_____</u>	<u>_____</u>	<u>X</u>
Intercom	<u>_____</u>	<u>_____</u>	<u>X</u>
Telephone	<u>_____</u>	<u>X</u>	<u>_____</u>
Television	<u>_____</u>	<u>_____</u>	<u>_____</u>
Computer	<u>_____</u>	<u>_____</u>	<u>_____</u>
Wireless Network	<u>_____</u>	<u>X</u>	<u>_____</u>
Interactive White bd	<u>_____</u>	<u>X</u>	<u>_____</u>
Voice Amplification	<u>_____</u>	<u>_____</u>	<u>_____</u>

FIXED EQUIPMENT:

Teacher Cabinet	<u>No</u>	Custodial Room Shelves	<u>No</u>
Student Lockers	<u>No</u>	Science Laboratories	<u>No</u>
Folding Bleachers	<u>No</u>	Family & Consumer Sci	<u>No</u>
Library Furnishings	<u>No</u>	Other	<u>No</u>
Dry Food Shelves	<u>No</u>	Other	<u>No</u>

Project: Cooper and Ryle High School - Fieldhouse REH Project 129-1024-C

Date: 7/22/26

INTERIOR FINISH SCHEDULE:

AREA	FLOOR	WAINSCOT	WALLS	CEILING
General Office	Resinous	NA	Painted CMU	Acoustic Panel
Corridors	Resinous	NA	Painted CMU	Acoustic Panel
Custodial	Resinous	NA	Painted CMU	Drywall
Kitchen	NA	NA	NA	NA
Cafeteria	NA	NA	NA	NA
Gym	Rubber Tile	NA	Painted CMU	Exposed
Showers/Locker	Resinous	NA	Painted CMU	Drywall & Exposed
Toilets	Resinous	NA	Painted CMU	Drywall
Library/Media Cntr	NA	NA	NA	NA
Classrooms	NA	NA	NA	NA
Music	NA	NA	NA	NA
Art	NA	NA	NA	NA
Science	NA	NA	NA	NA
FMD	NA	NA	NA	NA

OTHER AREAS

Miscellaneous Project Specific Features:

Kentucky Registered Architect:

Signature
Robert Ehmet Hayes & Associates, PLLC

Date: 7-22-26

Kentucky Registered Engineer:

Signature
Beaman Shuler, PE

Date: 7/23/2026

Board Designee or Superintendent:

Signature

Date:

District Name: Boone County District Code: 035 Facility Name: Cooper & Ryle High School School Code: 015, 071

Project Name: Cooper & Ryle High School - Fieldhouse Addition REH Project #129-1024-C Date: 7/23/26

Project Phase:	Design Development:	☐	Construction Documents:	☒
1. Site Development	\$		1,250,000.00	
2. General Construction	\$		2,400,000.00	
3. Heating, Ventilation & Air Conditioning	\$		1,900,000.00	
4. Plumbing (Include Sprinkler System)	\$		500,000.00	
5. Electrical Work / CT	\$		1,100,000.00	
6. Sewage Disposal System	\$			
7. Total Construction Cost (1-6)			\$	7,150,000.00
8. Site Acquisition Cost (Purchase Price)	\$			
9. Legal Services	\$			
10. Fiscal Agent Fee	\$			
11. Bond Discount	\$			
12. Architect/Engineer Fee	\$		417,800.00	
13. Construction/Manager Fee (if Applicable)	\$			
14. Equipment/Furnishings (Not Fixed)/Computers	\$		600,000.00	
15. Property & Topographic Survey	\$		20,000.00	
16. Geotechnical Survey & Report	\$		35,500.00	
17. Special Inspections	\$		40,000.00	
18. Asbestos Abatement	\$			
19. Commissioning Fee	\$		30,000.00	
20. Plan Review Fee	\$		20,000.00	
21. Reproduction Bid Docs / Reimbursables	\$			
22. Contingencies - Minimum 5% of Line 7	\$		357,500.00	
23. Other Cost (Describe) TAB	\$		13,000.00	
24. Total Other Cost (8-23)				
25. TOTAL PROJECT COST (line 7 + line 24)			\$	8,683,800.00
a. Gross Square Foot Area*				
b. Total Cost Per Square Foot				
c. Total Cost Per Pupil			\$	
d. Gross Sq. Ft. Area of Alternates				
* Base Bid Area Only				

