

Marion County Ray House Demolition

Lebanon, Kentucky

for the

Marion County Board of Education

755 E Main Street Lebanon, Kentucky 40033

p 270.692.3721

BG # 24-254

RTA # 23056

INDEX OF DRAWINGS	
SS1.0	SURVEY
SD0.1	ESPC AND SITE DEMOLITION
SD1.1	SITE DEVELOPMENT PLAN



101 old lafayette avenue
lexington, kentucky 40502
p 859.254.4018
www.rosstarrant.com

COVER SHEET
FOR:
MARION COUNTY BOARD OF EDUCATION
LEBANON, KY

enhancing education through great design

PROJECT SITE ADDRESS:

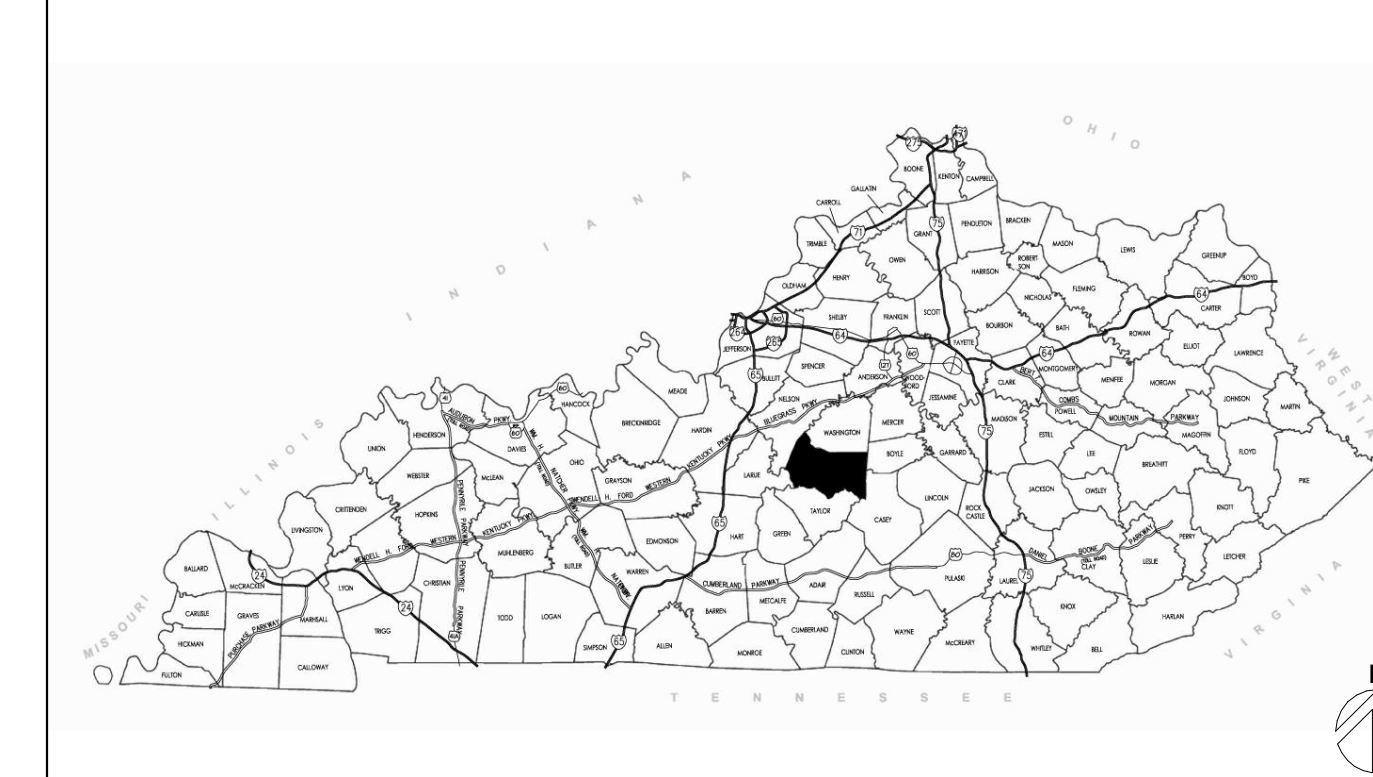
420 West Main Street
Lebanon, Kentucky
40033

VICINITY MAP



SITE

PROJECT VICINITY MAP



BG# 24-254

Project No: 23056
Drawn By: NIA, RAB
Rev'd By: ESB, MBM

SHEET RELEASE	
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CONSTRUCTION DOCUMENTS

G0.0

COVER SHEET

DATE ISSUED:
FEBRUARY 1, 2024



2020 LIBERTY ROAD, SUITE 105
LEXINGTON, KY 40505
(859) 295-5518

CLIENT:
MARION COUNTY SCHOOL BOARD
755 E MAIN ST.
LEBANON, KY 40033

NO	DATE	BY	CHK	APP

SCALE:	DATE:
1"=40'	11/03/2021
DRAWN BY:	CHECKED BY:
WSL	MDG
DESIGNED BY:	APPROVED BY:
NA	AWL

PROJECT NUMBER
218096
SHEET NUMBER
1

TOPOGRAPHIC SURVEY
LEBANON ELEMENTARY SCHOOL
420 W MAIN ST.
LEBANON, KENTUCKY

SURVEY CONTROL POINTS

CP #	Northing	Easting	Elevation	Description
1	2089955.61	1783038.73	788.28	MAG NAIL IN SW
2	2089647.34	1782495.11	785.69	MAG NAIL IN SW
3	2089129.58	1782890.33	771.33	IRON PIN SET
4	2089526.39	1783297.17	786.18	MAG NAIL IN SW

SURVEY NOTES

THE PURPOSE OF THIS SURVEY IS TO PROVIDE SITE IMPROVEMENT & TOPOGRAPHIC INFORMATION ONLY. THIS DOCUMENT DOES NOT REPRESENT A BOUNDARY SURVEY, IS NOT INTENDED FOR RECORDING OR LAND TRANSFER AND IS NOT INTENDED TO COMPLY WITH 201 KAR 18.150.

