



FIELD OBSERVATION REPORT

West Hardin Middle School, 202280 -CA8

Date: 6/9/2026 Time: 1:30 PM

Weather: Cloudy/80°

Observed by: Joseph Jones, AIA

Report No: 38

Trades Observed on Site: General Trades, Sheet Metal, Glazers, Plumbers, Mechanical, Electricians

1. Work observed in Progress

- a) The site was wet from recent storms.
- b) Window installation.
- c) Mechanical and plumbing work.
- d) Electrical work.

2. General Observations

- a) Jeremy has been focusing on getting the entire building enclosed as soon as possible. He noted that Area A is requiring a great deal of work because of the differing roof configurations, the number of windows and doors and exterior finishes. Once this area is enclosed, the entire building can be under environmental control, and finishes can be installed in all areas. Cement panels are not installed on the platform enclosure, and windows are not yet in place.

Area D was the first area to be enclosed. Roofing, windows, doors and exterior finishes are mostly in place.



- b) Overall, the building appears capable of being fully enclosed within the next few weeks. After the enclosure is complete, the focus will shift to interior finishes and to mechanical and electrical trim and controls.



- c) The Area A classroom wing still requires brick and windows to be installed. Some of the spray insulation is not yet in place.



- d) Window framing was being installed in the administrative area at the south entrance to Area A.



- e) Windows were not yet installed in the exterior walls in the courtyard between the Area A classroom wings.



- f) Most of the enclosure for the concession building is in place. Windows and doors were in place. The coiling door at the concessions window was not yet installed.



The interior of the concessions building was started and the wallboard ceiling was installed. Block-fill had been applied and the first coat of paint applied to the ceiling.

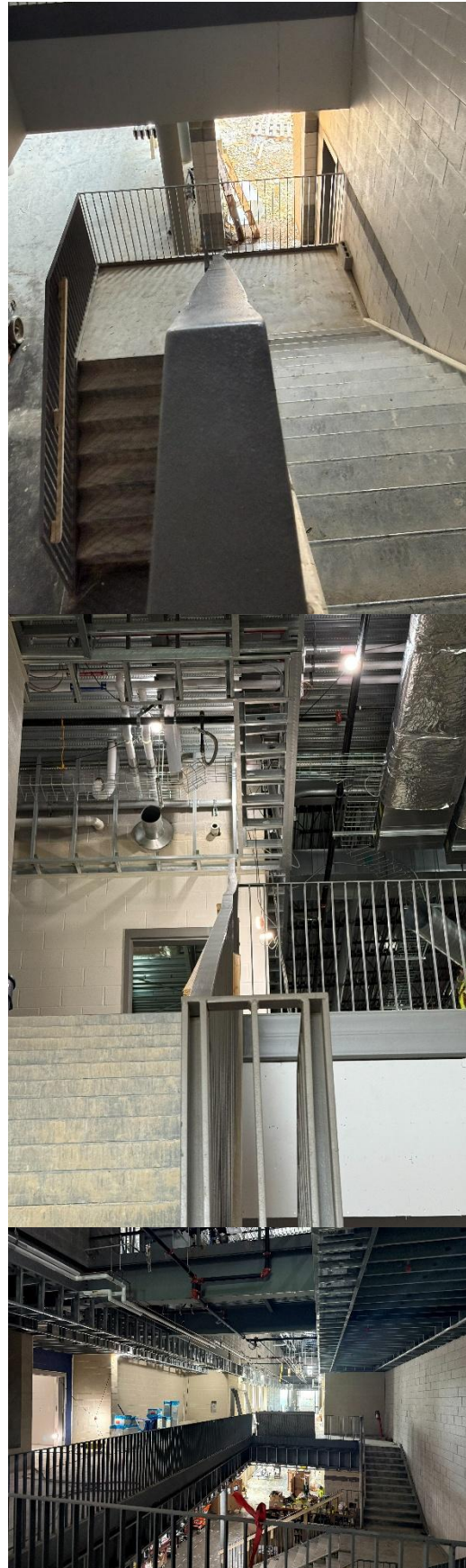


- g) The focus along the main corridor is to install wallboard over the soffit framing, complete the field areas and then hang ceiling tiles.



- h) During a recent walkthrough we noted that several of the top rails at the stairs were not straight from end to end.

All the top rails that are out of alignment must be straightened.



- i) The two-story opening space at the central stair will be a challenge for the installation of wallboard soffits and acoustical ceilings. Most of this work will need to be done off scaffolding.

- j) Plumbing fixtures were being installed in Area D. Electric water coolers were being installed in the alcoves near the student toilets.

The handwash sink was installed at the entrance to the student toilets. Horizontal surfaces tend to be used as work benches. The sink material is durable but can still be damaged through improper use. The sink needs to be protected.

- k) With the wall and floor tile in place the toilet room is ready for the plumbing fixtures and toilet partitions.

- l) Wall and floor tiles were installed in the staff toilet in Area D.



- m) Most of the finishes and cabinets were installed in the art room. The student tables still need to be installed the room.



- n) Wood and hollow metal doors were being hunk throughout Area C and D.

These must be protected.



- o) The locker rooms in Area D appeared to be ready to receive the metal lockers.



- p) The hollow metal storm shelter door frames were approved by the Kentucky Department of Housing for installation. The system used to install the frames was tested to meet the building code requirements for storm and fire protection of the storm shelter.



- q) Metal wall and soffit framing appeared to be mostly installed throughout the building. After electrical and plumbing work is complete in the framing, metal bridging is required to be installed.



- r) The library will have wallboard soffits and a sloped acoustical ceiling.



- s) The stacks and reading area for the library is surrounded with windows for natural light.



3. Stored Material Observed:

- a) Concrete accessories.
- b) Concrete block, brick and accessories.
- c) Window systems.
- d) Finishes including paint, tile, terrazzo, and floor polishing materials.
- e) Kitchen equipment.
- f) Casework.
- g) Sanitary piping and fittings,
- h) Mechanical ductwork, units, GRDs, and equipment.
- i) Electrical conduits, fixtures, trim and fittings.

4. Follow up items:

- a) Final special inspection reports with emphasis on the storm shelter area.
- b) Keep as-builts up to date.

Follow up by:

☐ Architect, ☐ Owner, ☐ MEP Engineer, ☐ Structural Engineer,
☐ Civil Engineer ☒ Construction Manager, Other

Respectfully submitted,

JRA Architects

Joseph Jones, AIA, Construction Contract Administrator

Cc: 202280, CA8, HCS, Wehr, Icon, STW, EDG, JRA