

District Name: Boone County District Code: 035 Facility Name: Ignite Institute School Code: 160

Project Name: Renovations Phase 2 REH Project #129-524 Date: 11/14/24

Project Phase:	Design Development:	<input checked="" type="checkbox"/>	Construction Documents:	<input type="checkbox"/>
1. Site Development	\$			
2. General Construction	\$		1,374,570	
3. Heating, Ventilation & Air Conditioning	\$		200,000	
4. Plumbing (Include Sprinkler System)	\$			
5. Electrical Work	\$		450,000	
6. Sewage Disposal System	\$			
7. Total Construction Cost (1-6)				<u>2,024,570</u>
8. Site Acquisition Cost (Purchase Price)	\$			
9. Legal Services Landscaping	\$			
10. Fiscal Agent Fee	\$			
11. Bond Discount	\$			
12. Architect/Engineer Fee	\$		164,598	
13. Construction/Manager Fee (if Applicable)	\$			
14. Equipment/Furnishings (Not Fixed)/Computers	\$		485,175	
15. Property & Topographic Survey	\$			
16. Geotechnical Survey & Report	\$			
17. Special Inspections	\$			
18. Asbestos Abatement	\$			
19. Commissioning Fee	\$			
20. Plan Review Fee	\$		7,500	
21. Printing & Distribution of Bid Docs / Adv / Reimb	\$		2,000	
22. Contingencies - Minimum 5% of Line 7	\$		101,229	
23. Testing and Balancing	\$			
24. Total Other Cost (8-23)				<u>760,502</u>
25. <b>TOTAL PROJECT COST (line 7 + line 24)</b>				<u>\$2,785,072</u>

- a. Gross Square Foot Area\* \_\_\_\_\_
- b. Total Cost Per Square Foot \_\_\_\_\_
- c. Total Cost Per Pupil \$ \_\_\_\_\_
- d. Gross Sq. Ft. Area of Alternates \_\_\_\_\_  
\* Base Bid Area Only

Kentucky Registered Architect/Engineer: \_\_\_\_\_ Date: 10/22/24

Board of Education Designee: \_\_\_\_\_ Date: \_\_\_\_\_

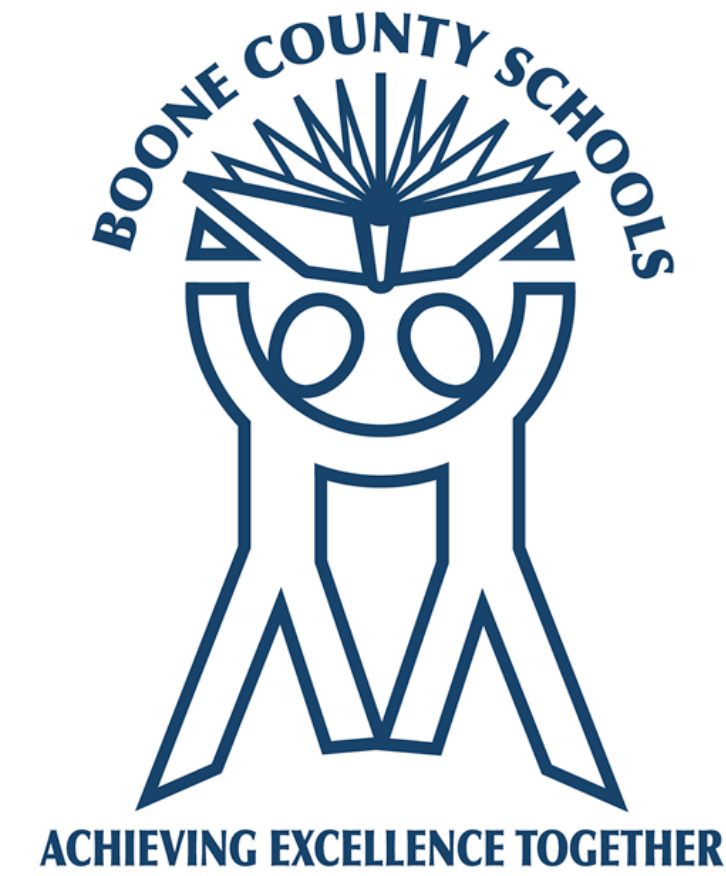
# Ignite Institute Phase 2 Renovations

Design Development



37 Atlantic Avenue  
Erlanger, Kentucky 41018

Boone County Board of Education  
Dr. Jeff Hauswald - Superintendent



**REH&A**  
ARCHITECTS  
ROBERT EHMET HAYES & ASSOCIATES, PLLC  
465 CENTRE VIEW BLVD. - CRESTVIEW HILLS, KY 41017 - (859) 331-3121



