

DATE:

04/23/2024

AGENDA ITEM (ACTION ITEM):

Consider / Approve the Sanitation District No. 1 (SD1) permanent easement for a sanitary sewer line on the Simon Kenton Campus at 11094 Madison Pike, Independence, KY 41051.

APPLICABLE BOARD POLICY:

01.1 Legal Status of the Board

HISTORY/BACKGROUND:

SD1 will be connecting the homes on Alvin Drive to the regional sanitary sewer system, scheduled to begin in the summer of 2024. Alvin Drive runs parallel to the northern property line of the Simon Kenton campus. In order to install the sanitary sewer lines, SD1 has requested a permanent easement near the northern and western property lines of the SK campus. The District has consulted with an Architect and Civil Engineers to ensure the proposed permanent easement will not impact potential future expansion plans on the SK campus. Additionally, SD1 has agreed to provide the District with connections to the new sanitary line at no cost in areas of possible future expansion.

FISCAL/BUDGETARY IMPACT:

\$0

RECOMMENDATION:

Approve the Sanitation District No. 1 (SD1) permanent easement for a sanitary sewer line on the Simon Kenton Campus at 11094 Madison Pike, Independence, KY 41051.

CONTACT PERSON:

Matt Rigg, Chief Operations Officer

Principal/Administrator



District Administrator



Superintendent

ALVIN DRIVE GRAVITY SANITARY SEWER EXTENSION

SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY FORT WRIGHT, KY FEBRUARY, 2024

UTILITY CONTACTS

Gas
Duke Energy
139 E. 4th Street
Middletown, OH 45202
Contact: Hassan Emory
hassan.emory@duke-energy.com
Emergency: 1-800-454-4300

Cable/Telephone
Alta Fiber (Cincinnati Bell)
221 E. 4th Street
Cincinnati, OH 45202
Contact: Al Phinney, Sr.
alpinney@altafiber.com
Emergency: 855-677-4290

Charles (Time Warner)
10920 Kenwood Rd
Cincinnati, Ohio 45222
Contact: Chuck McCarty
charles.mccarty@charter.com
Emergency: 866-369-2408

Electric
Duke Energy
139 E. 4th Street
Middletown, OH 45202
Contact: Hassan Emory
hassan.emory@duke-energy.com
Emergency: 1-800-454-4300

Water
Northern Kentucky Water District
2635 Crescent Springs Road
Effinger, Ky. 41018
Contact: Kyle Ryan
kryan@kywater.org
Emergency: 659-079-8899

Sanitary Sewer
SDI
1646 Eason Drive
Fort Mitchell, KY 41017
Contact: Bob Wilson
bwilson@sd1.org
Emergency: 659-547-1673

Kentucky Underground
Phone: 811



PROJECT LOCATION MAP
SCALE: 1" = 500'

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
GENERAL	
G-01	COVER SHEET
G-02	LEGEND AND ABBREVIATIONS
G-03	GENERAL NOTES & ESC NOTES
G-04	PROJECT KEY PLAN
CIVIL	
C-01	PLAN AND PROFILE STA. 0+00 - 6+00
C-02	PLAN AND PROFILE STA. 6+00 - 10+00
C-03	PLAN AND PROFILE STA. 10+00 - 15+00
C-04	PLAN AND PROFILE STA. 15+00 - 20+00
C-05	PLAN AND PROFILE STA. 20+00 - 23+00
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C-07	DETAILS & SEPTIC SYSTEM CLOSURE PLAN
C-08	STRUCTURES/PIPE SCHEDULE & PLAN - 62 APPLICABLE

SOURCE OF BOUNDARY INFORMATION:
BOUNDARY INFORMATION SHOWN IS BASED
ON BOUNDARY SURVEY INFORMATION
PROVIDED BY CAHILL SURVEYORS, INC. AND
IS BASED ON NAD 1983 HARN STATE PLAN
KENTUCKY NORTH ZONE AND NORTH
AMERICAN VERTICAL DATUM OF 1988 (NAVD83).

SOURCE OF TOPOGRAPHIC INFORMATION:
TOPOGRAPHIC INFORMATION SHOWN IS
BASED ON FIELD SURVEY PERFORMED BY
MASON CARR CIVIL ENGINEERING, LLC IN
APRIL 2023 AND IS BASED ON NAD 1983 HARN
STATE PLAN KENTUCKY NORTH ZONE AND
NORTH AMERICAN VERTICAL DATUM OF 1988
(NAVD83).



EDITION: 100% REVIEW SET

COVER SHEET

SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY
GRAVITY SANITARY SEWER EXTENSION
ALVIN DRIVE













SDI PROJECT NO. 0716-ENR-025

MASON CARR
CARR Civil Engineering, LLC
www.masoncarr.com
P.O. BOX 681
ALEXANDRIA, KY 41001
PHONE (502) 622-6576

DATE: 02/26/2024
SCALE: AS SHOWN
DRAWN BY: BWM
CHECKED BY: RWC
PROJECT NO.: 2022-001
SHEET: G-01

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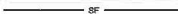
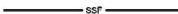







SYMBOLS - PROPOSED

	SANITARY MANHOLE		STORM CATCH BASIN
	SANITARY CLEANOUT		STORM MANHOLE
	SANITARY CURB STOP		FLARED END - METAL
	SANITARY VALVE		FLARED END - RCP
	SPOT ELEVATION		STORM CULVERT END
	TRAFFIC SIGN		FLOW ARROW

SYMBOLS - EXISTING

	MONITORING WELL		NATURAL GAS FLAG
	BORING		NATURAL GAS MANHOLE
	SURVEY PIN		ELECTRIC FLAG
	BENCHMARK		ELECTRIC METER
	MONUMENT		ELECTRIC MANHOLE
	WATER METER		TRANSFORMER PAD
	WATER VALVE		POWER TRANSFORMER
	HYDRANT		POWER POLE
	POST INDICATOR VALVE		LIGHT POLE
	SANITARY MANHOLE		GUY WIRE
	SANITARY CLEANOUT		UTILITY POLE
	SANITARY VALVE		TELEPHONE BOX
	STORM CATCH BASIN		TELEPHONE PEDESTAL
	STORM MANHOLE		STUMP
	STORM HEADWALL		BUSH/TREE
	TRAFFIC SIGN		
	MAILBOX		













LINETYPES PROPOSED

	STORM SEWER (DRAWN TO SCALE)
	SANITARY GRAVITY SEWER (DRAWN TO SCALE)
	SANITARY FORCE MAIN SEWER (DRAWN TO SCALE)
	ASPHALT
	GRAVEL
	ROAD CENTERLINE
	GUARD RAIL
	STEEL FENCE
	WOOD FENCE
	STRIPING - ROAD CENTERLINE
	CURB & GUTTER
	BOLT FENCE
	SUPER BOLT FENCE
	TEMP. EASEMENT/CONST. LIMIT
	CONTOUR MAJOR
	CONTOUR MINOR (LABEL OPTIONAL)
	CONTOUR DEPRESSION
	ASPHALT PAVED SURFACE
	RIPPRAP
	CONCRETE
	BUILDING OUTLINE

LINETYPES EXISTING

	PL	PROPERTY LINE
	R/V	RIGHT-OF-WAY
	UTV	CATV - UNDERGROUND
	UT	OVERHEAD UTILITY
	UE	ELECTRIC - UNDERGROUND
	F	FIBER - UNDERGROUND
	GAS	GAS
	SS	SANITARY SEWER
	FW	SANITARY SEWER (FORCE MAIN)
	W	STORM SEWER (DRAWN TO SCALE)
		WATER
		ASPHALT
		GRAVEL
		GUARD RAIL
		STEEL FENCE
		WOOD FENCE
		FLOOD HAZARD AREA
		RAIL ROAD TRACK
		WETLANDS BOUNDARY
		POND / LAKE EDGE
		UTILITY EASEMENT
	130	CONTOUR MAJOR
		CONTOUR MINOR (LABEL OPTIONAL)
		VEGETATION
		RIPRAP
		CONCRETE
		BUILDING OUTLINE
		WATER BODY

HATCHING LEGEND

	ASPHALT OR CONCRETE SURFACE (SIDEWALK OR ROADWAY)		PRECAST CONCRETE
	ROADWAY/SIDEWALK OPEN CUT RESURFACE		GROUT
	SODDED OR SEEDED AND MULCHED AREA OR EXISTING WETLAND		CONCRETE UNIT MASONRY (PLIN)
	EARTH		STEEL
	EXISTING PIPES, STRUCTURES, EQUIPMENT TO BE REMOVED		ALUMINUM
	CAST-IN-PLACE CONCRETE		GRATING

REFERENCE SYMBOLS

DENOTES SECTION LETTER IDENTIFICATION

DENOTES DRAWING NO WHERE SECTION IS LOCATED

SECTION REFERENCE

DENOTES SECTION LETTER IDENTIFICATION

SECTION

SCALE:

DENOTES DRAWING NO WHERE SECTION IS LOCATED

SECTION TITLE

DENOTES DETAIL NUMBER IDENTIFICATION

DENOTES DRAWING NO WHERE DETAIL IS LOCATED

DETAIL REFERENCE

DENOTES DETAIL NUMBER IDENTIFICATION

DETAIL

SCALE

DENOTES DRAWING NO WHERE DETAIL IS LOCATED

DETAIL TITLE

LEGEND AND ABBREVIATIONS

SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY
GRAVITY SANITARY SEWER EXTENSION
ALVIN DRIVE

SD1 PROJECT NO.: C600-ENG-018

MASON MASON CARR
CARR Civil Engineering, LLC
P.O. BOX 661
ALEXANDRIA, KY 41001
PHONE: (606) 823-9378
WWW.CIVIL360DESIGN.COM