Kentucky Registered Architect/Engineer: Robert Ehmet Hayes & Associates, PLLC Date: 7/22/2026
Board of Education Designee: _____ Date: _____

Boone County Schools - Fieldhouse Addition & Renovations

Cooper & Ryle High Schools

Cooper: 2855 Longbranch Rd, Union, KY 41091
Ryle: 10379 US-42, Union, KY 41091

Boone County Board of Education
Dr. Jeff Hauswald, Superintendent



Cooper Illustrative Concept



Ryle Illustrative Concept



ROBERT EHMET HAYES & ASSOCIATES, PLLC
465 Centre View Blvd, Crestview Hills, KY 41017 - (859) 331-3121



REH&A
ARCHITECTS
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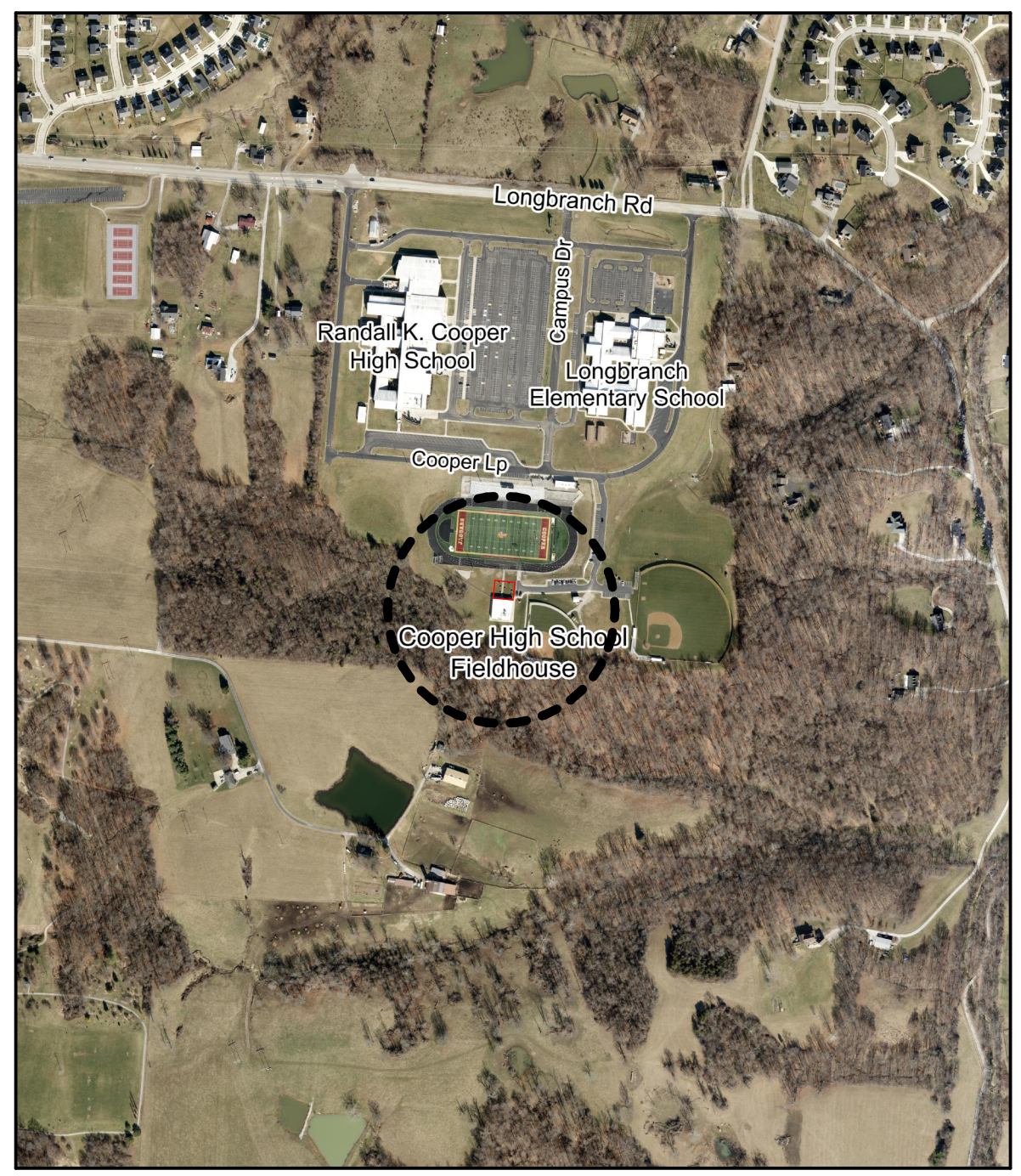