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SHEET TITLE  
TITLE SHEET

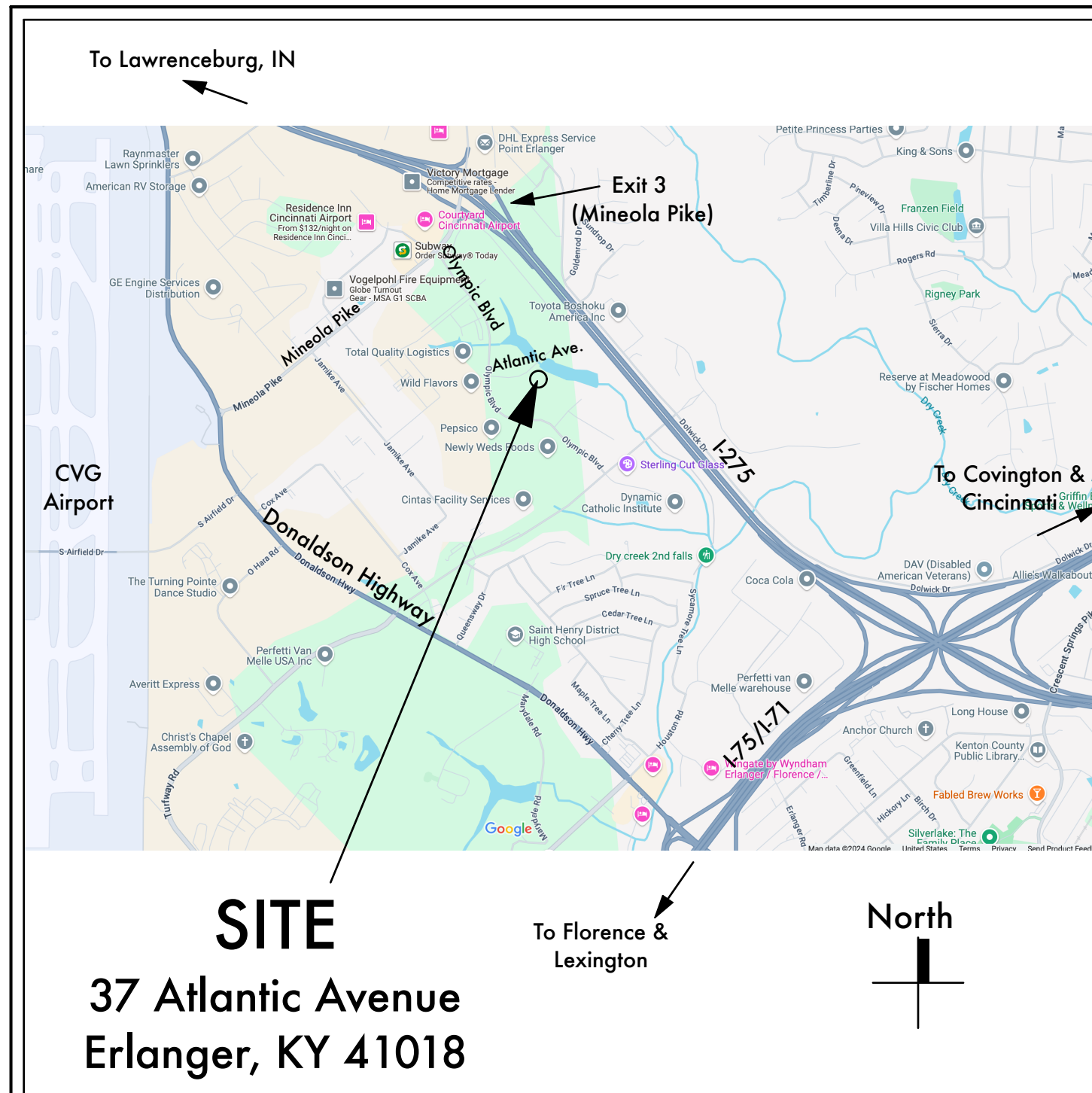
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REH #  
129-524

DATE  
10/23/24

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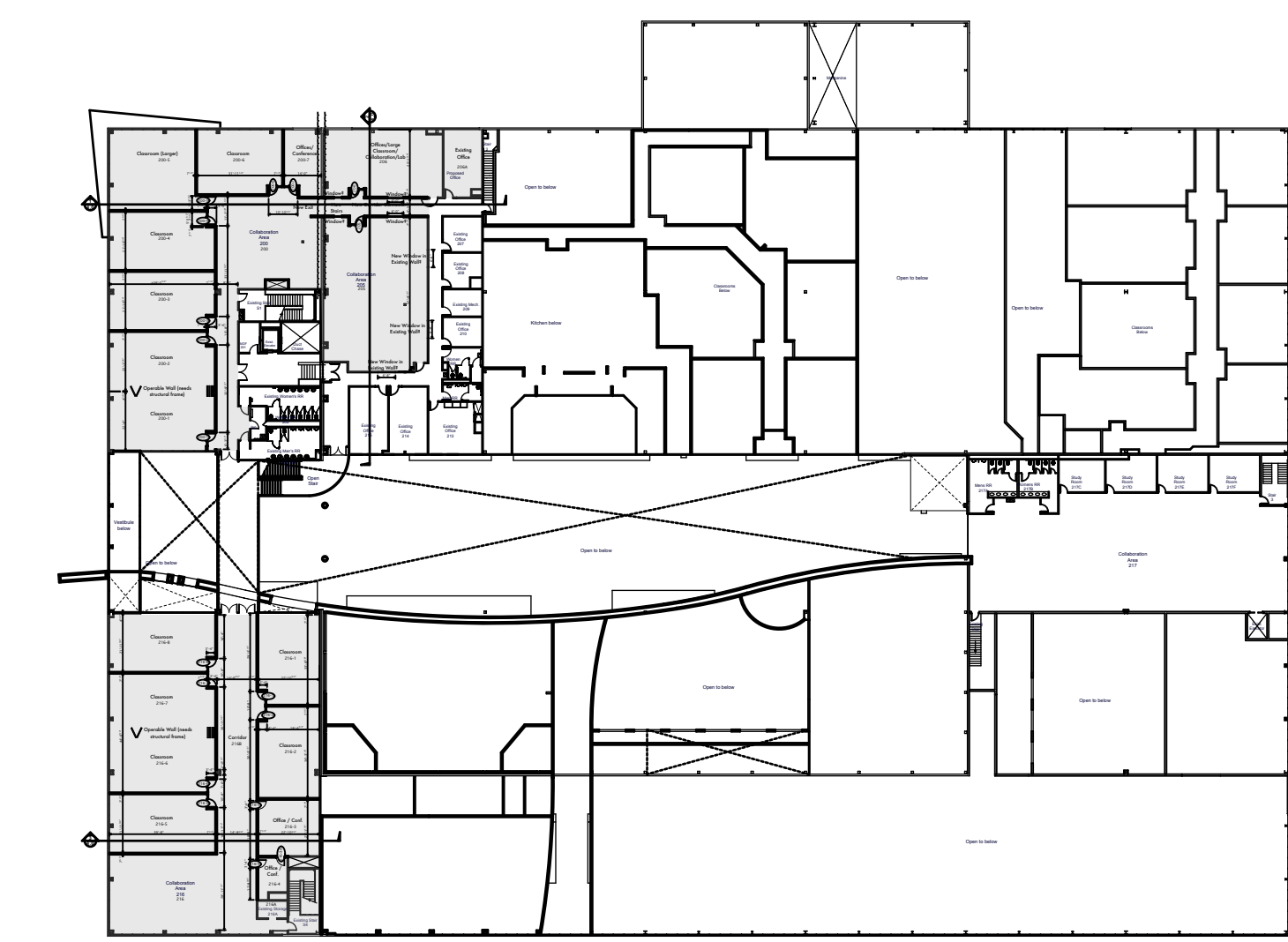
## Vicinity Map