PROJECT NO.: 2023-001	DATE: 02/28/2024	DRAWN BY: BRM
SHEET: G-02	SCALE: AS SHOWN	CHECKED BY: RWC

GENERAL NOTES

- All construction and materials shall conform to Kentucky District No. 1 (SD1) regulations and specifications.
- The contractor shall provide and pay for all labor, materials, tools, construction equipment, facilities and services for the proper erection, testing and completion of the work.
- Any part of the work that is necessary or required to install such installation satisfactory and operable for its intended purpose to the satisfaction of the Owner and Engineer, even though it is not specifically included in the drawings, shall be performed as incidental work or as it is shown on the drawings.
- Any item required but not listed, as a separate pay item shall be considered incidental to construction and no separate payment will be made.
- The Contractor shall notify each resident prior to accessing a trench across a driveway and advise the residents on the estimated time that access will be blocked. The Contractor shall clean up on construction programs. All driveways shall be maintained for traffic as soon as the crossing is complete to the satisfaction of the Owner.
- Any adjustments in depth of 24.0-inches or less necessary for the new pipeline or existing utilities because of utility or grade conflicts shall be installed as directed by the Owner's representative. The cost for this work shall be included in the total cost for the project. No additional payment will be made. Costs for adjustments in depth that exceed 24.0-inches necessary for the new pipeline or existing utilities because of utility or grade conflicts will be paid at an agreed upon unit price acceptable to the Owner. See additional notes under UTILITIES NOTES, this sheet.
- All pipe material to be HDPE, PVC or DLP (post-tensioned) as shown on plans. DLP shall be Pressure Duct 250 and be lined, coated, and wrapped as specified in the specifications.
- PVC pipe material and joints shall conform to ASTM D-3034, 18-inch revision. PVC pipe shall be SDR-35, unless otherwise specified.
- See details on this sheet for sediment and erosion control requirements.
- All applicable recommendations in Northern Kentucky Sanitation District No. 1's Stormwater, Sediment, and Erosion Control Regulations shall be followed by the contractor.
- Erosion and sedimentation control measures shown are a minimum. Contractor shall provide additional BMP's as necessary and as directed. It is also the Contractor's responsibility to properly maintain all erosion control measures during construction in accordance with Northern Kentucky Sanitation District No. 1's Stormwater, Sediment, and Erosion Control Regulations. Erosion & sediment control BMP's shall be inspected by the Contractor a minimum of every 7 days and after each 0.57 inch rain event and more.
- All sewers shall be installed. A deflection test shall be performed on all gravity sanitary sewers using flexible pipe. The test shall be conducted after the final bedding has been in place at least 30 days. No pipe shall exceed a deflection of 5/8". If the pipe is not using a rigid bell or manhole, it shall have a diameter equal to 95% of the inside diameter of the pipe. The test shall be performed without mechanical pulling devices. Each manhole shall be tested for water tightness in accordance with the specifications.
- Sewers crossing water mains shall be laid to provide a vertical distance of 18 inches between the outside of the water main and the outside of the sewer. This shall be the case when the main is either above or below the sewer. The crossing shall be arranged so that the sewer joints will be upstream and as far as possible from the water main joints. Where a water main crosses under a sewer, adequate structural support shall be provided for the sewer to prevent damage to the water main.
- Sewers shall be laid at least 10 feet horizontally from any existing or proposed water main. The distance shall be measured edge to edge.
- All pipe and trench backfill within 100 ft Right-of-Way shall be compacted city or no less than 95% standard proctor maximum dry density per MDOT section 207.05 or compacted (flexible) low strength density bedding as specified.
- Please contact the Design Engineer before making any decisions greater than those indicated on the plans or specifications.
- Maintenance of traffic shall be according to the Manual of Uniform Traffic Control Devices, and according to local requirements.
- Right-of-Way and property lines shown are plotted from deeds and plots of record and are approximate and not the result of a field boundary survey.
- The Contractor shall finish their work area to the easements shown on these plans unless written permission is given by the property owner and approved by the Sanitation District.
- The locations of the proposed sanitary service facilities shown are approximate. The Contractor shall verify in the field, with the Engineer or an SD1 representative, the most suitable location to construct the proposed facilities in order to provide sanitary service.
- The existing surface (ground) shown in the profile is generated from the actual field topographical survey performed by Mason Carr Civil Engineering, LLC.
- Owner to provide initial one-time construction staking. Contractor is responsible for protecting utilities and any additional staking as needed.
- Contractor is required to replace any fencing that is removed with an equal or better quality fencing to the property owner's satisfaction. Contractor to provide temporary fencing as required to meet individual property owner's requirements for the duration of the project.
- When proposed sewer crosses a storm ditch or existing water pipe, it is to be laid at least 4 feet below the bottom of the ditch or stream bed. Sew cut rock is stream bed and remove top rock in an easy large place as practical. After laying pipe, provide concrete encasement, for full height of trench and place cap rock on top surface of concrete encasement prior to initial set to restore original profile and section.
- Flow drains, foundation drains, and other clean water connections to the sanitary sewer system are prohibited.
- The Contractor shall be responsible for a 1-year maintenance period beginning from final project completion.
- Contractor shall establish an acceptable growth of grass (as defined in specifications) for all areas disturbed during the course of construction, as applicable.
- Prior to the scheduled date for the pre-construction meeting the contractor shall submit to SD1 for review a construction schedule that includes but is not limited to the following as requested by SD1:
 - Anticipated Start and Completion Dates
 - Sequence and Phasing of Construction
 - Staging Areas for Materials and Equipment
 - Access Points and Stone Construction Entrances
 - List of Subcontractors and Material Suppliers
 - Points of Contact and Emergency Phone Numbers
 - Proof of Insurance and Bonding Status
- All non-permanent structures (sheds, wings, play equipment, etc.) that encroach on construction shall be temporarily removed and replaced by the contractor at the additional cost.

UTILITIES

- The Contractor shall verify the locations and elevations of all existing utilities prior to construction. The locations and elevations of existing utilities, as indicated on the drawings, are for informational purposes only. No responsibility is assumed for the accuracy or completeness of this information. All utilities must be marked and then horizontal and vertical location verified by the Contractor prior to starting construction. The Contractor shall not cut or disconnect any existing utilities without prior approval from the appropriate agency.
- Existing underground utilities and services are shown in their approximate locations according to known information available. The locations shown are intended only as a guide and cannot be guaranteed to be accurate or complete. During construction the contractor shall protect from damage all existing utilities, whether shown on the contract drawings or not. If damage is caused, the contractor shall be responsible for the repair or restoration of same to the satisfaction of the Owner or Utility Owner at the contractor's sole expense. Electric service, gas service, water service, telephone and cable service, and other utility lines may be located in the proximity of the work area. The Contractor shall be responsible for:
 - Contracting the individual utility owners ten (10) days prior to construction and advising them of the work to take place
 - Satisfying their obligation in locating and protecting or relocating any utility that may interfere with construction
 - Test drilling and verifying the horizontal and vertical location for each utility in the project vicinity before starting construction
 - All damage to any existing utility, and repair thereof
 - Contracting the Kentucky Underground Protection Inc. (KUP) 1-800-752-7607 48 hours minimum prior to construction
- Contractor shall perform all work necessary to restore all existing utilities whether shown or not, encountered or disturbed during construction to better than construction conditions or better, as acceptable to the utility owner.
- Where potential electric conflicts may occur with existing utilities, the Contractor shall uncover such utilities sufficiently in advance of construction in order that most identified and avoid them. The Contractor shall be responsible for the cost of the location and adjustment work, if any, shall be included in the total cost for the project. No additional payment will be made.
- Adjustments to line and grade of the new piping or existing utilities shall be made by the Contractor to avoid conflicts with the existing utilities and new piping.
 - Any adjustments in line of the new piping shall be at the Contractor's sole expense. No additional payment will be made
 - Adjustments in depth of 24.0-inches or less necessary for the new pipeline or existing utilities because of utility or grade conflicts shall be installed as directed by the Owner's representative. All costs for this work shall be included in the Contractor's Bid. No additional costs will be paid by the Owner.
 - Costs for adjustments in depth that exceed 24.0-inches necessary for the new pipeline or existing utilities because of utility or grade conflicts will be paid at an agreed upon unit price acceptable to the Owner.
- The owners of known utilities in the project area are shown on the Cover Sheet, and shall be notified 48 hours prior to construction to field-locate all utilities.
- Contractor shall be responsible for coordinating support or temporary relocation of all existing overhead utilities affected by the proposed construction.
 - Where high pressure all fluid pipe type cable installation are exposed or otherwise interfered with by the contractor, protection by the contractor will be required against damage to the coating or supporting thermal and structural supports
 - Where electric interference caused systems or direct buried cable systems are exposed or otherwise interfered with, the contractor shall coordinate with the utility to protect the system as necessary against damage. As soon as feasible, the contractor shall take additional appropriate steps to provide permanent measures to restore support. The methods used shall be based on methods as determined by the utility
 - Where poles or structures that support overhead electric facilities are exposed or otherwise interfered with, the contractor shall coordinate with the utility to protect them from damage and provide temporary support to insure the integrity of the system. As soon as feasible, the contractor shall take additional appropriate steps to provide permanent measures to restore support. The methods used shall be based on conditions to be determined by the utility
 - Where the depth of excavation for the proposed work is greater than 5 feet, the contractor shall sheet and shore the trench and coordinate with the utility to continuously maintain the support of electric facilities at location where the electric facilities are within the zone of influence adjacent to the excavation as determined by the natural angle of the repose of the soil
 - All damage to electric facilities and services requiring adjustments, relocation and/or repairs will be made at the contractor's cost. Contractor shall not backfill exposed electric facilities until the company has inspected the facility or performed any adjustments and/or maintenance that may be required.