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Boone County Schools - Fieldhouse Addition & Renovations
Cooper & Ryle High Schools
Cooper: 2855 Longbranch Rd, Union, KY 41091
Ryle: 10379 US-42, Union, KY 41091
Boone County Board of Education
Dr. Jeff Hauswald, Superintendent

SHEET TITLE
Cover Sheet
BG #
26-214
REH #
129-1024-C
DATE
08/13/26
TS

Vicinity Maps



General Notes

- Construct all partitions up through finish ceiling and terminate against underside of decking.
 - Construct partitions snug to all ductwork penetrations, electrical panel recesses, and all miscellaneous openings. Note: Any ductwork, piping, or electrical work shown on architectural drawings is shown for reference, always refer to mechanical, plumbing, and electrical drawings for locations.
 - Provide sealant where dissimilar materials adjoin such as at perimeter of window frames, door frames, etc.
 - Dimensions listed shall take precedence over scaled dimensions. If a dimension isn't shown, please ask architect to provide and make no assumptions.
 - Any thru-roof penetrations (ductwork, roof hatch, etc.) shall have spray-foam installed around the perimeter to ensure no air leakage, see details.
 - The word "Typical" applies to all similar conditions unless noted otherwise.
- NOTE: Renderings are for conceptual and illustrative purposes only. Refer to drawings for all construction information.**

Legend / Symbols

ADA Same as HC	MO Masonry Opening
AFF Above Finish Floor	MR Mirror
CJ Control Joint	NIC Not in Contract (ie. by other)
CMU Concrete Masonry Unit	NOM Nominal
CO Clean out	O.C. On Center
DS Downspout	PTD Paper Towel Dispenser
DW Drywall	RO Rough Opening
EJ Expansion Joint	SND Sanitary Napkin Dispenser
FV Field Verify	SIM Similar
FE Fire Extinguisher	TTD Toilet Tissue Dispenser
FFE Finish Floor Elevation	TJ Tool Joint
GB Grab Bar	Typ. Typical
HC Handicap (ie. complies w/ ADA)	UNIO Unless Noted Otherwise
Horiz. Horizontal	Vert. Vertical
LAV Lavatory	WC Water Closet
ME Match Existing	WWF Welded Wire Fabric
MFR Manufacturer	

Sheet Index

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COOPER CIVIL		CM0.1 Cooper - Mechanical Legend & General Notes	RF0.1 Ryle - Fire Protection Legend & General Notes
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CC-002	General Notes	CM1.1 Cooper Fieldhouse Plans - Hvac	
CC-100	Existing Conditions & Demolition Plan	CM1.2 Cooper Concessions Building Plans - Hvac	RYLE PLUMBING
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CC-300	Grading & Erosion Control Plan	CM5.2 Cooper - Mechanical Details	RPD1.1 Ryle Fieldhouse Plan - Plumbing Demolition
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CP6.1	Cooper - Plumbing Schedules	RS321 Typical Framing Sections	RS321 Typical Framing Sections