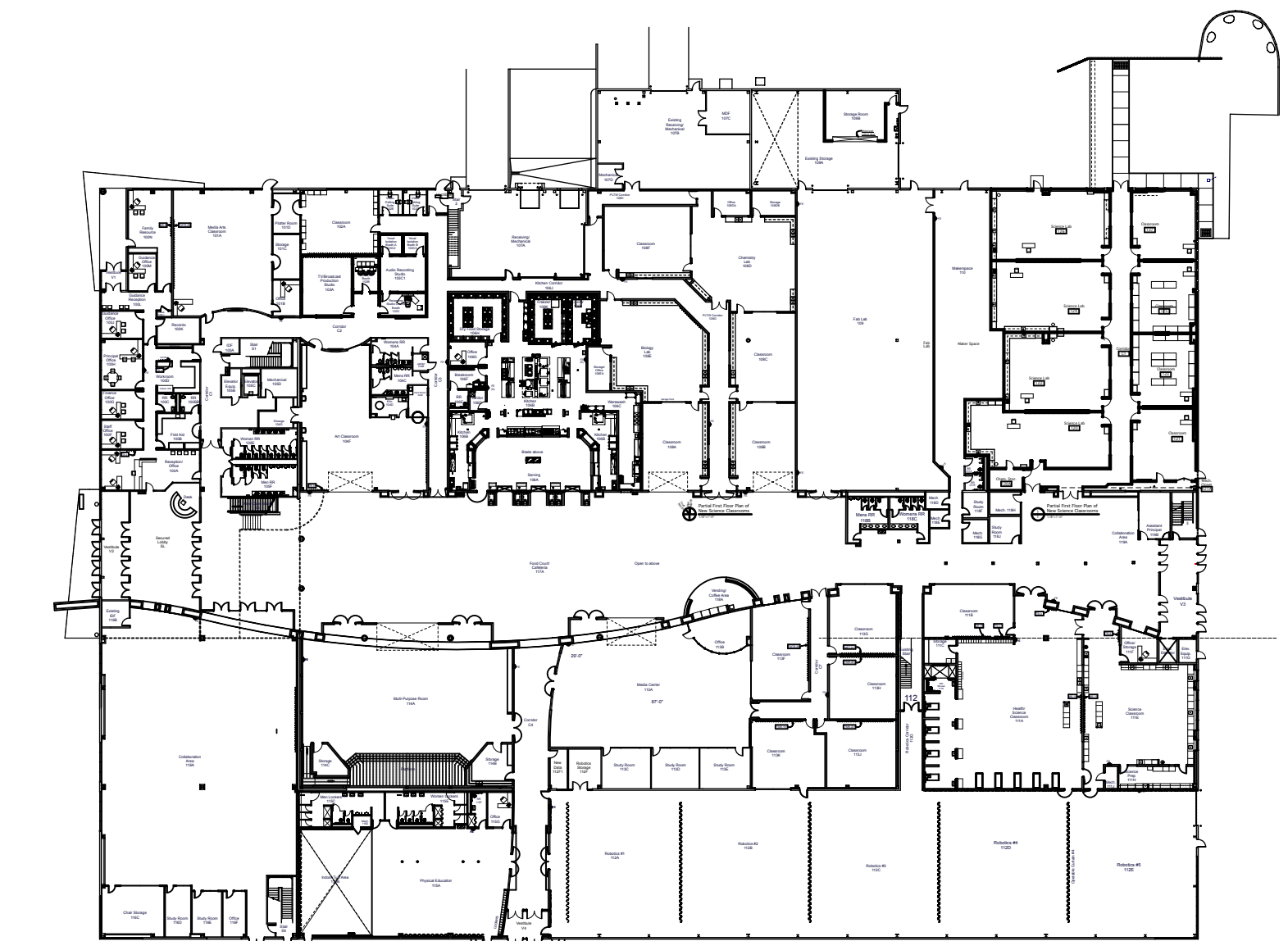
## General Notes

## Sheet Index

## Key Plan



(Renovation in Shaded Area)  
Second Floor Key Plan  
1/64" = 1'-0"