STABILIZATION PRACTICE											
PERMANENT SEEDING	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEPT.	OCT.	NOV. DEC.
EROSION SEEDING											
TEMPORARY SEEDING											
SOD											
MULCHING											

SEEDING SCHEDULE

1. TITAN TURF TYPE TALL KY. FESCUE, RED, SR 4000 PERMANENT, REVEGETATE 10% KENTUCKY BLUEGRASS 90% RED, PLUS 5 TONS OF STRAW PER ACRE APPLIED MIXTURE AT A RATE OF 2 LBS. PER 1000 SQFT.
2. KENTUCKY BLUEGRASS 20%, CREEPING RED FESCUE 70%, PLUS 5 TONS OF STRAW PER ACRE APPLIED MIXTURE AT A RATE OF 2 LBS. PER 1000 SQFT.
3. SPRING DART AT 3 BUSHEL PER ACRE
4. WHEAT OR RYE AT 2 BUSHEL PER ACRE
5. ANNUAL REVEGETATE AT 1 LBS. PER 1000 SQFT.
- 22222 IRRIGATION NEEDED DURING JAN, JULY, AUGUST, SEPTEMBER
- 000 IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

PAVING NOTES

- All pavement cuts shall be saw cut and neatly patched to match existing pavement section. All costs for such pavement cuts, patching, and overlays as required shall be included in the Contractor's bid.
- Contractor shall implement erosion control after construction, shall minimize incurrence to traffic during construction, and shall provide smooth transitions to existing pavement. Paving materials and construction methods shall be in accordance with the KYC standard methods and the project specifications.
- Construction access roads, existing pavement or gravel roads, and driveways if removed, disturbed, or damaged by Contractor's work shall be maintained by Contractor and restored or replaced to condition prior to construction. Restoration conditions after work is complete. The cost of this restoration or replacement shall be included in the total cost for the project. No additional payment will be made.

SAFETY ADVISORY NOTES

- See specification section 01500 Environmental Controls for safety advisory and requirements.
- Protection of Persons and Property: Barbed wire enclosures occurring as part of the work as required to maintain vehicular and pedestrian safety. Provide all necessary barriers, warning lights, signage, flagmen, and other measures as required to maintain public safety as designated on the plans, directed by the Owner, and as recommended by other authorities having jurisdiction.

PROHIBITED CONSTRUCTION ACTIVITIES

- Indiscriminate or arbitrary operation of equipment in any stream corridors, any surface water, or outside the easement limits is prohibited.
- Clear cutting, clearing and grubbing shall be phased to maintain cover until actual construction has progressed to the area. In particular, clearing to allow pipe stringing more than 500 feet in advance of installation is not permitted.
- Pumping of sediment-laden water or other materials directly into any surface waters, any stream corridors, or storm sewers is prohibited. All such water shall be properly filtered or settled to remove silt prior to discharging into any lake or watercourse.

CONSTRUCTION ALONG OR BETWEEN STREAM BANKS

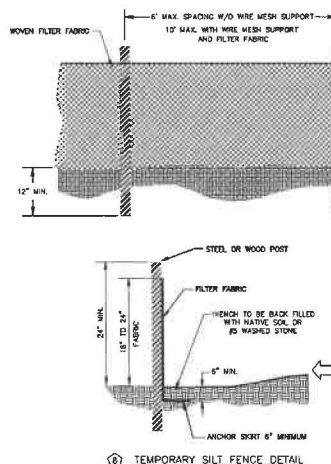
- The Contractor shall conform to the following requirements when construction of the pipeline is within stream banks. These measures are required so that the stream can be restored to its "pre-construction" condition.
 - Stream bank construction shall begin and be completed during low flow periods. During higher flow periods, construction in stream areas is prohibited.
 - The Contractor shall conduct a survey of the pre-construction conditions. The survey shall include the following:
 - Video of pre-construction conditions
 - Cross-section of the stream of crossing location
 - Survey information shall be included with other record keeping requirements as specified.
 - Temporary diversion of streams around the construction area will be permitted only if the method to be used has been previously approved by the Owner or Engineer. Disturbance of the stream must be minimized, and disturbed areas are to be immediately restored using proper revegetation measures.
 - When clearing vegetation prior to installing stream crossing work, stream bank trees, shrubs, and other vegetation shall be left in place to help control erosion where equipment operation requires tree removal, stumps and roots to remain in place to help anchor the stream bank.
 - Prior to starting any construction near a stream or at a stream crossing, all barriers shall be placed along the banks where vegetation removal has occurred or is anticipated, or exposed soil exists. Silt fence shall be installed with a 4-inch trencher to minimize impact to the surrounding banks and vegetation. Use of larger equipment, such as a bulldozer or track loader, to install silt fence is prohibited.
 - Spills or other oil materials are not to be deposited within 50 feet of the stream. When construction occurs less than 50 feet from a stream, stockpiles shall be placed on the upslope side of the trench. The downslope side of the trench nearest the stream bank shall have silt fence installed and be protected from construction movement.
 - Construction within a stream shall be confined until completed. A stream crossing shall not be started until the Contractor has all the methods on-hand, the work is well-planned and the Contractor is prepared to finish the work immediately. Work shall not start until the time and weather conditions have been planned and provided for. Stream crossing work shall be restricted to periods of dry weather and low-flow or no-flow conditions.
 - Restoration work shall include the re-establishment of channel contours and bank stabilization and shall start immediately after the crossing is completed.
 - When using open cut methods for laying pipeline across streams, the stream crossing and associated restoration shall be performed within a 48-hour period. Construction equipment shall be kept out of the stream corridor except during actual pipe installation unless a properly constructed access road is required to cross the stream.
 - Excavated trench material shall be deposited outside the stream (See Note 6, above).
- In stream crossings, do not disturb vegetation within the construction limit or stream crossing for the use necessary for excavation and for equipment passage. At a stream crossing, clear cutting within the permanent easement without the prior approval of the Owner or Engineer is not permitted.
- Operation of equipment within the stream banks shall not be permitted except as required for actual pipeline installation. If it is necessary for haul roads to cross the stream, temporary bridge culvert crossings or other methods approved by the Engineer shall be employed in order to maintain continuous unobstructed access to the stream bed. Haul roads parallel to the direction of flow and within the stream banks are not permitted.

ENVIRONMENTAL IMPACT PREVENTATIVE AND MITIGATIVE MEASURES

- The Contractor shall give special attention to proper pipeline construction, protection of streams and riparian areas, and the preventive and mitigative measures outlined in the drawings and specifications. Failure to comply with these measures will result in penalties, which may include stop work orders and withholding of payment. The resident project representative will periodically verify that the appropriate measures are being followed. Areas of construction in and around stream banks and other areas subject to erosion are particularly concern. Contractor is advised to use special care within such areas to protect natural features and to provide careful restoration.
- Clearing and grubbing shall not commence until the Contractor is prepared to start construction, and erosion control measures are installed and in place. Contractor shall be responsible to dispose of all stumps, brush, debris, and trees in a legal and environmentally sound manner. Stumps shall be removed only as directed by the Owner or Engineer.
- Clear cutting will not be permitted. Clearing and grubbing shall be phased to maintain cover until actual construction has progressed to the area. In particular, clearing to allow pipe stringing more than 500 feet in advance of installation is not permitted.
- The Contractor shall be responsible for providing the necessary material and labor to follow the impact prevention and mitigation measures outlined in the drawings and specifications. Measures outlined are guidelines; any otherwise proposed by the Contractor shall be submitted to the Engineer for approval of at least two (2) weeks prior to construction in any affected area. The cost of all such material and labor shall be included in the price bid for the various contract items.

PROTECTION OF TREES

- The Contractor shall avoid any unnecessary measures to trees. Clear-cutting is not permitted within 100 feet of any stream or easement area without the prior approval of the Owner and Engineer. This includes work and stringing areas outlined by the Contractor by means of photos generated with property owners. Tree branches which overhang the construction limits shall be removed by the Contractor. The Contractor shall be responsible for providing the necessary material and labor to follow the impact prevention and mitigation measures outlined in the drawings and specifications. Measures outlined are guidelines; any otherwise proposed by the Contractor shall be submitted to the Engineer for approval of at least two (2) weeks prior to construction in any affected area. The cost of all such material and labor shall be included in the price bid for the various contract items.



SILT FENCE NOTES

- THE FENCE SHOULD BE PLACED ACROSS THE SLOPE ALONG A LINE OF HORIZONTAL ELEVATION (PERPENDICULAR TO THE DIRECTION OF FLOW). THE FENCE SHOULD BE LOCATED AT LEAST 10 FEET FROM THE TOP OF THE SLOPE TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT. THE FENCE SHOULD BE TURNED UP SLOPE TO CREATE RE-BEDDING FOR FLOWING WATER.
- A FLAT-BOTTOM TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP, OR A 10-INCH-DEEP TRENCH APPROXIMATELY 6-INCHES WIDE, SHOULD BE DUG ON THE DOWN-SLOPE SIDE OF THE TRENCH. DURING THE 2-INCH-OR 2-1/2-INCH DEEP TRENCH AT LEAST 10-INCHES INTO THE TRENCH, SPACING THEM NO FURTHER THAN 6-FEET APART. STEEL POSTS SHALL BE 1.33 LBS PER LINEAR FOOT.
- POSTS SHOULD BE INSTALLED WITH 1- TO 2-INCHES OF THE POST PROTRUDING ABOVE THE TOP OF THE FENCE AND NO MORE THAN 3-FEET OF THE POST SHOULD PROTRUDE ABOVE THE TRENCH. THE 2-INCH-OR 2-1/2-INCH DEEP TRENCH SHOULD BE FILLING WITH STRAW OR GRASS, OR OTHER MATERIALS. THE FENCE SHOULD BE FASTENED TO THE FENCE ON THE UPSLOPE SIDE OF THE TRENCH. THE FENCE SHOULD BE FASTENED TO THE FENCE ON THE UPSLOPE SIDE OF THE TRENCH. THE FENCE SHOULD BE FASTENED TO THE FENCE ON THE UPSLOPE SIDE OF THE TRENCH. THE FENCE SHOULD BE FASTENED TO THE FENCE ON THE UPSLOPE SIDE OF THE TRENCH.
- SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL SILENT STABILIZATION IS COMPLETED OR AFTER TEMPORARY BUILT UP ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHOULD BE REMOVED OR STABILIZED ON SITE. DISTURBED AREAS RESULTING FROM FENCE REMOVAL SHALL BE PERMANENTLY STABILIZED PER FINAL RESTORATION REQUIREMENTS.