Code Notes

- Cooper:**
- Project Description:** This project consists of a one-story addition to the existing fieldhouse, along with extensive mechanical & architectural renovations, and the replacement of plumbing fixtures, lighting, and ceilings throughout the building, etc. See drawings for full extent of work. Additionally, a new one-story concessions & restrooms building will be constructed to the west of the softball field.
 - Egress Widths:** The new weight room has an occupant load of 55 and the new locker room has an occupant load of 60, calculated based on the locker count per local code official directive (which is higher than the area calculation). Both spaces accommodate their loads by providing two exits within a maximum 75-foot common path of egress travel distance. All other added spaces maintain an individual occupant load of less than 50, providing at least one exit access within a 75-foot common path of travel and a total exit access travel distance of less than 250 feet, which complies with 2015 IBC Tables 1006.2.1 and 1017.2 for a fully sprinklered Group E occupancy. No existing spaces are being altered or renovated to an extent that will modify, reduce, or impact existing building layouts, egress paths, or established occupant load areas.
 - Tabular Area:** The fieldhouse is classified as a Group E occupancy of Type II-B newly sprinklered construction (CMU exterior walls, interior masonry load-bearing partitions, and steel joist roof framing), with an allowable building area of 58,000 sq. ft.; the proposed 6,646 sq. ft. footprint addition combined with the 6,668 sq. ft. existing structure yields a total area of 13,314 sq. ft., which complies with 2015 IBC Table 506.2 requirements. The standalone concessions building is classified as a Group B occupancy of Type V-B non-sprinklered construction CMU exterior bearing walls, interior masonry partitions, and a wood joist roof structure), with an allowable area of 9,000 sq. ft. and a total proposed area of 1,416 sq. ft., which also fully complies.
 - Wall Ratings:** Since the whole fieldhouse building will be sprinklered and there is no adjacent building, the walls interior and exterior do not require a rating.
 - Building Height:** Per IBC table 504.4, maximum allowable building height for a construction type II-B sprinklered, use group E building is 75 feet. For a construction type V-B non-sprinklered, use group B building it is 40 feet. The maximum height of the fieldhouse is 16'-4" and the concessions 12'-6" therefore okay.
- Ryle:**
- Project Description:** This project consists of a one-story addition to the existing fieldhouse, along with extensive mechanical & architectural renovations, and the replacement of plumbing fixtures, lighting, and ceilings throughout the building, etc. See drawings for full extent of work.
 - Egress Widths:** The new weight room has an occupant load of 55. This spaces accommodate it's load by providing two exits within a maximum 75-foot common path of egress travel distance. All other added spaces maintain an individual occupant load of less than 50, providing at least one exit access within a 75-foot common path of travel and a total exit access travel distance of less than 250 feet, which complies with 2015 IBC Tables 1006.2.1 and 1017.2 for a fully sprinklered Group E occupancy. No existing spaces are being altered or renovated to an extent that will modify, reduce, or impact existing building layouts, egress paths, or established occupant load areas.
 - Tabular Area:** The fieldhouse is classified as a Group E occupancy of Type II-B newly sprinklered construction (CMU exterior walls, interior masonry load-bearing partitions, and steel joist roof framing), with an allowable building area of 58,000 sq. ft.; the proposed 5,162 sq. ft. footprint addition combined with the 8,337 sq. ft. existing structure yields a total area of 13,499 sq. ft., which complies with 2015 IBC Table 506.2 requirements.
 - Wall Ratings:** Since the whole fieldhouse building will be sprinklered and there is no adjacent building, the walls interior and exterior do not require a rating.
 - Building Height:** Per IBC table 504.4, maximum allowable building height for a construction type II-B sprinklered, use group E building is 75 feet. The maximum height of the fieldhouse is 17'-0" therefore okay.

The applicable building code for this project is the 2018 Kentucky Building Code (2015 IBC with amendments). The applicable accessibility code is the ANSI A117.1 (2009). The applicable energy code is ASHRA 90.1 (2010)

Construction Type: II-B, V-B
Use Group: E, B



ROBERT EHMET HAYES & ASSOCIATES, PLLC
465 Centre View Boulevard, Building 18, Crestview Hills, Kentucky 41017
859-331-3121

July 23, 2026

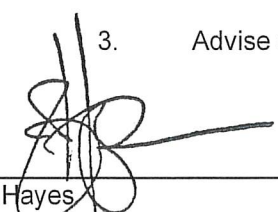
VIA EMAIL and CITY DASH

To: Kim Best, Assistant Superintendent of Operations
Boone County Board of Education

Re: Boone County Schools
Cooper & Ryle High School
Fieldhouse Addition & Renovations
REH #129-1024-C / BG #26-214

- Enclosures:
1. Final review set of Bidding Documents (PDFs), dated August 13, 2026. *Hard copies of final Bidding Documents will be sent for your record upon receipt of review comments from District staff.*
 2. Two copies of BG-2, dated July 22, 2026.
 3. Two copies of BG-3, dated July 22, 2026.

- Action Required:
1. Obtain Board approval of the Bidding Documents, BG-2 and BG-3.
 2. Execute both copies of the BG-2 and BG-3 and forward one copy of each to our office. Retain the second copy for your file.
 3. Advise of any changes to be issued by addendum.



Joseph Hayes

JAH:hkw