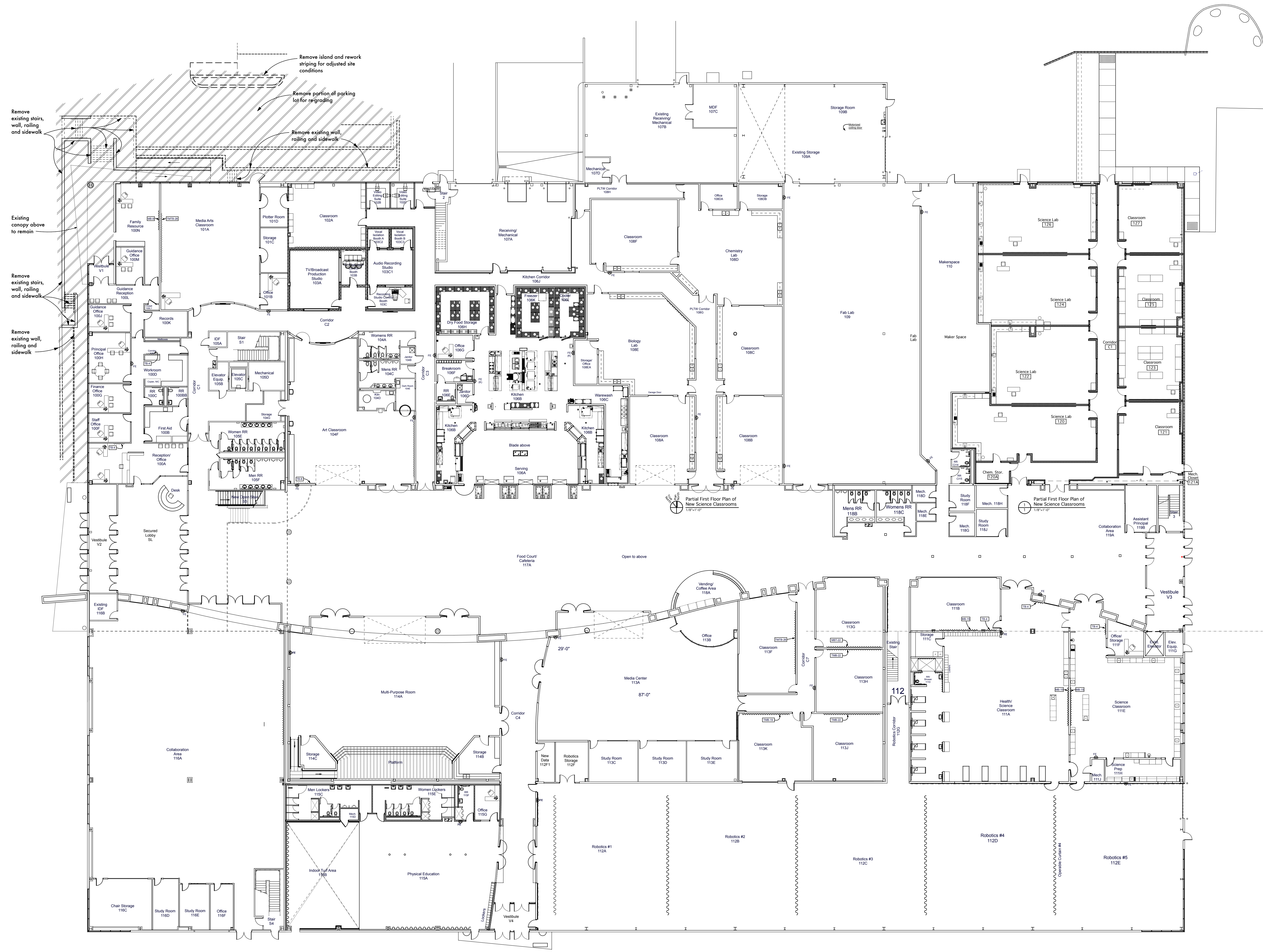



(No Significant Work on this floor)  
First Floor Key Plan  
1/64" = 1'-0"