EROSION AND SEDIMENTATION CONTROL

- Provide and maintain erosion protection along any slopes or all fencing along cleared areas, creek crossings, clear crossing areas within 25 feet of top of stream banks, and any other erosion prone areas as directed by the Owner or Engineer (See "Construction Along Or Between Stream Banks" Note 5, this drawing). The requirement pertains also to haul and access roads. Note details for erosion protection elsewhere within the drawings and specifications. Erosion control measures shall be installed prior to initial land disturbance activities or as soon as practical.
- The Contractor shall control weeds, garbage, debris, wastewater, and other substances in the site in such a way that they shall not be transported from the site by the action of winds, storm water runoff, or other forces. Proper disposal or management of all wastes and unused building materials, appropriate to the nature of the waste or material, is required. Compliance is required with all state or local regulations regarding waste disposal, sanitary sewer, or septic systems.
- Remove any trees required for actual construction. When construction is adjacent to streams, maintain bank cover by depositing excavated materials on the side of the trench away from the stream (See "Construction Along Or Between Stream Banks" Note 5, this drawing). Maintain a vegetation cover between trench and top of bank whenever possible.
- Immediately following trench backfill, rough grade all disturbed areas and permanently stabilize each disturbed area with perennial vegetation installed according to the landscaping section of the specifications. If final grading and seeding will not occur within 15 days, all disturbed areas shall be temporarily seeded and/or mulched immediately.
- Final grading shall be consistent with pre-construction topography. Final grading shall be completed in any given area as soon as it is no longer needed for trafficability of equipment and materials. Final restoration shall immediately follow final grading.
- The top soil material is to be removed from stream corridors pursuant to and disposal of it in an environmentally sound manner. If such material is washed on site, it shall be placed outside stream corridors and shall be needed immediately. Erosion practices on any disturbed areas shall be located and constructed in a manner that shall keep sediment from entering streams.
- When working adjacent to a waterway, the Contractor shall maintain a buffer of undisturbed vegetation between the waterway and the waterway. If a buffer zone of vegetation cannot prevent siltation of the waterway, silt barriers shall also be installed by the Contractor in these areas to prevent sediment-borne silt from entering the waterway.
- All temporary erosion and sediment control practices shall be removed and disposed of within thirty days after final site stabilization is achieved or after the temporary practices are no longer needed. Trapped sediment shall be permanently stabilized to prevent further erosion.
- If work is suspended for any reason, the Contractor shall maintain the erosion and sedimentation control during the suspension at no additional cost to the Owner.

GENERAL NOTES & ESC NOTES

SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY

GRAVITY SANITARY MAIN, 18" ALUMINUM

ALVIN DRIVE

PROJECT NO. 2024-001

DATE: 02/26/24

SHEET G-03

MARK DATE DESCRIPTION

ALVIN DRIVE

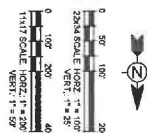
ALVIN DRIVE


ALVIN DRIVE

ALVIN DRIVE

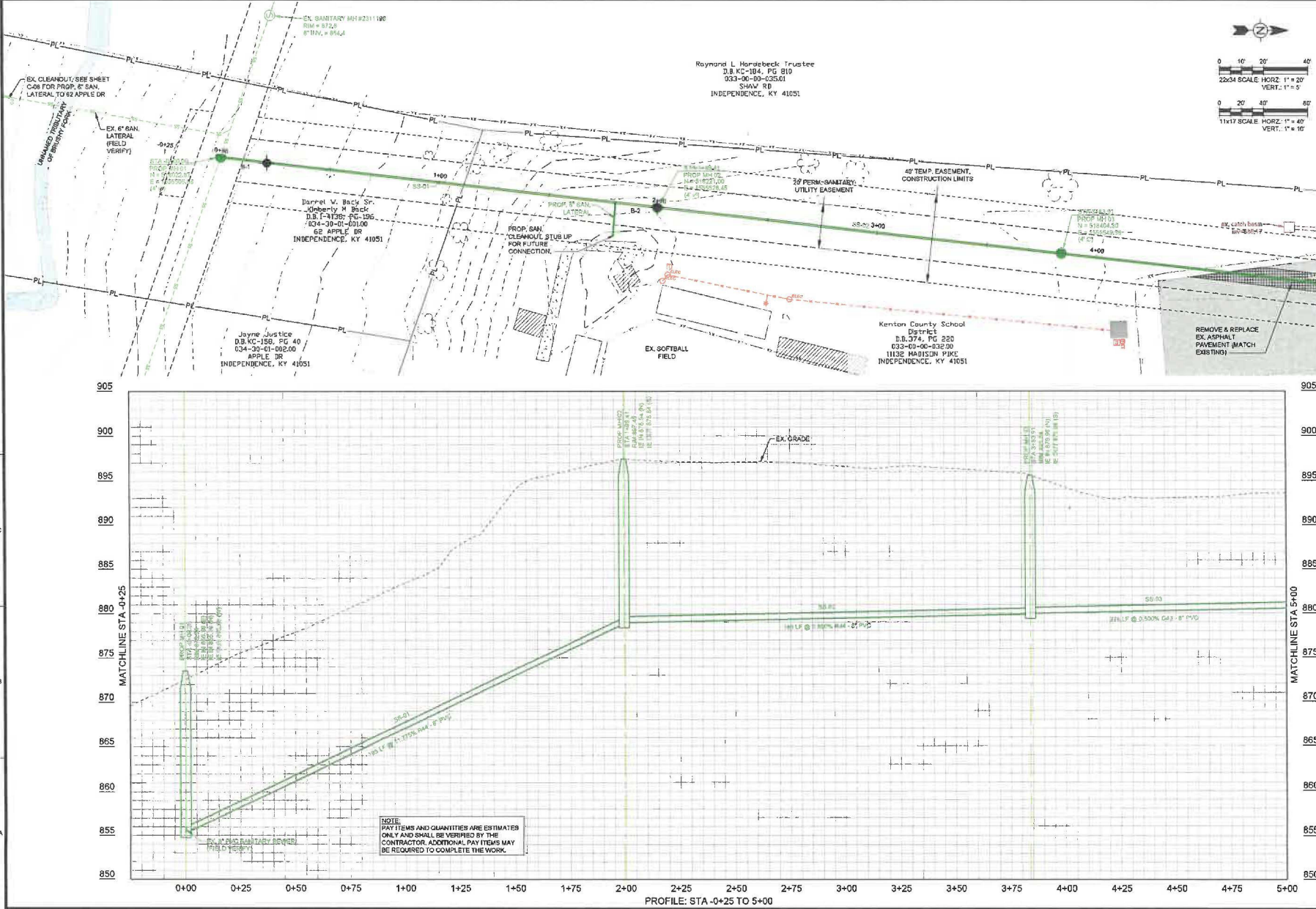
ALVIN DRIVE

ALVIN DRIVE



 MASON CARR Civil Engineering, LLC	WWW.MASONCARR.COM P.O. BOX 661 ALEXANDRIA, KY 41001 PHONE: (502) 923-9378		PROJECT KEY PLAN		MARK	DATE	DESCRIPTION	BY
	PROJECT NO. 2023-001 DATE: 02/08/2024 DRAWN BY: BRM SHEET: 2 OF 4 SCALE: AS SHOWN CHECKED BY: RWC		SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY GRAVITY SANITARY SEWER EXTENSION ALVIN DRIVE SD1 PROJECT NO. 0708-ENG-025					

3/22/2024 7:34:35 AM - C:\Users\BENJAMIN.NASON\OneDrive\Engineering\BENJAMIN.NASON\PROJECTS\2024\01\ALVIN DRIVE\00% DESIGN\PLAN\100% DWG - BENJAMIN NASON



PLAN & PROFILE - STA -0+25 TO STA 5+00

SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY
GRAVITY SANITARY SEWER EXTENSION
ALVIN DRIVE

801 PROJECT NO. CTR-ENG-025

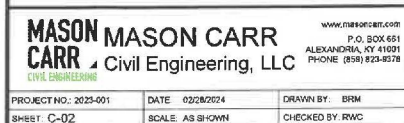
MASON MASON CARR
CARR, Civil Engineering, LLC

www.masoncarr.com
P.O. BOX 651
ALEXANDRIA, KY 41001
PHONE (502) 652-5515

PROJECT NO. 2024-001
SHEET C-01

DATE: 02/26/2024
SCALE: AS SHOWN

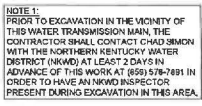
DRAWN BY: BEN
CHECKED BY: RWC



SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY
GRAVITY SANITARY SEWER EXTENSION
ALVIN DRIVE

SD1 PROJECT NO. C708-ENG-025

[illegible]