THE NORTH MERIDIAN & VERTICAL DATUM SHOWN HEREON ARE BASED ON GPS OBSERVATIONS MADE USING A TRIMBLE R8 NETWORK RECEIVER USING C.O.R.S. STATION VRS2. THE HORIZONTAL DATUM IS KENTUCKY STATE PLANE COORDINATE SYSTEM SOUTH ZONE (NAD 83) GRID NORTH. THE VERTICAL DATUM IS NAVD 88 (GEOID12B). THIS SURVEY CONTROL WAS ESTABLISHED ON SEPTEMBER 21, 2021.

THIS SURVEY WAS CONDUCTED BY THE METHOD OF RANDOM TRAVERSE WITH SIDESHOTS. THE PRECISION RATIO OF THE TRAVERSE WAS 1:153,669 AND WAS NOT ADJUSTED.

THIS PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY BOTH RECORDED AND UNRECORDED.

DATE OF SURVEY: SEPTEMBER 29, 2021

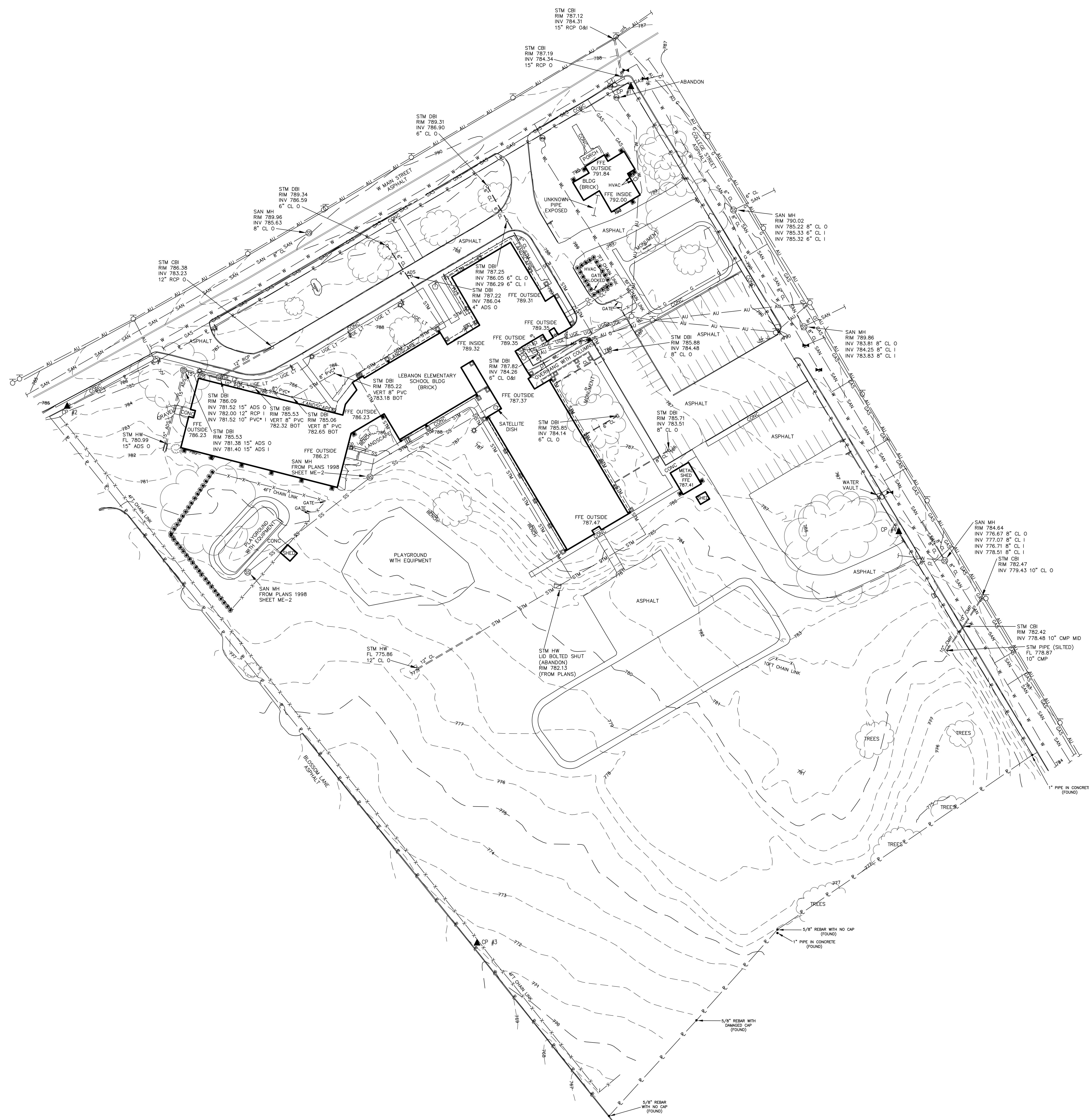
DISCLAIMERS

THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE ABSTRACT. NO LIABILITY IS ASSUMED BY THE SURVEYOR FOR ANY LOSS THAT MAY BE DISCOVERED BY AN ABSTRACT OR TITLE SEARCH.