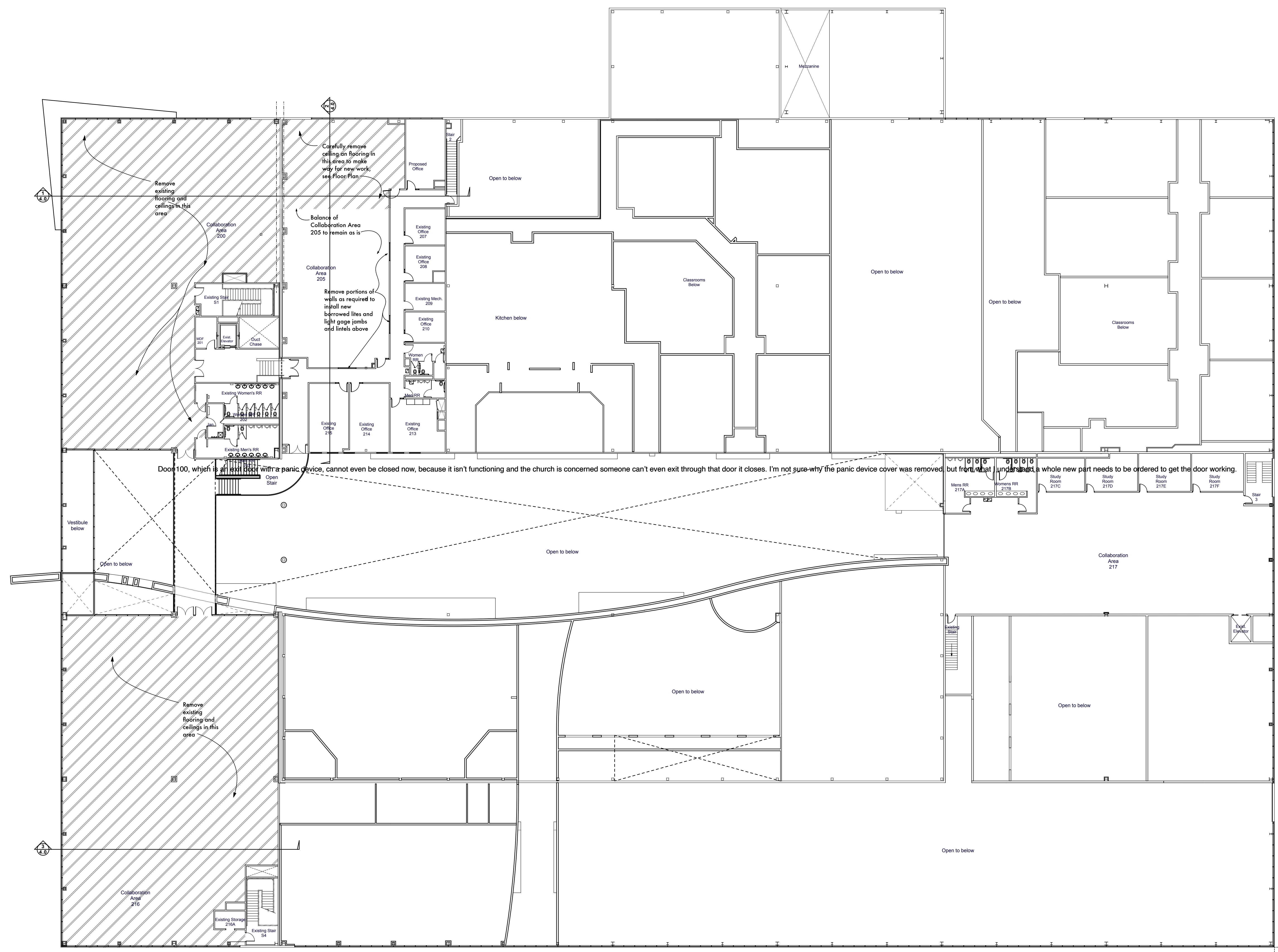
## Legend / Symbols

## Building Code Notes

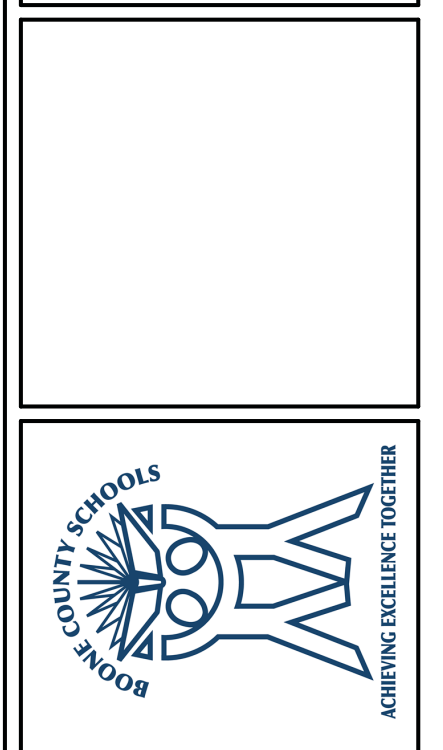
1. The existing building is a partial 2-story structure, Use Group E. The building has a footprint size of 138,350 square feet.
2. The building is 100% sprinklered and was improved to be a Type IB construction when it was renovated in 2018-2019. All of the existing floor construction was spray fireproofed to achieve a 2-hour rating except for a few areas that have existing drywall ceilings. The existing roof decks, joists, beams, etc. over the second floor areas are less than 20' and were rated due to the fact that all the areas are finished office space. All structural frame components for the one-story areas have a 1-hour rating since they are only supporting a roof.
3. Building is protected by an ADA compliant addressable fire alarm system with strobes. The entire building also has an automatic detection system (smoke detectors) installed in accordance with NFPA 72 Section 17.5.3.1 in order to provide an extra level of safety since the second floor deck/structure is not rated. New fire extinguishers will be provided in the area of this renovation. Locations indicated but are to be verified with the fire department by the contractor.
4. The building has full perimeter access and has no structures within 50'.




 (Renovation in Shaded Area)  
**Existing / Demolition Plan - First Floor**  
 1/16" = 1'-0"




 (Renovation in Shaded Area)  
**Existing / Demolition Plan - Second Floor**  
 1/16" = 1'-0"