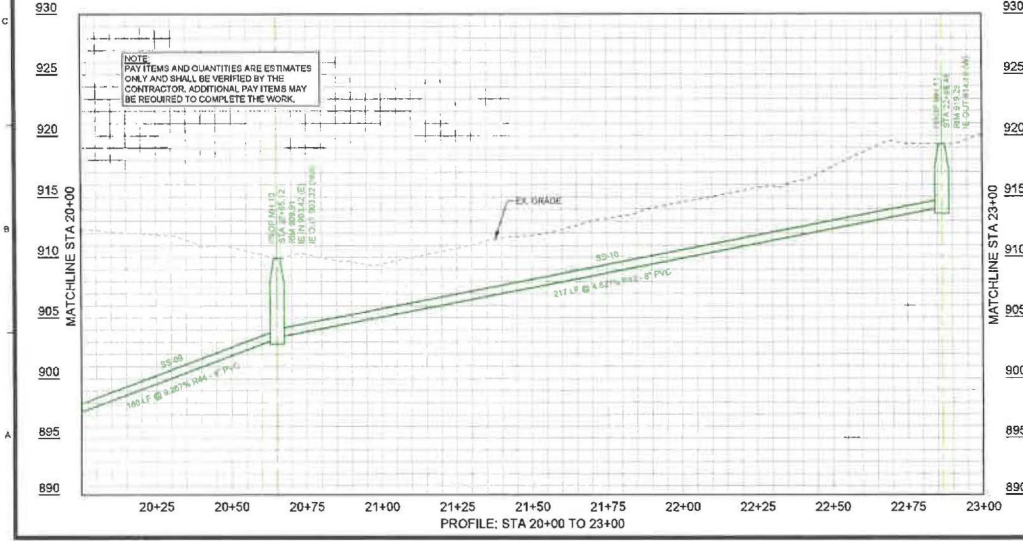
[illegible]

MASON MASON CARR CARR Civil Engineering, LLC <small>Civil Engineer</small>						WWW.MCM-ENG.COM P.O. BOX 681 ALEXANDRIA KY 40301 PHONE (502) 6254716					
PROJECT NO. 2022-001		DATE: 02/29/2024		DRAWN BY: RBW							
SHEET C-03		SCALE: AS SHOWN		CHECKED BY: BWC							
PLAN & PROFILE - STA 10+00 TO STA 15+00											
SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY											
GRAVITY SANITARY SEWER EXTENSION											
ALVIN DRIVE											
SDI PROJECT NO. CDM-ENG-025											
MARK		DATE		DESCRIPTION						BY	



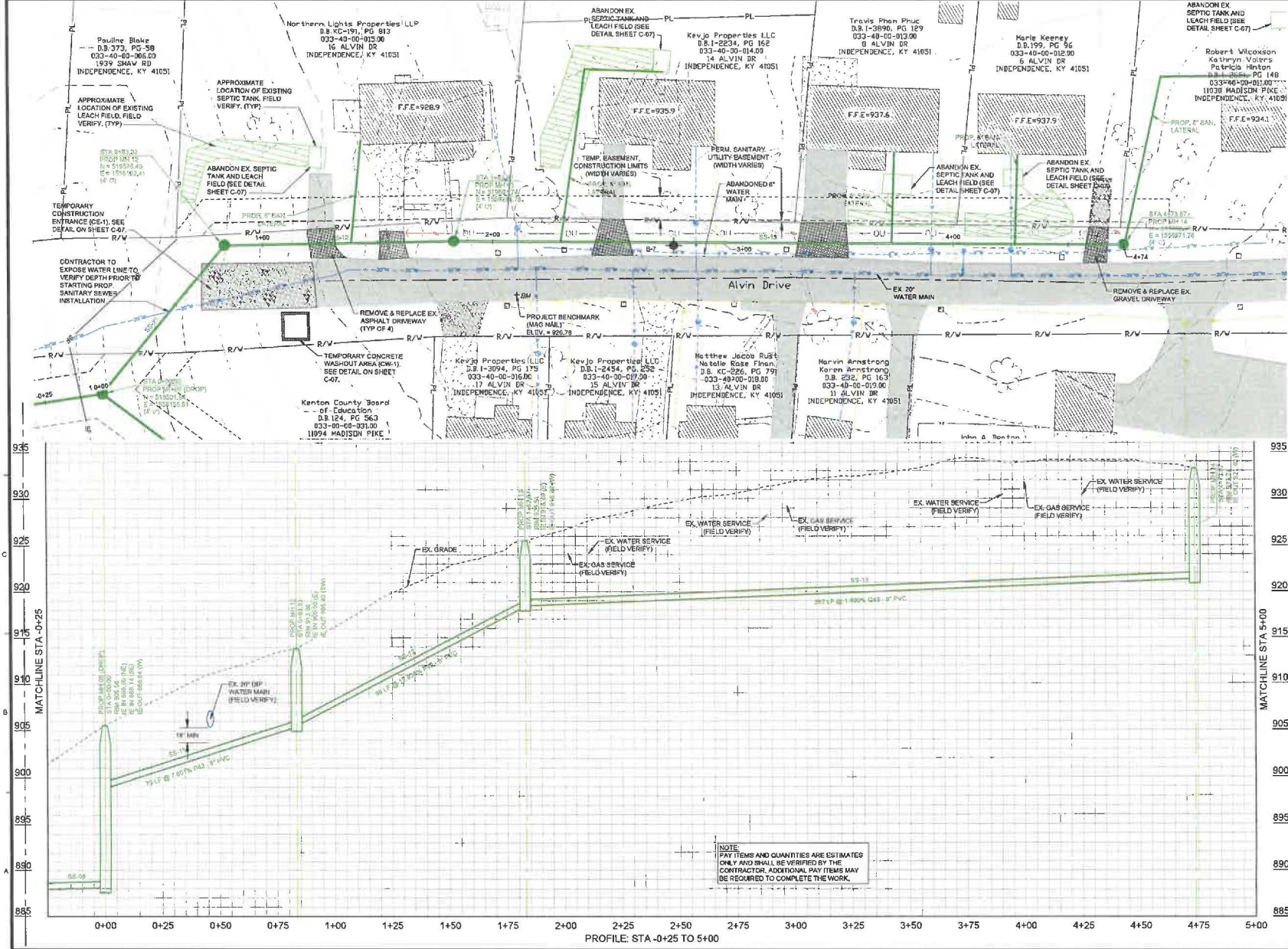
PLAN & PROFILE - STA 15+00 TO STA 20+00

[illegible]



MASON MASON CARR CARR Civil Engineering, LLC <small>COLE ENGINEERING</small>		WWW.MASONCARR.COM P.O. BOX 481 ALEXANDRIA, KY 41001 PHONE: (502) 822-8376	
PROJECT NO. 2024-001	DATE: 10/28/2024	DRAWN BY: ISM	
SHEET NO. 05	SCALE: AS SHOWN	APPROVED BY: BMC	
PLAN & PROFILE - STA 20+00 TO STA 25+00		MARK DATE DESCRIPTION BY	
SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY GRAVITY SANITARY SEWER EXTENSION ALVIN DRIVE SDI PROJECT NO. C708-DG-026			

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MASON MASON CARR
CARR - Civil Engineering, LLC

www.masoncarr.com
P.O. BOX 881
ALEXANDRIA, KY 41001
PHONE (502) 224-9318

PROJECT NO. 2023-001
SHEET C-08

DATE: 02/28/2024
SCALE: AS SHOWN

DRAWN BY: BMM

CHECKED BY: RWC

BRANCH - PLAN & PROFILE - STA 0+00 TO STA 5+00

SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY
GRAVITY SANITARY SEWER EXTENSION
ALVIN DRIVE

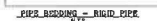
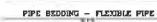
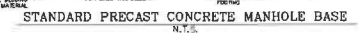
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MARK

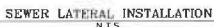
DATE

DESCRIPTION

BY

MOVABLE PANEL CONSTRUCTION MAY BE
USED PROVIDING 3" MIN. THICKNESS PROTECT

DATE:	AUGUST 2019
STANDARD WEARING REP:	113



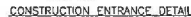
DATE
SEPTEMBER 20, 1971

STANDARD
DRAWING NO.
120

SEVERAL OF THE EXISTING LEACH FIELDS ARE IN THE PATH OF THE PROPOSED SANITARY SEWER, PRIOR TO INSTALLING THE PROPOSED SANITARY SEWER THROUGH THESE LEACH FIELDS, THE CONTRACTOR SHALL CAP THE DISCHARGE PIPE FROM THE EXISTING SEPTIC TANKS WITH 12" CONCRETE CLOSURE CAPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE EXISTING SEPTIC TANKS AND SHALL MONITOR THE SEPTIC TANKS WITH CAPPED DISCHARGE PIPES AND PUMP OUT AND PROPERLY DEPOSE THE WASTEWATER WITH A VACUUM TRUCK ON AN AS-NEEDED BASIS IN A MANNER THAT DOES NOT VIOLATE ANY APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.

UPON COMPLETION OF THE INSTALLATION, TESTING, AND INSPECTION OF THE PROPOSED SANITARY SEWER, THE EXISTING SANITARY LATERALS SHALL BE EXTENDED AND CONNECTED TO THE SANITARY MAIN LINE AND THE EXISTING LATERALS SHALL BE EXTENDED TO THE HOUSE. AFTER THE LATERALS ARE CONNECTED TO THE PROPOSED SANITARY SEWER, THE REMAINING WASTEWATER SHALL BE PUMPED FROM THE EXISTING SEPTIC TANKS WITH A VACUUM TRUCK AND PROPERLY DEPOSED IN A MANNER THAT DOES NOT VIOLATE ANY APPLICABLE FEDERAL AND LOCAL REGULATIONS. THE EXISTING SEPTIC TANKS SHALL THEN BE HOSED OUT AND ALL REMAINING SLUDGE SHALL ALSO BE PUMPED OUT WITH A VACUUM TRUCK AND PROPERLY DEPOSED IN A MANNER THAT DOES NOT VIOLATE ANY APPLICABLE FEDERAL AND LOCAL REGULATIONS.