THE SUBSURFACE UTILITY LOCATIONS AND DESCRIPTIONS SHOWN HEREON WERE DETERMINED TO THE EXTENT POSSIBLE BY SURFACE OBSERVATIONS. LOCATION MARKINGS PROVIDED BY THE UNDERGROUND DETECTIVE (TUD) AND LOCATION MARKINGS PLACED BY KY 811 LOCATION SERVICE (TICKET NUMBER 2109151253, DATE 09/15/2021). LINES SHOWN MAY VARY FROM THE LOCATIONS OUTLINED AND ADDITIONAL UTILITIES AND OR EASEMENTS MAY EXIST. NO LIABILITY IS ASSUMED BY THE SURVEYOR FOR ANY LOSS OR DAMAGE THAT MAY OCCUR DURING DESIGN OR CONSTRUCTION.

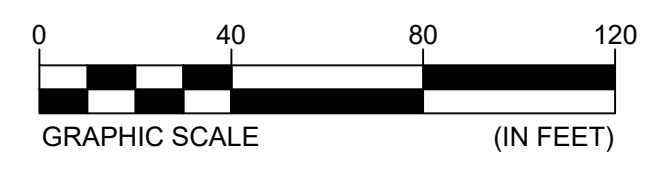
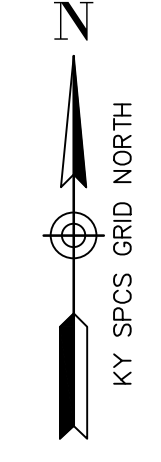
LAND SURVEYORS CERTIFICATION
I DO HEREBY CERTIFY THAT THIS EXHIBIT WAS PREPARED UNDER MY DIRECTION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SHOWN HEREON IS TRUE AND ACCURATE.

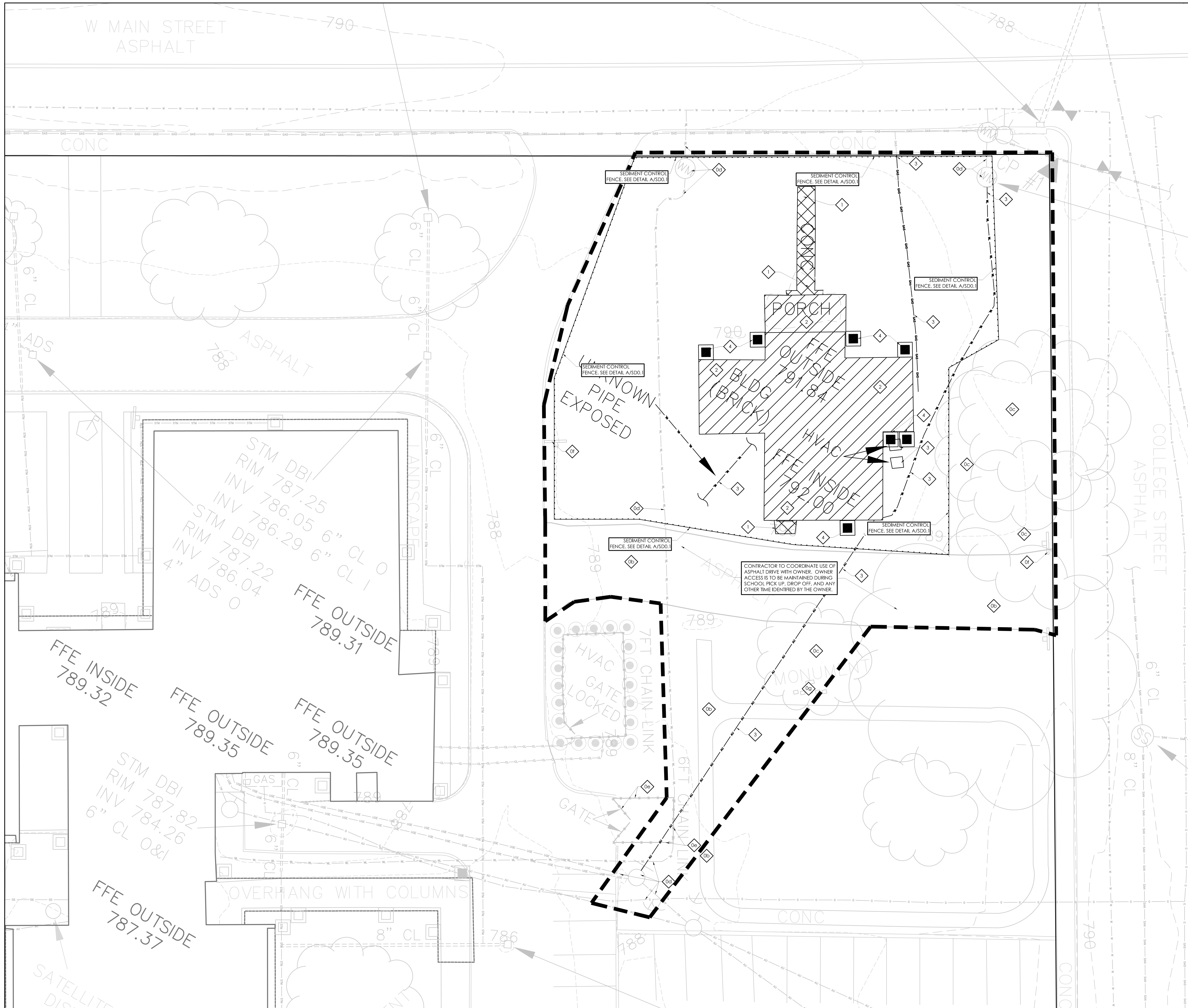
ALAN W. LEAKE, P.L.S. #3032 11/03/2021
DATE