SHEET TITLE  
**SECOND FLOOR DEMOLITION/EXISTING PLAN**

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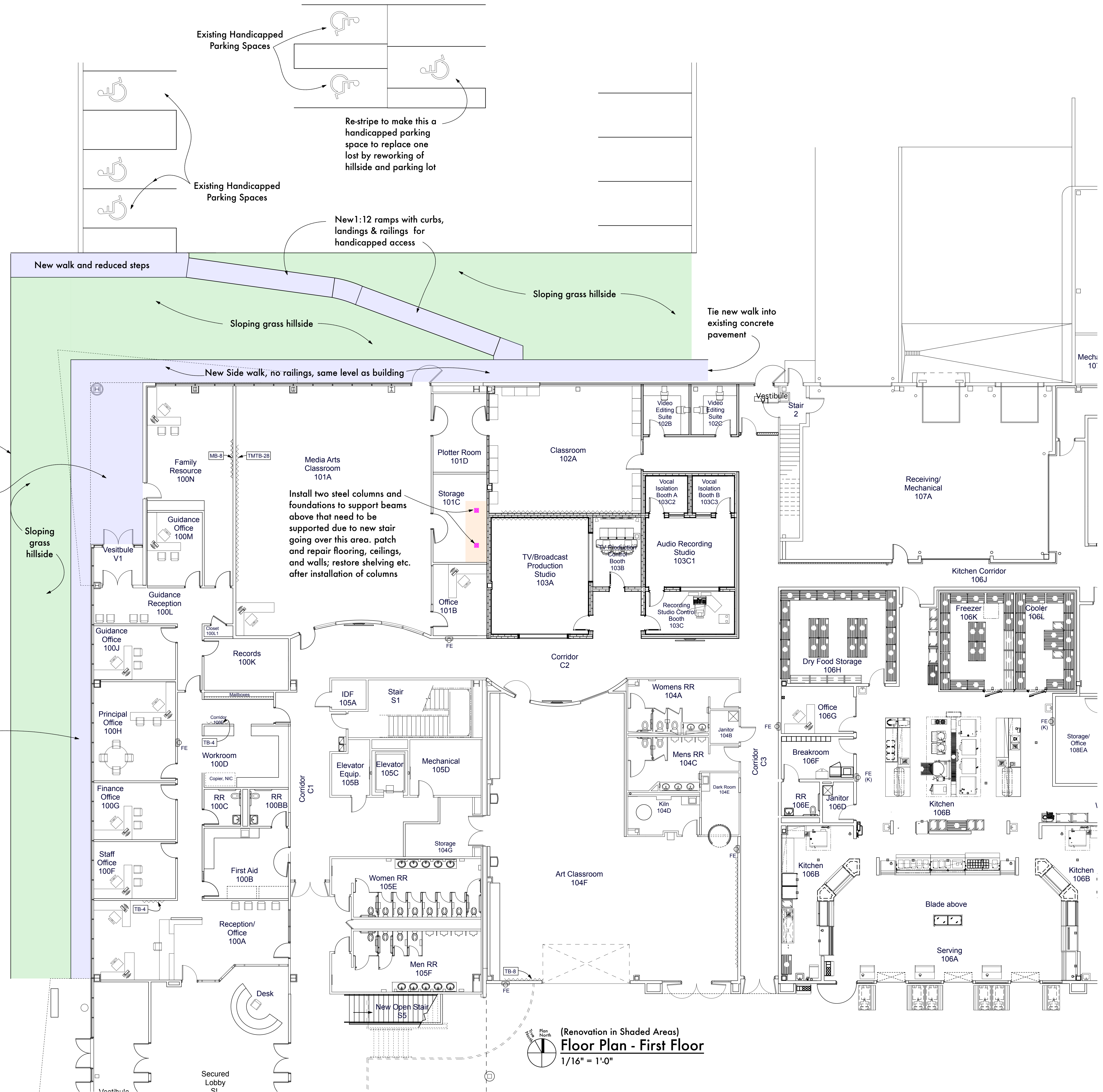
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**D2**




 (Renovation in Shaded Areas)  
**Overall Plan - First Floor**  
 1/16" = 1'-0"



Move pavement line out to make space for toe of hillside slope

New sidewalk, no railings, same level as building

Sloping grass hillside

New sidewalk, no railings, same level as building

Existing Handicapped Parking Spaces

Existing Handicapped Parking Spaces

Re-stripe to make this a handicapped parking space to replace one lost by reworking of hillside and parking lot

New 1:12 ramps with curbs, landings & railings for handicapped access

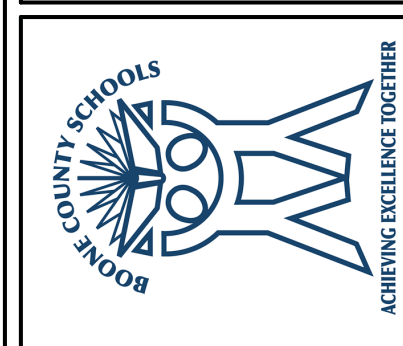
Sloping grass hillside

Tie new walk into existing concrete pavement

New Side walk, no railings, same level as building

Install two steel columns and foundations to support beams above that need to be supported due to new stair going over this area. patch and repair flooring, ceilings, and walls; restore shelving etc. after installation of columns

(Renovation in Shaded Areas)  
**Floor Plan - First Floor**  
 1/16" = 1'-0"