AFTER ALL WASTEWATER AND SLUDGE HAS BEEN REMOVED FROM THE EXISTING SEPTIC TANK, THE EXISTING SEPTIC TANK SHALL BE FILLED WITH GRAVEL AND ABANDONED IN PLACE AND THE EXISTING DISCHARGE PIPES ON THE EXISTING SEPTIC TANK SHALL BE CAPPED AND ABANDONED IN PLACE.



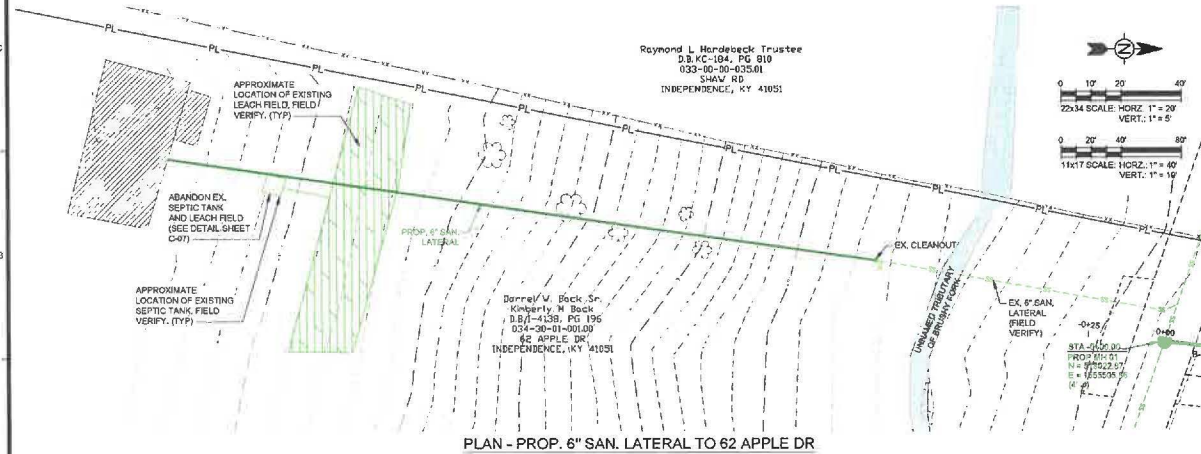
1. A STABILIZED ENTRANCE PAD OR CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. INSTALL A CURB/PILE PILE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.
3. SOIL STABILIZATION FABRIC SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF DIRT AND SEDIMENT ONTO ADJACENT PUBLIC PROPERTY. THE MAY REGULATE THE PERIOD OF DRAINAGE WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEAN OUT OF ANY MEASURES USED TO STOP SEDIMENT.
5. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.
6. WHEN APPROPRIATE, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN A STONE STABILIZED WITH CRUSHED STONE TO PREVENT TRACKING OF DIRT ONTO ADJACENT PUBLIC PROPERTY.
7. REMOVE CONSTRUCTION ENTRANCES AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE, BRING THE DISTURBED AREA TO GRADE, AND STABILIZE IT USING APPROPRIATE PERMANENT VEGETATION OR OTHER METHODS.
8. MINIMUM LOCATIONS ARE SHOWN ON THE PLANS. ADDITIONAL LOCATIONS MAY BE REQUIRED BY PERMITS FOR ACCESS.

MASON MASON CARR CARR		P.O. BOX 661 ALEXANDRIA, KY 40301 PHONE (858) 825-0078 www.masoncarr.com	
CIVIL ENGINEERING		CIVIL ENGINEERING	
PROJECT NO.	2023-001	DATE	02/28/2024
SHEET	C-07	SCALE	AS SHOWN
		DRAWN BY	BRM
		CHECKED BY	RWC

3/2/2024 7:34:02 AM - C:\USERS\BMA\ONE DRIVE - MASON CARR\civil\ENGINEERING\DESIGN\PROJECTS\62 APPLE DR\62 APPLE DR - SANITARY SEWER EXTENSION.dwg - JERAMIN MASON

STRUCTURE SCHEDULE					
STRUCTURE I.D.	RIM ELEVATION PAY ITEM NO.-SIZE & STANDARD DEPTH	PAY ITEM U-7 VERTICAL EXTENSION	TOTAL DEPTH	INV/IN INV OUT	STATION & COORDINATES
PROP MH 01	RIM: 873.54 746'-4" 6.0 VF	12.3 VF	18.3'	8" INV. IN: 855.36 E 8" INV. IN: 805.38 N 8" INV. OUT: 855.23 W	STA: -8+00.0 N: 518022.67 E: 1555005.86
PROP MH 02	RIM: 897.45 746'-4" 6.0 VF	12.6 VF	19.6'	8" INV. IN: 878.94 N 8" INV. OUT: 878.84 S	STA: 1+99.4 N: 518221.00 E: 1555628.45
PROP MH 03	RIM: 895.64 746'-4" 6.0 VF	9.8 VF	15.8'	8" INV. IN: 879.96 N 8" INV. OUT: 879.86 S	STA: 3+83.9 N: 518404.30 E: 1555548.36
PROP MH 04	RIM: 882.99 746'-4" 6.0 VF	5.6 VF	11.5'	8" INV. IN: 891.49 NE 8" INV. OUT: 891.39 S	STA: 6+44.0 N: 518882.60 E: 1555580.67
PROP MH 05	RIM: 904.31 746'-4" 6.0 VF	15.4 VF	21.4'	8" INV. IN: 883.00 N 8" INV. OUT: 882.90 SW	STA: 9+52.7 N: 518465.19 E: 1555819.49
PROP MH 06	RIM: 896.84 746'-4" 6.0 VF	5.9 VF	11.9'	8" INV. IN: 885.62 N 8" INV. OUT: 884.52 E	STA: 13+37.2 N: 518206.91 E: 1555683.23
PROP MH 07	RIM: 897.37 746'-4" 6.0 VF	6.1 VF	12.1'	8" INV. IN: 885.34 NE 8" INV. OUT: 885.24 S	STA: 13+91.2 N: 519248.02 E: 1555703.01
PROP MH 08	RIM: 898.61 746'-4" 6.0 VF	5.3 VF	11.3'	8" INV. IN: 887.38 E 8" INV. OUT: 887.28 SW	STA: 17+59.2 N: 518451.59 E: 1555933.33
PROP MH 09 (DROP)	RIM: 905.68 752'-4" 5.0 VF	11.5 VF	17.5'	8" INV. IN: 898.90 NE 8" INV. IN: 898.14 SE 8" INV. OUT: 888.04 W	STA: 19+01.3 N: 519501.64 E: 1556155.61
PROP MH 10	RIM: 908.91 746'-4" 6.0 VF	0.6 VF	6.6'	8" INV. IN: 903.42 E 8" INV. OUT: 903.32 NW	STA: 20+85.1 N: 518438.50 E: 1555936.54
PROP MH 11	RIM: 918.29 746'-4" 6.0 VF	N/A	5.2'	8" INV. OUT: 914.10 W	STA: 22+85.5 N: 519487.66 E: 1556522.23
PROP MH 12	RIM: 913.88 746'-4" 6.0 VF	2.5 VF	8.5'	8" INV. IN: 905.50 E 8" INV. OUT: 905.40 SW	STA: 24+93.3 N: 518576.40 E: 1558192.41
PROP MH 13	RIM: 925.51 746'-4" 6.0 VF	1.1 VF	7.1'	8" INV. IN: 918.49 E 8" INV. OUT: 918.39 W	STA: 1+83.0 N: 518601.74 E: 1558293.78
PROP MH 14	RIM: 932.77 746'-4" 6.0 VF	5.9 VF	11.9'	8" INV. OUT: 921.40 W	STA: 4+73.9 N: 519669.08 E: 1558571.78

PIPE SCHEDULE							
PIPE NAME	SIZE	LENGTH	PAY ITEM NO.	DOWNSTREAM STATION	UPSTREAM STATION	DOWNSTREAM STRUCTURE	UPSTREAM STRUCTURE
SS-01	8"	197'	R44 - 8" PVC	-6+00.0	1+99.4	PROP MH 01	PROP MH 02
SS-02	8"	189'	R44 - 8" PVC	1+99.4	3+83.9	PROP MH 02	PROP MH 03
SS-03	8"	276'	Q43 - 8" PVC	3+83.9	6+44.0	PROP MH 03	PROP MH 04
SS-04	8"	285'	R44 - 8" PVC	6+44.0	9+52.7	PROP MH 04	PROP MH 05
SS-05	8"	391'	R44 - 8" PVC	9+52.7	13+37.2	PROP MH 05	PROP MH 06
SS-06	8"	40'	Q43 - 8" PVC	13+37.2	13+91.2	PROP MH 06	PROP MH 07
SS-07	8"	384'	Q43 - 8" PVC	13+91.2	17+59.2	PROP MH 07	PROP MH 08
SS-08	8"	128'	R44 - 8" DI	17+59.2	19+01.3	PROP MH 08	PROP MH 09 (DROP)
SS-09	8"	181'	R44 - 8" PVC	19+01.3	20+85.1	PROP MH 09 (DROP)	PROP MH 10
SS-10	8"	216'	P42 - 8" PVC	20+85.1	22+85.5	PROP MH 10	PROP MH 11
SS-11	8"	80'	P42 - 8" PVC	0+00.0	0+83.3	PROP MH 09 (DROP)	PROP MH 12
SS-12	8"	87'	P42 - 8" PVC	0+83.3	1+83.0	PROP MH 12	PROP MH 13
SS-13	8"	287'	Q43 - 8" PVC	1+83.0	4+73.9	PROP MH 13	PROP MH 14