LEGEND

- APPROXIMATE PROPERTY LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- STORM SEWER (FROM SURFACE OBSERVATION)
- STORM SEWER (FROM 1997 PLANS ONLY)
- SANITARY LINE (FROM SURFACE OBSERVATION)
- SANITARY LINE (FROM 1997 PLANS)
- UNDERGROUND ELECTRIC LINE (FROM TUD)
- UNDERGROUND ELECTRIC LINE LOW VOLTAGE (FROM TUD)
- WATERLINE (FROM TUD)
- WATERLINE (FROM KY 811)
- HVAC COOLING LINES (FROM TUD)
- GAS LINE (FROM TUD)
- GAS LINE (FROM KY 811)
- AERIAL UTILITY (FROM SURFACE OBSERVATIONS ONLY)
- FENCE LINE
- GRAVEL EDGE
- BUILDING OVERHANG
- LANDSCAPE AREA
- TREE LINE
- STORM SEWER DROP INLET
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- GUY WIRE
- CONTROL POINT
- SANITARY MANHOLE
- LIGHT POLE
- UTILITY POLE
- CLEANOUT (STORM OR SANITARY)
- TREE (NOT TO SCALE)
- SIGN
- BOLLARD (NOT TO SCALE)
- FLAG POLE
- DOWNSPOUT TO STORM DRAIN
- DOWNSPOUT TO GRADE
- GAS METER
- PROPERTY MONUMENT FOUND AS NOTED
- DESCRIPTION FROM 1998 PLANS ONLY





GENERAL SITE NOTES

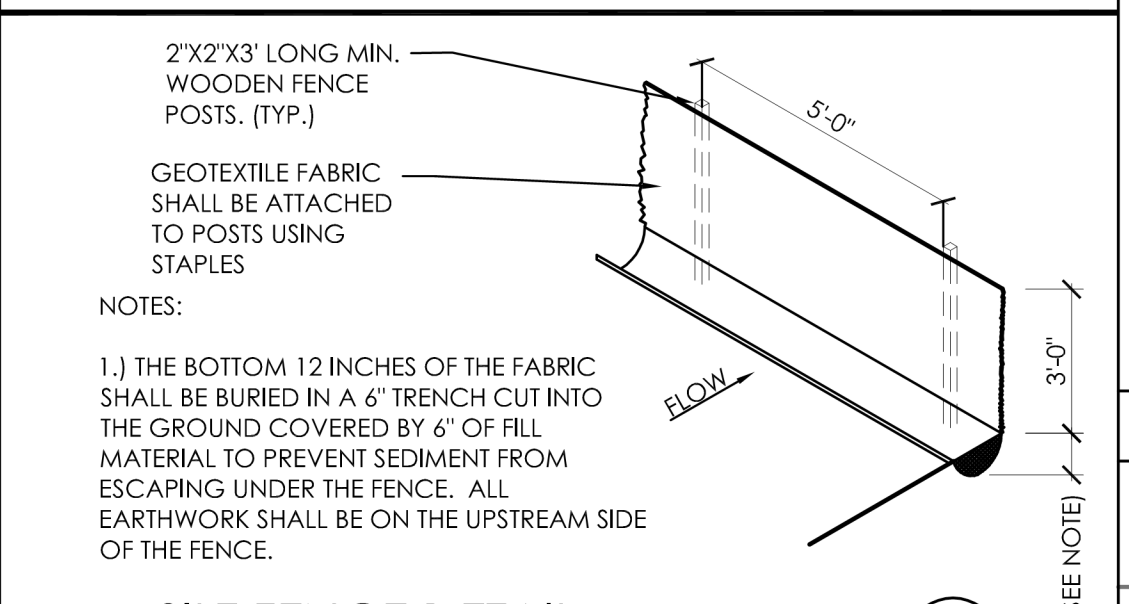
1. THE SITE PLANS WERE PREPARED BASED UPON TOPOGRAPHIC SURVEYS BY S&ME 2020 LIBERTY RD SUITE 105 LEXINGTON KY 40505, REFER TO SITE SURVEY SHEETS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
3. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BI-PHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
4. THE CONTRACTOR SHALL USE EXTREME CARE IN WORKING AROUND EXISTING OVERHEAD AND UNDERGROUND UTILITIES. MEASURES SHOULD BE TAKEN TO PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.
5. SEE EROSION POLLUTION AND SEDIMENT CONTROL PLAN ON SDD.1 FOR RECOMMENDED BEST MANAGEMENT PRACTICES INFORMATION AND SEDIMENT CONTROLS.