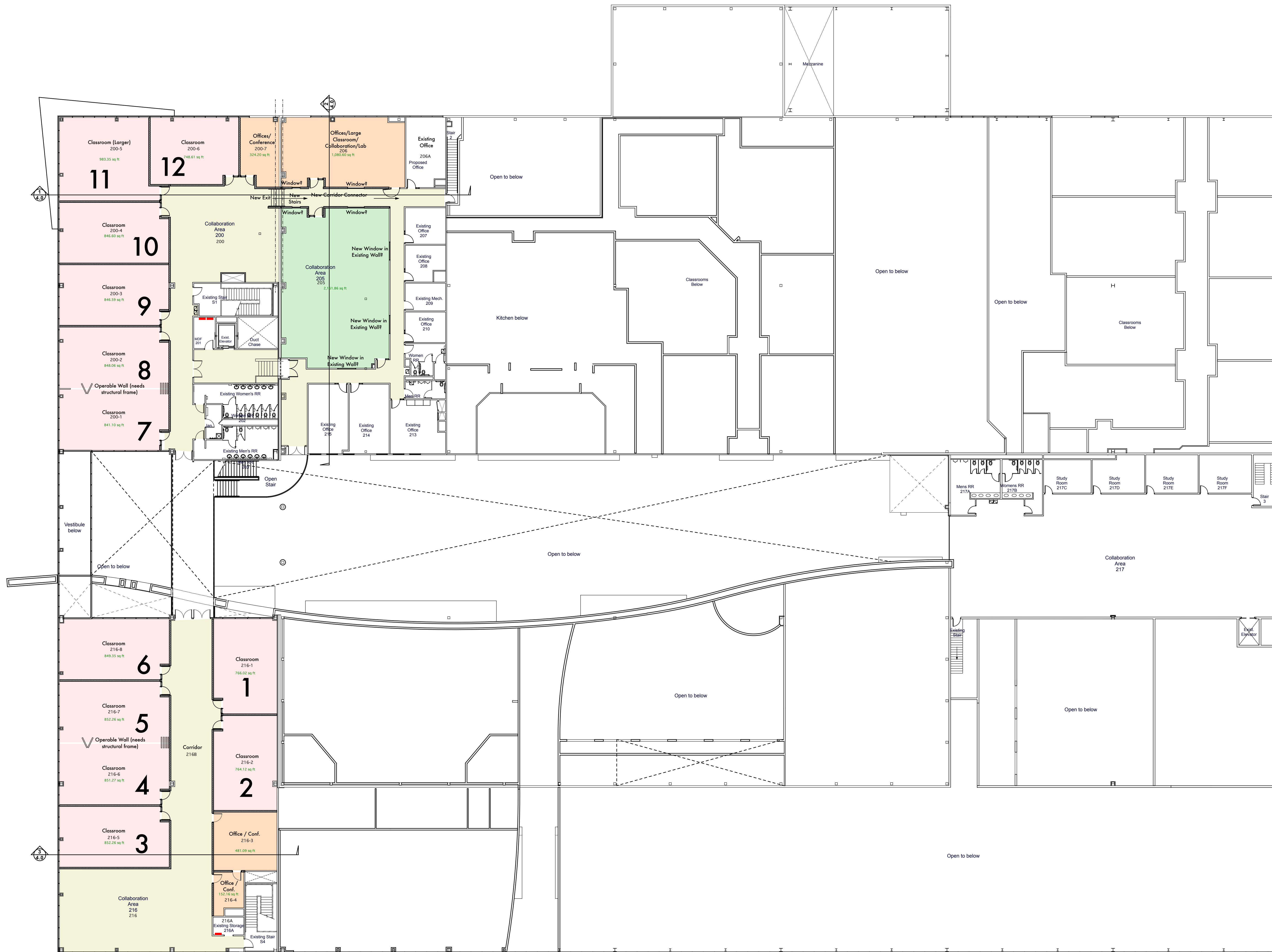


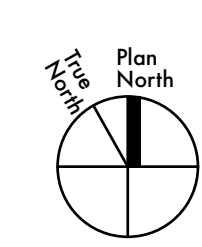
SHEET TITLE  
**FIRST FLOOR RENOVATION PLAN**

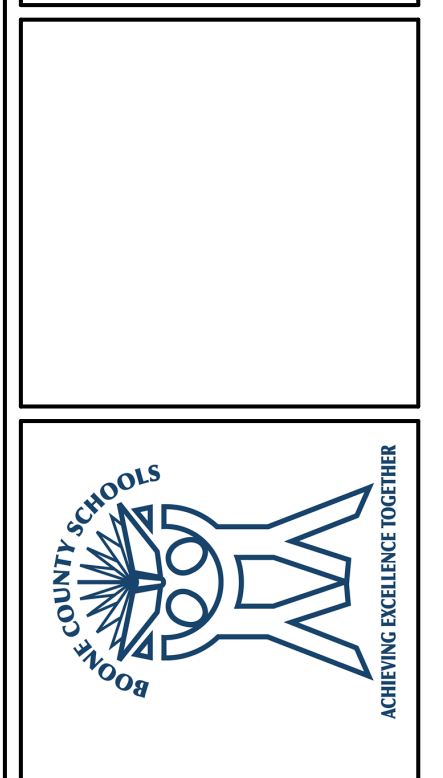
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**1.1**

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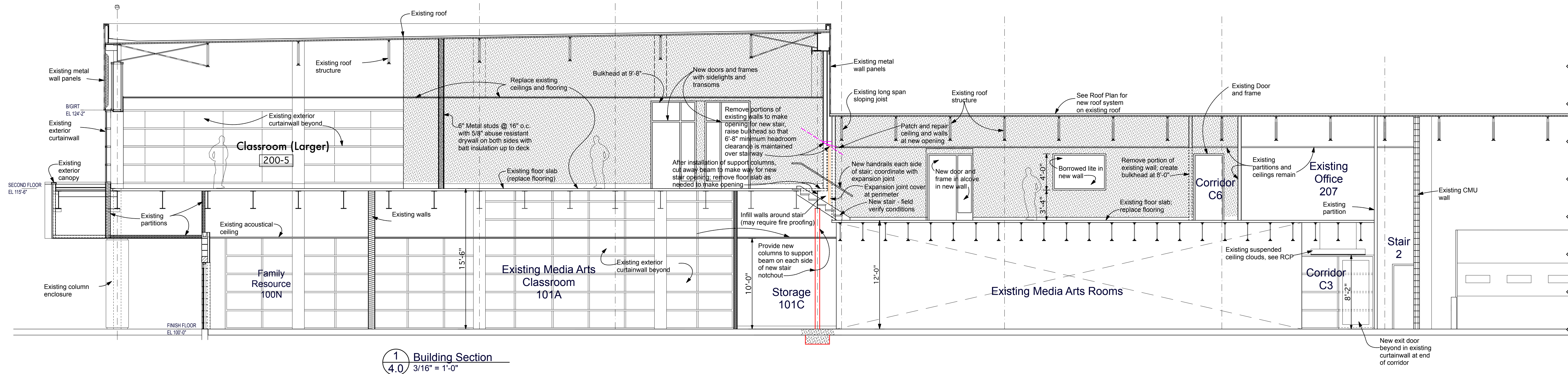