PLAN - PROP. 6" SAN. LATERAL TO 62 APPLE DR

STRUCTURE/PIPE SCHEDULE & PLAN - 62 APPLE DR	
SANITATION DISTRICT NO. 1 OF NORTHERN KENTUCKY GRAVITY SANITARY SEWER EXTENSION ALVIN DRIVE 501 PROJECT NO. 0718-014-03	
DATE: 02/26/2024	DRAWN BY: BMA
PROJECT NO. 2023-001	CHECKED BY: RWC
SHEET: C-08	SCALE: AS SHOWN
MASON MASON CARR CARR - Civil Engineering, LLC P.O. BOX 581 ALEXANDRIA, KY 40001 PHONE: (502) 523-9174 WWW.MASONCARR.COM	

**Good Faith Offer of Sanitation District No. 1
Property Acquisition Settlement Agreement**

Revised - 02/21/2024

Date: 4/25/2024

Project Number: C708-ENG-025

Parcel Number: 033-00-00-031.00

Group Number: IND

Project Name: Alvin

PE and TCE for Sanitary Sewer through 11092 Madison Pike

Name:
(print)

GRANTOR: Kenton County Board of Education
(Name and Address) 1055 Eaton Drive
Ft. Wright, KY 41017

Name:
(print)

Phone Number: 859-957-2619

Email Address: Matthew.Riggs@kenton.kyschools.us

Property Compensation Breakdown

COST WS CODE

							0	04-200-00-4
PE 22233.4 Sq. Feet / TCE 21849.5 Sq. Feet								
2. Other:								0 04-300-00-4
TOTAL GOOD FAITH OFFER (As listed above)								0

Grantor: (Signature)

Grantor: (Signature)

Title: (if commercial)

SD1 Agent:

Your property may be encumbered with a mortgage lien as security for a loan. It is possible that Sanitation District No. 1 may conclude the acquisition of this property without obtaining a partial release of such mortgage lien from your lender. In that event, you as the borrower and grantor of the mortgage lien should consult your loan and mortgage documents concerning possible requirements to apply proceeds from a public acquisition to your outstanding loan balance, or contact your lender about responsibilities and obligations when a portion of your property is acquired for public use. Sanitation District No. 1 cannot provide legal advice.

Property owner has read attached property description and accepts wording and will sign a document which will dictate use of the acquisition after construction has been completed and will remain in effect as long as the property agreement exists. Any conditions to agreement are noted below.

Exhibit A Easement Survey Plat

This instrument represents a total - "full"- settlement with respect to consideration agreed upon for the signing and execution of said easements or fee purchase so identified above. Grantor acknowledges that this Property Acquisition Settlement Agreement will be used as the only document relating to special negotiated issues. If during the actual installation and work on the property the property owner responds with "The negotiator said..." this settlement agreement will stand alone and be the only item of agreement.

**Good Faith Offer of Sanitation District No. 1
Property Acquisition Settlement Agreement**

Revised - 02/21/2024

Date: 4/25/2024

Project Number: C708-ENG-025

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Name:
(print)

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(Name and Address) 1055 Eaton Drive
Ft. Wright, KY 41017

Name:
(print)

Phone Number: 859-957-2619

Email Address: Matthew.Riggs@kenton.kyschools.us

Property Compensation Breakdown

	COST	WS CODE
1. Compensation for Land (all parcels listed above) in Fee or as an Easement: TCE 17308.1 Sq. Feet / PE 17308.0 Sq. Feet	\$0.00	04-200-00-4
2. Other:	\$0.00	04-300-00-4
TOTAL GOOD FAITH OFFER (As listed above)	\$0.00	

Grantor: (Signature)

Grantor: (Signature)

Title: (if commercial)

SD1 Agent:

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Hardabeck Family Trust
o.r.b. KC 184, page 810

Hoffman Heights Sub.
plat B-105

Alvin Drive right of way

Kevjo
Properties
o.r.b.
I-3094,
pg 175

Matthew Rust
& Natalie Finan
o.r.b. KC 226,
page 791

Marvin &
Karen
Armstrong
d.b. 232,
pg. 163
John Deaton
Jessica Work
o.r.b. I-3578,
page 91

Madison Pike

Kenton County School
District
deed book 124, page 563
PIDN: 033-00-00-031.00

Kevjo
Properties
o.r.b.
I-2465,
pg 146

22233.4 Sq. Feet permanent easement

21849.5 Sq. Feet temporary easement

Note:
Lines L3-L11 annotate the
center of the 20' wide permanent
easements and the 40' wide
temporary construction easements.

LINE	BEARING	DISTANCE
L1	S 72°40'58" W	110.48'
L2	S 75°41'15" W	19.83'
L3	S 26°12'42" W	22.50'
L4	S 77°02'03" W	9.74'
L5	N 67°08'12" W	163.80'
L6	S 67°44'26" W	132.13'
L7	S 58°21'16" W	388.01'
L8	S 19°35'06" W	43.95'
L9	S 19°57'11" E	360.82'
L9A	N 19°57'11" W	23.69'
L10	N 55°43'52" E	288.74'
L11	N 06°29'10" E	552.97'
L12	S 70°37'22" E	26.53'
L13	N 12°11'23" W	27.81'

edge of 20' wide
permanent sanitary
sewer easement

edge of 40' wide
temporary construction
easement

Kenton County School
District
deed book 374, page 220
PIDN: 033-00-00-032.00

17308.0 Sq. Feet permanent easement

17308.1 Sq. Feet temporary easement

0' 200' 400' 600'



PERMANENT & TEMPORARY SANITARY SEWER EASEMENTS
Sanitation District No. 1
Kenton County School District to of Northern Kentucky
11094 Madison Pike 1045 Eaton Drive
Independence, KY 41051 Fort Wright, KY 41017

Cahill INC.
SURVEYORS

BOUNDARY
TOPOGRAPHIC
CONSTRUCTION STAKING
cahillsurveyors@fuse.net
(859) 824-7702

DATE: 6/2/23

SCALE: 1" = 200'

DRAWN BY: SCA

REVISED: 4/23/24

KENTON COUNTY

DRAWING NUMBER:

23-26-1

SOUTHWEST OF THE WEST TERMINUS
OF ALVIN DRIVE

CAHILL SURVEYORS, INC.
34 BROADWAY, DRY RIDGE, KY 41035

AFTER RECORDING
PLEASE RETURN TO:
SANITATION DISTRICT NO. 1
ATTN: PROPERTY ACQUISITION ADMINISTRATOR
1045 EATON DRIVE
FT. WRIGHT, KY 41017
(859) 578-7467

For SD1 Use Only Project No.: C708-ENG-025 Cost Code: 04-200-00-4 SD1 Contact for Easement: Katie McDonald

EASEMENT FOR SEWER

IN CONSIDERATION of Zero and 0/100 Dollars (\$0.00) and/or the value and the benefits that Grantor or Grantors will receive by the construction or maintenance of sanitary and/or storm sewer available to serve the property described herein, and other good and valuable consideration, the receipt and sufficiency which is hereby acknowledged, **Kenton County School District Finance Corporation, an agency and instrumentality of the Kenton County School District, a political subdivision of the Commonwealth of Kentucky (f/k/a Kenton County Board of Education)**, of 1055 Eaton Drive, Ft. Wright, KY 41017 (hereinafter referred to, jointly if more than one, as "Grantor"), does hereby GRANT AND CONVEY to **Sanitation District No. 1, ("SD1")**, a sanitation district organized pursuant to Kentucky Revised Statute, Chapter 220, whose address is 1045 Eaton Drive, Ft. Wright, Kenton County, Kentucky 41017, its successors and assigns forever, a right of way and easement for sewer purposes, and the right to lay, construct, operate, inspect, maintain, repair, reconstruct and remove a sanitary and/or storm sewer and appurtenances thereto, including, but not limited to, such manholes or other similar structure(s) as SD1 may deem necessary or desirable, along, through, under, across and upon the following described real estate:

Group No.: IND

Deed Book/Page Number: 124/563

PIDN: 033-00-00-031.00

Address: 11092 Madison Pike, Independence, Kentucky 41051

Legal Description:

CENTER OF 20' WIDE EASEMENT AND 40' WIDE TEMPORARY EASEMENT:

Lying and being in Kenton County, Kentucky, Southwest of the West terminus of Alvin Drive and being more particularly described as follows, to-wit:

The basis of bearings for this description is grid North.

Beginning at a point in the South right of way of Alvin Drive Lane at the Northwest corner of Kevjo Properties (official record book I-3094, page 175), a corner to Kenton County School District (deed book 124, page 563); thence with said right of way with the North line of Kentucky County School District, S 72°40'58" W ---110.48 feet; thence, S 75°41'15" W ---19.83 feet to the REAL POINT OF BEGINNING for this description; thence with the center of the easement, S 26°12'42" W ---22.50 to the intersection of a portion of the easement heading Southeast; thence continuing with the portion of the easement to the West, S 67°44'26" W ---132.13 feet; thence, S 58°21'16" W ---388.01 feet; thence, S 19°35'06" W ---43.95 feet; thence, S 19°57'11" E ---360.82 feet to a point in the North line of Kenton County School District (deed book 124, page 563) at the South end of the easement and being over the land of Kenton County School District recorded in deed book 124, page 563 of the Independence deeds of the Kenton County Court Clerk records at Covington, Kentucky.