SITE BMP NOTES

1. CONTRACTOR IS TO PROVIDE ALL KPDES PERMITS, NOTICES OF INTENT (NOIS) AND NOTICES OF TERMINATION INCLUDING EROSION AND SEDIMENT CONTROL PLANS FOR ALL PHASES OF CONSTRUCTION. ALL KPDES AND RELATED DIVISION OF WATER REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE PROJECT IS CLOSED OUT AND THE NOTICE OF TERMINATION APPROVED.
2. SEDIMENT CONTROL FENCING SHOWN AND REFERENCES TO SEDIMENT CONTROLS AT STORM WATER STRUCTURES AND ELSEWHERE ON THE DOCUMENTS ARE NOT TO BE USED FOR DIVISION OF WATER REQUIREMENTS. THESE REFERENCES ARE ONLY REQUIRED BY THE DESIGNER FOR PROPER MAINTENANCE OF THE STORM WATER SYSTEM AND TO MINIMIZE CLEANING OF THE SYSTEM AND PAVEMENTS.
3. EXISTING VEGETATION IS TO BE LEFT INTACT UNTIL CONSTRUCTION IN THAT PARTICULAR LOCATION IS REQUIRED. SOIL STABILIZATION PRACTICES (SEEDING, MULCHING, ETC.) ARE TO BEGIN WITHIN 14 DAYS OF PERMANENT COMPLETION OR TEMPORARY HALT (21 DAYS OR MORE) OF WORK IN ANY PARTICULAR AREA.
4. PERIMETER SEDIMENT AND EROSION CONTROLS ARE TO BE INSTALLED PRIOR TO THE START OF SITE CLEARING AND GRUBBING. EROSION CONTROLS SHALL BE IN ACCORDANCE WITH KENTUCKY DEPARTMENT OF HIGHWAY STANDARDS. CONTROL SHALL BE ACCOMPLISHED BY USE OF INTERCEPTOR DITCHES, DITCH SILT CHECKS, TEMPORARY SEEDING AND OTHER MEASURES AS MAY BE EFFECTIVE IN ACHIEVING THE DESIRED EFFECT. SILT FENCE SHALL BE INSTALLED TO PREVENT EROSION AND WASH-OFF ONTO WALKS, PAVEMENTS AND ALL ADJOINING PROPERTIES.
5. INSTALL SEDIMENT CONTROL FENCE OR SEDIMENT TRAPS AROUND ALL STORM WATER INLETS AND MAINTAIN UNTIL VEGETATION IS ESTABLISHED OR AREA PAVED AS APPROVED BY THE ARCHITECT. STORM WATER INLET PROTECTION IS TO BE INSTALLED IMMEDIATELY AFTER INSTALLATION OF THE STRUCTURES. REMOVE PROTECTIONS AT THE COMPLETION OF THE PROJECT WHEN CONDITIONS NO LONGER WARRANT THEIR USE. SEE SDD SHEETS FOR DETAILS.
6. TYPICAL SILT FENCE INSTALLATION DETAILS ARE SHOWN ON THIS SHEET.
7. SEDIMENT CONTROLS ARE TO BE INSPECTED, CLEANED AND REPAIRED AFTER EACH RAIN EVENT OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE PER WEEK. A LOG OF INSPECTIONS AND CLEANING IS TO BE KEPT ON SITE.
8. THE LOCATIONS OF SEDIMENT CONTROLS ARE FOR GENERAL PROTECTION PRACTICES AND NOT AS PART OF A BMP PLAN. IF CONSTRUCTION ACTIVITIES PRODUCE CONDITIONS THAT REQUIRE ADDITIONAL CONTROLS, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE, INSTALL AND MAINTAIN THE CONTROLS UNTIL CONDITIONS NO LONGER WARRANT THEIR USE.
9. ALL STORM DRAINAGE CATCH BASINS, CURB INLETS, AND JUNCTIONS BOXES ARE TO RECEIVE PROTECTION FROM SEDIMENTATION. AT A MINIMUM A PERIMETER SILT FENCE SHOULD BE INSTALLED AROUND THE DRAINAGE STRUCTURE AND INSTALLED UNDER THE GRATE.

SITE DEMOLITION TAGS

- (0) EXISTING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- (1) BUILDING TO REMAIN. NO UTILITIES TO THESE FACILITIES ARE TO BE REMOVED UNLESS NEW PERMANENT UTILITY IS PROVIDED PRIOR TO DEMOLITION.
- (2) PAVEMENT TO REMAIN - PATCH/REPAIR WHERE DAMAGED BY CONSTRUCTION. SAW-CUT TO PROVIDE CLEAN EDGE. CONCRETE PAVING TO BE SAW-CUT BACK TO NEAREST UNDAUNAGED CONTROL OR ISOLATION JOINT. MATCH NEW ADJACENT PAVEMENT TO EXISTING PAVEMENT ELEVATIONS.
- (3) TREE/VEGETATION TO REMAIN.
- (4) UTILITY TO REMAIN.
- (5) FENCING TO REMAIN.
- (6) SIGNAGE TO REMAIN.
- (7) DEMOLISH AND REMOVE EXISTING CONCRETE PAVEMENT AND AGGREGATE BASE.
- (8) DEMOLISH AND REMOVE EXISTING BUILDING WITH BASEMENT AND ASSOCIATED FOOTINGS/FOUNDATIONS/SLABS, AND ASSOCIATED DOORS, WINDOWS, AND STAIR ASSEMBLIES (024100), REFER TO DIVISION 31 SPECIFICATIONS FOR EARTHWORK REMEDIATION AND BACKFILLING.
- (9) DEMOLISH AND REMOVE EXISTING UTILITY LINE/STRUCTURE. TERMINATE UTILITY IN COMPLIANCE WITH LOCAL UTILITY GUIDELINES AT SERVICE CONNECTION OR ROW. COORDINATE ALL UTILITY DEMOLITION WITH APPROPRIATE LOCAL UTILITY COMPANY PRIOR TO DEMOLITION ACTIVITIES.
- (10) DEMOLISH AND REMOVE EXISTING STORM LINE/STRUCTURE.