 (Renovation in Shaded Area)  
**Overall Plan - Second Floor**  
 1/16" = 1'-0"

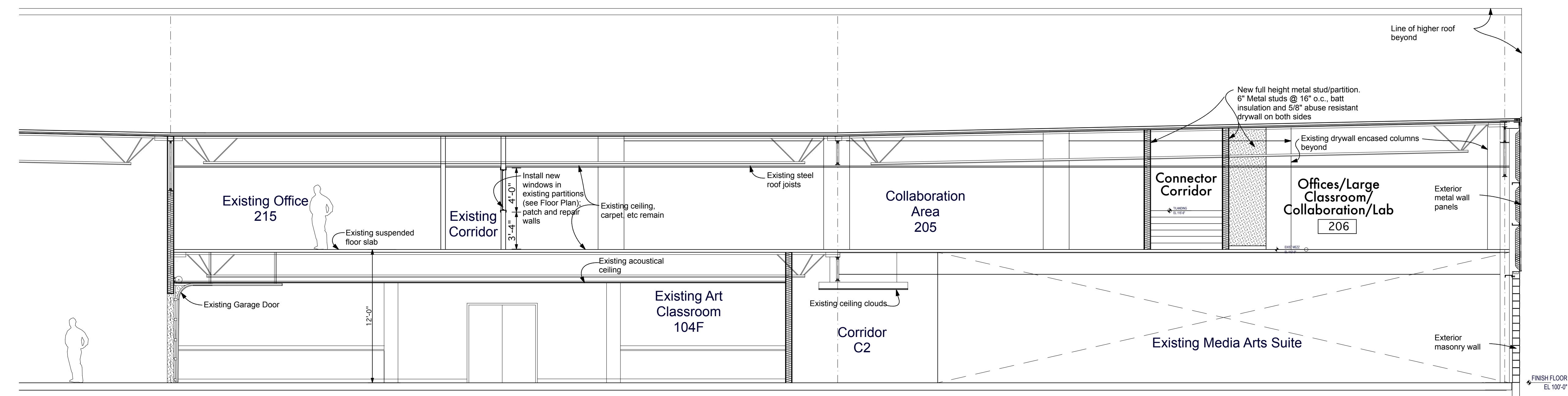




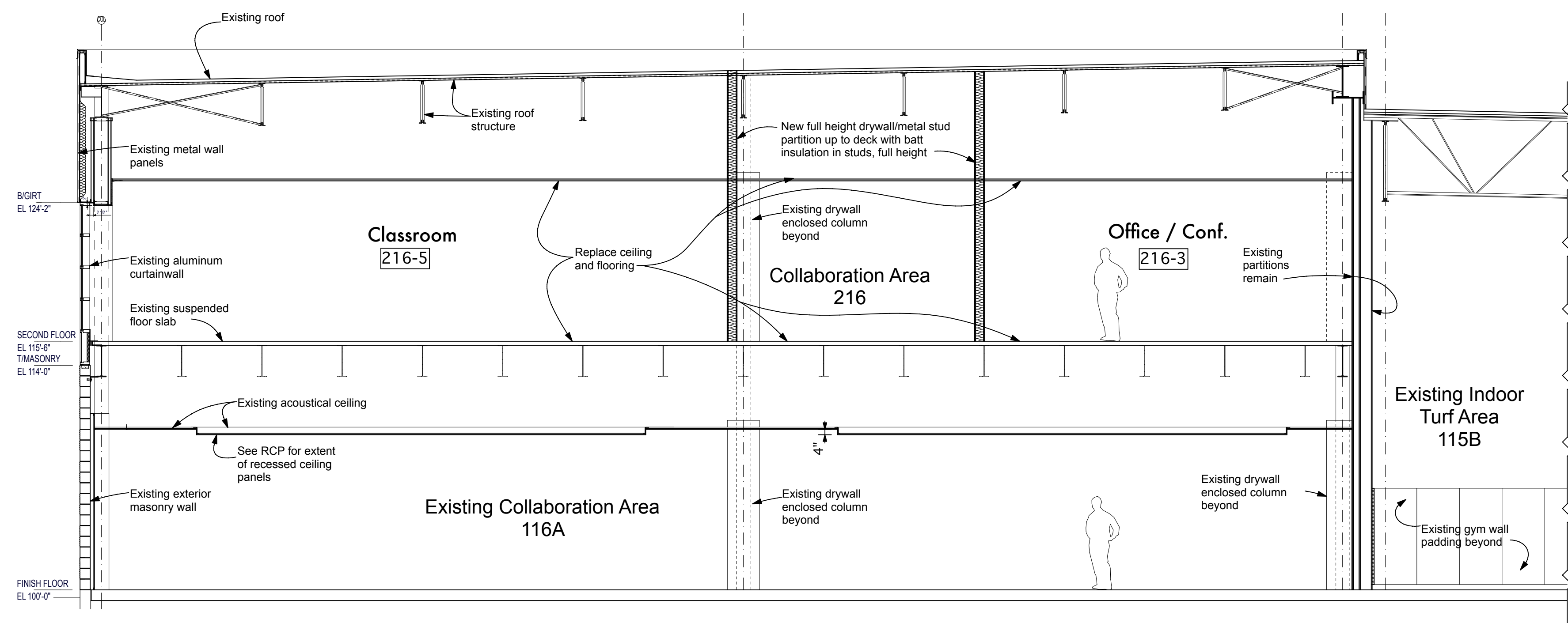




1 Building Section  
4.0 3/16" = 1'-0"



2 Building Section Looking West  
4.0 3/16" = 1'-0"



3 Building Section Looking North  
4.0 3/16" = 1'-0"