The aforementioned Southeast heading portion of the easement is described as follows, to-wit:

Beginning at the Southwest corner of Kevjo Properties (official record book I-3094, page 175); thence with the West line of Kevjo Properties, N 12°11'23" W ---27.81 feet to the REAL POINT OF BEGINNING for this portion of the easement; thence with the center of the easement, S 77°02'03" W ---9.74 feet; thence, N 67°08'12" W ---163.80 feet to the aforementioned intersection of the portions of the easement.

A MAP SHOWING THE ABOVE DESCRIPTION IS ATTACHED AS EXHIBIT A AND MADE A PART HEREOF.

Subject to any and all zoning, easements, rights-of-way, restrictions, encumbrances, reservations and exceptions of record.

Grantor further grants to SD1 the right of ingress and egress in and over existing ways and lanes to the extent suitable, and other reasonable routes to and upon and along the Easement, at such times and at such points as may reasonably be necessary for the construction, maintenance and/or reconstruction of said sewer and to remove any and all structures, trees, roots, brush or other obstructions within or immediately adjacent to the Easement, which may, in SD1's reasonable opinion, endanger the safety of, or interfere with the construction, operation, maintenance, repair and/or reconstruction of, said sewer and its appurtenances. Grantor shall have no claim with respect to any damages caused by SD1's exercise of its rights hereunder, except to the extent such damage is caused by the gross negligence or willful misconduct of SD1.

Grantor shall have the right to use the surface of the Easement for any purpose, provided such use does not interfere in any way with SD1's use of the Easement as contemplated herein. Grantor shall not build or erect any improvements or structures upon, across, over or through the Easement nor grant any other easement within the

Easement, without the prior written approval from SD1, which approval shall not be unreasonably withheld, but which may be conditioned upon the Grantor taking such precautions as SD1 deems appropriate to protect the Easement and avoid interference with its use thereof. SD1's approval shall not relieve Grantor from liability to SD1 for damage caused by such action to the Easement or SD1's appurtenances installed therein.

It is the obligation of Grantor to maintain the Easement in such a manner as not to cause erosion or waste of the Easement area and to not interfere with the operation and/or maintenance of the Easement or any appurtenances installed by SD1 therein.

Grantor warrants that it is the Owner of the Easement in fee simple, subject to matters of record, and that Grantor has all requisite power and authority to grant the Easement and bind itself to the terms and conditions hereof, which grant is made with general warranty of title.

The grant of the Easement is binding upon Grantor, SD1 and their respective heirs, successors and assigns, and same shall run with the land.

TO HAVE AND TO HOLD, the Easement and right of way herein granted unto the said SD1, its successors and assigns, forever.

Grantor herein hereby releases all right, title and interest in and to the Easement, and covenants that the title to the Easement is free, clear and unencumbered, and WARRANTS GENERALLY the said title subject to taxes, assessments and matters of record.

IN WITNESS WHEREOF, the Grantor, by its duly authorized representative has hereunto executed this Easement as of this ____ day of _____, 20____.

GRANTOR

Kenton County School District Finance Corporation, an agency and instrumentality of the Kenton County School District, a political subdivision of the Commonwealth of Kentucky (f/k/a Kenton County Board of Education)

By: _____
Printed Name: Jessica Jehn
Title: President

STATE OF KENTUCKY, COUNTY OF _____:

SUBSCRIBED, SWORN TO AND ACKNOWLEDGED before me, a Notary Public, this ____ day of _____, 20____, by, **Kenton County School District Finance Corporation, an agency and instrumentality of the Kenton County School District, a political subdivision of the Commonwealth of Kentucky (f/k/a Kenton County Board of Education)**, by and through Jessica Jehn, its President, who is authorized to sign on its behalf.

Notary Public
Commission Expires: _____
Identification Number: _____

This instrument prepared by:

Brian M. Ellerman
General Counsel
Sanitation District No. 1
1045 Eaton Drive
Ft. Wright, KY 41017

AFTER RECORDING
PLEASE RETURN TO:
SANITATION DISTRICT NO. 1
ATTN: PROPERTY ACQUISITION ADMINISTRATOR
1045 EATON DRIVE
FT. WRIGHT, KY 41017
(859) 578-7467

For SD1 Use Only Project No.: C708-ENG-025 Cost Code: 04-200-00-04 SD1 Contact for Easement: Katie McDonald
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EASEMENT FOR SEWER

IN CONSIDERATION of Zero and 0/100 Dollars (\$0.00) and/or the value and the benefits that Grantor or Grantors will receive by the construction or maintenance of sanitary and/or storm sewer available to serve the property described herein, and other good and valuable consideration, the receipt and sufficiency which is hereby acknowledged, **Kenton County School District Finance Corporation, an agency and instrumentality of the Kenton County School District, a political subdivision of the Commonwealth of Kentucky**, of 1055 Eaton Drive, Ft. Wright, KY 41017 (hereinafter referred to, jointly if more than one, as "Grantor"), does hereby GRANT AND CONVEY to **Sanitation District No. 1, ("SD1")**, a sanitation district organized pursuant to Kentucky Revised Statute, Chapter 220, whose address is 1045 Eaton Drive, Ft. Wright, Kenton County, Kentucky 41017, its successors and assigns forever, a right of way and easement for sewer purposes, and the right to lay, construct, operate, inspect, maintain, repair, reconstruct and remove a sanitary and/or storm sewer and appurtenances thereto, including, but not limited to, such manholes or other similar structure(s) as SD1 may deem necessary or desirable, along, through, under, across and upon the following described real estate:

Group No.: IND

Deed Book/Page Number: 374/220

PIDN: 033-00-00-032.00

Address: 11132 Madison Pike, Independence, Kentucky 41051

Legal Description:

CENTER OF 20' WIDE EASEMENT AND 40' WIDE TEMPORARY EASEMENT:

Lying and being in Kenton County, Kentucky, 825 feet Southwest of the West terminus of Alvin Drive and being more particularly described as follows, to-wit:

The basis of bearings for this description is grid North.

Beginning at the Southwest corner of Kenton County School District (deed book 374, page 220) at the Northwest corner of Hoffman Heights Subdivision (plat B-105); thence with the South line of Kenton County School District, S 70°37'22" E ---26.53 feet to the REAL POINT OF BEGINNING for this description; thence with the center of the easement, N 06°29'10" E ---552.97 feet; thence, N 55°43'52" E ---288.74 feet; thence, N 19°57'11" W ---23.69 feet to the end of the easement and being over the land of Kenton County School District recorded in deed book 374, page 220 of the Independence deeds of the Kenton County Court Clerk records at Covington, Kentucky.

A MAP SHOWING THE ABOVE DESCRIPTION IS ATTACHED AS EXHIBIT A AND MADE A PART HEREOF.

Subject to any and all zoning, easements, rights-of-way, restrictions, encumbrances, reservations and exceptions of record.

Grantor further grants to SD1 the right of ingress and egress in and over existing ways and lanes to the extent suitable, and other reasonable routes to and upon and along the Easement, at such times and at such points as may reasonably be necessary for the construction, maintenance and/or reconstruction of said sewer and to remove any and all structures, trees, roots, brush or other obstructions within or immediately adjacent to the Easement, which may, in SD1's reasonable opinion, endanger the safety of, or interfere with the construction, operation, maintenance, repair and/or reconstruction of, said sewer and its appurtenances. Grantor shall have no claim with respect to any damages caused by SD1's exercise of its rights hereunder, except to the extent such damage is caused by the gross negligence or willful misconduct of SD1.

Grantor shall have the right to use the surface of the Easement for any purpose, provided such use does not interfere in any way with SD1's use of the Easement as contemplated herein. Grantor shall not build or erect any improvements or structures upon, across, over or through the Easement nor grant any other easement within the Easement, without the prior written approval from SD1, which approval shall not be unreasonably withheld, but which may be conditioned upon the Grantor taking such precautions as SD1 deems appropriate to protect the Easement and avoid interference with its use thereof. SD1's approval shall not relieve Grantor from liability to SD1 for damage caused by such action to the Easement or SD1's appurtenances installed therein.

It is the obligation of Grantor to maintain the Easement in such a manner as not to cause erosion or waste of the Easement area and to not interfere with the operation and/or maintenance of the Easement or any appurtenances installed by SD1 therein.

Grantor warrants that it is the Owner of the Easement in fee simple, subject to matters of record, and that Grantor has all requisite power and authority to grant the Easement and bind itself to the terms and conditions hereof, which grant is made with general warranty of title.

The grant of the Easement is binding upon Grantor, SD1 and their respective heirs, successors and assigns, and same shall run with the land.

TO HAVE AND TO HOLD, the Easement and right of way herein granted unto the said SD1, its successors and assigns, forever.

Grantor herein hereby releases all right, title and interest in and to the Easement, and covenants that the title to the Easement is free, clear and unencumbered, and WARRANTS GENERALLY the said title subject to taxes, assessments and matters of record.

IN WITNESS WHEREOF, the Grantor, by its duly authorized representative has hereunto executed this Easement as of this ____ day of _____, 20____.

GRANTOR

Kenton County School District Finance Corporation, an agency and instrumentality of the Kenton County School District, a political subdivision of the Commonwealth of Kentucky

By: _____
Printed Name: Jessica Jehn
Title: President

STATE OF KENTUCKY, COUNTY OF _____:

SUBSCRIBED, SWORN TO AND ACKNOWLEDGED before me, a Notary Public, this ____ day of _____, 20____, by, **Kenton County School District Finance Corporation, an agency and instrumentality of the Kenton County School District, a political subdivision of the Commonwealth of Kentucky** by and through Jessica Jehn its President, who is authorized to sign on its behalf.

Notary Public
Commission Expires: _____
Identification Number: _____

This instrument prepared by:

Brian M. Ellerman
General Counsel
Sanitation District No. 1
1045 Eaton Drive
Ft. Wright, KY 41017