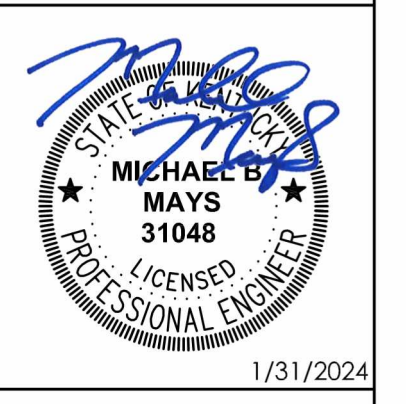
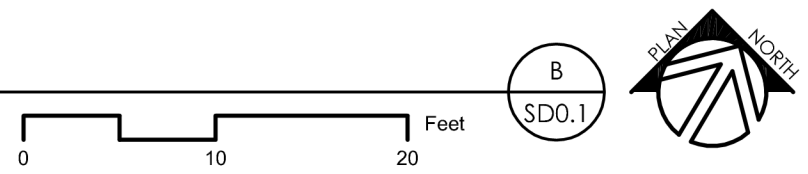


SILT FENCE DETAIL
SCALE: 1" = 8'-0"

LEGEND

- SEDIMENT CONTROL FENCE. ADDITIONAL FENCE MAY BE REQUIRED AT OTHER AREAS DURING CONSTRUCTION. SEE DETAIL A/SDD.1
- CONSTRUCTION LIMITS
- CONCRETE PAVEMENT DEMOLITION
- EXISTING STRUCTURE DEMOLITION

EPSC AND SITE DEMOLITION PLAN
SCALE: 1" = 10'-0"



EPSC AND SITE DEMOLITION PLAN
RAY HOUSE DEMOLITION
FOR:
MARION COUNTY BOARD OF EDUCATION
LEBANON, KENTUCKY

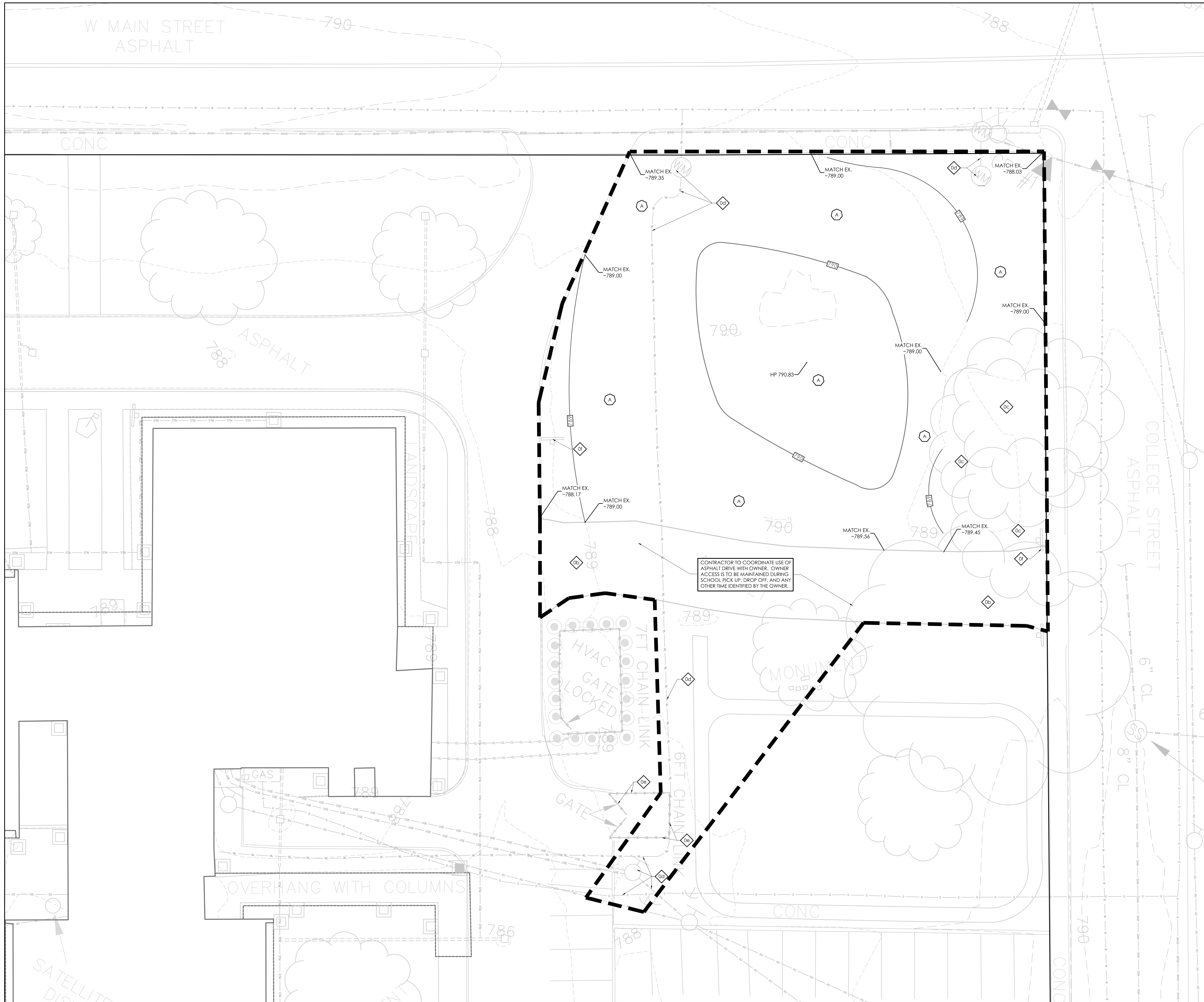
Project No: 24-254
Drawn By: KAMIES
Rev'd By: RB/DS/MBM

SHEET RELEASE	
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CONSTRUCTION DOCUMENTS

SD0.1

EPSC & SITE DEMOLITION PLAN
DATE ISSUED:
FEBRUARY 1, 2024



GENERAL SITE NOTES

1. THE SITE PLANS WERE PREPARED BASED UPON TOPOGRAPHIC SURVEYS BY S&ME 2020 LIBERTY RD SUITE 105 LEXINGTON KY 40505. REFER TO SITE SURVEY SHEETS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
3. THE ARCHITECT AND ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
4. THE CONTRACTOR SHALL USE EXTREME CARE IN WORKING AROUND EXISTING OVERHEAD AND UNDERGROUND UTILITIES. MEASURES SHOULD BE TAKEN TO PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.
5. SEE EROSION POLLUTION AND SEDIMENT CONTROL PLAN ON SD0.1 FOR RECOMMENDED BEST MANAGEMENT PRACTICES INFORMATION AND SEDIMENT CONTROLS.

SITE DEVELOPMENT TAGS

- (D) EXISTING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- (G) BUILDING TO REMAIN. NO UTILITIES TO THESE FACILITIES ARE TO BE REMOVED UNLESS NEW PERMANENT UTILITIES PROVIDED PRIOR TO DEMOLITION.
- (H) PAVEMENT TO REMAIN - PATCH/REPAIR WHERE DAMAGED BY CONSTRUCTION. SAW-CUT TO PROVIDE CLEAN EDGE. CONCRETE PAVING TO BE SAW-CUT BACK TO NEAREST UNDAUNAGED CONTROL OR ISOLATION JOINT. MATCH NEW ADJACENT PAVEMENT TO EXISTING PAVEMENT ELEVATIONS.
- (I) TREE/VEGETATION TO REMAIN.
- (J) UTILITY TO REMAIN.
- (K) FENCING TO REMAIN.
- (L) SIGNAGE TO REMAIN.

SITE GRADING NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ACTUAL DEPTHS OF ALL EXISTING STORM DRAINS, GAS MAINS, WATER MAINS, AND PIPES TO ALL NEW CONNECTIONS AND CROSSINGS. CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO AREAS WHERE CONSTRUCTION OR GRADING MAY INTERFERE WITH SUCH LINES.
2. ANY DISCREPANCIES BETWEEN THIS GRADING PLAN AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO EXCAVATION, GRADING, TRENCHING, OR OTHER CONSTRUCTION OF ANY SORT. FAILURE TO NOTIFY THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF EXCAVATION, GRADING, TRENCHING, OR OTHER CONSTRUCTION SHALL IMPLY THE CONTRACTOR'S VERIFICATION OF AND ACCEPTANCE OF EXISTING SITE CONDITIONS. SAID FAILURE TO NOTIFY THE ARCHITECT IN WRITING SHALL IDENTIFY AND HOLD HARMLESS THE OWNER FROM ANY ADDITIONAL COSTS INCURRED BY THE CONTRACTOR DUE TO DISCREPANCIES NOT REPORTED WHICH COULD HAVE BEEN DETECTED BY PRUDENT AND REASONABLE OBSERVATION AND VERIFICATION BY THE CONTRACTOR.
3. ALL IMPERVIOUS SURFACES SHALL BE GRADED AND INSTALLED WITH A MINIMUM SLOPE OF ONE PERCENT (1%) AND A MAXIMUM SLOPE OF SEVEN PERCENT (7%).
4. ALL PERVIOUS SURFACES SHALL BE GRADED AND INSTALLED WITH A MINIMUM SLOPE OF TWO PERCENT (2%) AND A MAXIMUM SLOPE OF THIRTY-THREE PERCENT (33%) EXCEPT WHERE SHOWN.
5. SLOPE PERVIOUS SURFACES MIN. 5% AND IMPERVIOUS SURFACES MIN. 1% AWAY FROM BUILDING FOUNDATIONS.
6. MAINTAIN GRADING TO PROMOTE POSITIVE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO POND IN CONSTRUCTION AREAS.
7. RELOCATE ALL BURIED UTILITIES THAT ARE IMPACTED BY ANY EARTHWORK. RELOCATED UTILITY LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO STARTING WORK.
8. PROTECT AREAS TO BE SEED AS FOLLOWS:
 - A) DITCHES AND DRAINAGE SWALES ARE TO RECEIVE HIGH-VELOCITY EROSION-CONTROL BLANKETS.
 - B) SLOPES 4:1 (H:V) OR GREATER ARE TO RECEIVE LONG-TERM EROSION-CONTROL BLANKETS.
 - C) SLOPES BETWEEN 4:1 AND 6:1 (H:V) ARE TO RECEIVE SHORT-TERM EROSION CONTROL BLANKETS.
 - D) SLOPES BELOW 6:1 (H:V) ARE TO RECEIVE STRAW MULCH PER THE SPECIFICATIONS. DO NOT USE HAY.
9. ANY AREAS DISTURBED DURING CONSTRUCTION ARE TO BE RECONDITIONED, SEED AND MULCHED PER THE SPECIFICATIONS.
10. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF THEIR STANDARD PROCTOR MAXIMUM DRY DENSITY AT PLUS OR MINUS TWO (2) PERCENT OF OPTIMUM MOISTURE CONTENT:
 - A) UNDER FLOOR SLABS AND FOUNDATIONS ON STRUCTURAL FILL - 98%
 - B) FILLS ON EXISTING SOILS, ROCK CUTS OR SHOT/ROCK FILL - 98%
 - C) PAVED AREAS AND WALKS - 95%
 - D) LANDSCAPE AREAS OUTSIDE MASS FILL AREAS - 85%
11. ALL TREES THAT ARE IDENTIFIED BY THE ARCHITECT TO REMAIN, EITHER ON THE DRAWING OR IN THE FIELD, ARE TO BE PROTECTED IN ACCORDANCE WITH THE SPECIFICATIONS. ALL TREES LOCATED OUTSIDE OF AREAS IDENTIFIED TO BE RE-GRADED ARE TO BE PROTECTED IN ACCORDANCE WITH THE SPECIFICATIONS.
12. THE CONTRACTOR SHALL ENSURE THAT CONSTRUCTION DEBRIS AND SEDIMENT ARE REMOVED DAILY FROM SITE DRIVEWAYS, PARKING AREAS, WALKWAYS AND SURROUNDING ROADWAYS AND WALKWAYS.
13. EXCESS SOILS ARE TO BE DISPOSED OF OFF-SITE UNLESS OWNER REQUESTS TO KEEP SATISFACTORY SOILS ON-SITE IN A LOCATION DETERMINED BETWEEN THE CONTRACTOR AND OWNER.
14. THE NEW PARKING, ROADS AND ROAD BASE ARE NOT DESIGNED TO ACCOMMODATE CONSTRUCTION TRAFFIC AND SHOULD NOT BE USED FOR SUCH UNLESS STABILIZED USING #3 CRUSHED STONE AND/OR GEO-GRID IN ADDITION TO THE PAVEMENT DESIGN SECTION SHOWN. IF THE CONTRACTOR WISHES TO USE THE NEW ROAD ALIGNMENTS DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE ROAD ALIGNMENT SUBGRADES AND PREVENT THEM FROM BEING DAMAGED DURING CONSTRUCTION.
15. THE CONTRACTOR SHALL INSTALL AND MAINTAIN A CRUSHED STONE ENTRY AND DRIVE TO REDUCE SOIL TRACKING. REFER TO EPSC PLAN.

rostant architect
 10 Old Lafayette Avenue Lexington, Kentucky 40502 P 659-254-4018

PROFESSIONAL ENGINEER
 MICHAEL B. HAYS
 51048
 2/1/2024

SITE DEVELOPMENT & GRADING PLAN
 RAY HOUSE DEMOLITION
 FOR:
 MARION COUNTY BOARD OF EDUCATION
 LEBANON, KENTUCKY

CONTRACTOR TO COORDINATE USE OF ASPHALT DRIVE WITH OWNER. OWNER ACCESS IS TO BE MAINTAINED DURING SCHOOL PICK UP, DROP OFF, AND ANY OTHER TIME IDENTIFIED BY THE OWNER.

SPOT ELEVATION LEGEND

HP - HIGH POINT	1
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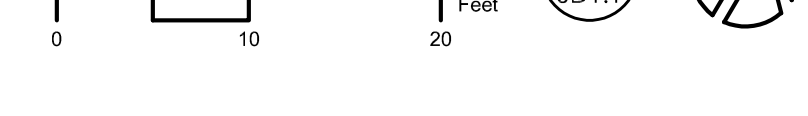
LANDSCAPE TAGS

(A) HYDROSEED PER SPECIFICATIONS (329219).	1
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LEGEND

- CONSTRUCTION LIMITS

SITE DEVELOPMENT AND GRADING PLAN
 SCALE: 1" = 10'-0"



Project No: 23056
 Drawn By: KAMIES
 Rev'd By: RB/DS/MBM
 SHEET RELEASE

BG# 24-254

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 CONSTRUCTION DOCUMENTS

SD1.1
 SITE DEVELOPMENT & GRADING PLAN
 DATE ISSUED:
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