

FACPAC Contract Change Order Supplemental Information Form (Ref# 56328)

Form Status: Saved

Tier 1 Project: ECHS Renovation Phase #7

BG Number: 21-055

District: Estill County (HB678)

Status: Active

Phase: Project Initiation (View Checklist)

Contract: C&C INDUSTRIAL, LLC, 0012, MECHANICAL AND PLUMBING

Type: CM Bid Package

Proposed

| | |
|-----------------------------|----------|
| Change Order Number | 12-2 |
| Time Extension Required | No |
| Date Of Change Order | 5/3/2022 |
| Change Order Amount To Date | Increase |

Construction Contingency

Calculations below are project wide. Remaining negative Construction Contingency may require the submission of a revised BG1.

| | |
|------------------------------|---------------|
| Current Approved Amount | \$587,488.70 |
| Net Approved COs | \$0.00 |
| Remaining After Approved COs | \$587,488.70 |
| Net All COs | \$946,319.60 |
| Remaining After All COs | \$-358,830.90 |

This Requested Change Order Amount \$101,739.61

+/-

Change In A/E Fee This Change Order \$5,595.69

+/-

Change In CM Fee This Change Order \$2,034.79

+/-

Remaining Construction Contingency

Balance

Contract Change Requested By Architect/Engineer

Contract Change Reason Code Found Condition; Improved Plans/Specs; Backcharge

Change Order Description And Justification

PR #9 - Changes in the gym lobby and adjacent ticket booth which shall become a Concessions area. Refer to

Drawings PR9.1 and PR9.2 and MEP - PR9 Mechanical, PR9 Electrical. \$20,600

PR #12 - Extension of the force main for the SB/BB complex. Extended the 2" force main 440 feet with a new riser and lid for existing manhole. Also added 190 feet of 8" PVC from existing manhole and tied into the new sewer main between new ATC Building and existing

Middle School. Included camera work and exploratory work to find a path for the line.
\$82,519.61

Backcharge from Standafer Builders to patch the asphalt pavement at trench cut for new sewer work. No cost to Owner. (\$1,380)

Cost Benefit To Owner
Improved conditions

Contract unit prices have been utilized No
to support the cost associated with this
change order.

Detailed Cost Breakdown

Contract unit prices have not been utilized, provide a detailed cost breakdown which separates labor, material, profit and overhead.

| Detail Item | Amount | Percent of Total |
|-----------------------|--------------|------------------|
| Labor | \$40,614.61 | 39.92% |
| Materials | \$61,125.00 | 60.08% |
| Profit and Overhead | | 0.00% |
| Bond Insurance | | 0.00% |
| Cost Breakdown Total: | \$101,739.61 | |

Cost for this Change Order supported No
by an alternate bid or competitive price
quote
Explain Why

**Change Order Supplemental Information Form Signature
Page (Online Form Ref# 56328)**

| | |
|--|---------------|
| _____ Architect | _____ Date |
| _____ Construction Manager | _____ Date |
| _____ Finance Officer | _____ Date |
| _____ Local Board of Education Designee | _____ Date |



AIA[®] Document G701/CMa[™] – 1992

Change Order - Construction Manager-Adviser Edition

OWNER ☒
 CONSTRUCTION MANAGER ☐
 ARCHITECT ☐
 CONTRACTOR ☐
 FIELD ☐
 OTHER ☐

PROJECT (Name and address):
 ESTILL COUNTY HIGH SCHOOL PHASE 7
 RENOVATIONS
 495 ENGINEER DRIVE
 IRVINE KY 40336

CHANGE ORDER NUMBER: 12-2
INITIATION DATE: 5/3/2022

TO CONTRACTOR (Name and address):
 C&C INDUSTRIAL, LLC
 440 CASWELL LANE
 MT. STERLING KY 40353

PROJECT NUMBERS: CMA-KDE-000742 / 21-055
CONTRACT DATE: 7/26/2021
CONTRACT FOR: BID PACKAGE #012 MECHANICAL AND
 PLUMBING

THE CONTRACT IS CHANGED AS FOLLOWS:

PR #9 - CHANGES IN THE GYM LOBBY AND ADJACENT TICKET BOOTH WHICH SHALL BECOME A CONCESSIONS AREA.
 REFER TO
 DRAWINGS PR9.1 AND PR9.2 AND MEP - PR9 MECHANICAL, PR9 ELECTRICAL. \$20,600

PR #12 - EXTENSION OF THE FORCE MAIN FOR THE SB/BB COMPLEX. EXTENDED THE 2" FORCE MAIN 440 FEET WITH A
 NEW RISER AND LID FOR EXISTING MANHOLE. ALSO ADDED 190 FEET OF 8" PVC FROM EXISTING MANHOLE AND TIED
 INTO THE NEW SEWER MAIN BETWEEN NEW ATC BUILDING AND EXISTING MIDDLE SCHOOL. INCLUDED CAMERA
 WORK AND EXPLORATORY WORK TO FIND A PATH FOR THE LINE. \$82,519.61

BACKCHARGE FROM STANDAFER BUILDERS TO PATCH THE ASPHALT PAVEMENT AT TRENCH CUT FOR NEW SEWER
 WORK. NO COST TO OWNER. (\$1,380)

| | |
|--|----------------|
| The original Contract Sum was | \$1,052,753.40 |
| Net change by previously authorized Change Orders | \$21,620.00 |
| The Contract Sum prior to this Change Order was | \$1,074,373.40 |
| The Contract Sum will be increased by this Change Order in the amount of | \$101,739.61 |
| The new Contract Sum including this Change Order will be | \$1,176,113.01 |

The Contract Time will not be affected.

The date of Substantial Completion as of the date of this Change Order therefore is 9/26/2022

NOT VALID UNTIL SIGNED BY THE CONTRACTOR AND CONSTRUCTION MANAGER.

Codell Construction

CONSTRUCTION MANAGER (Firm Name)

4475 Rockwell Rd., Winchester, KY 40392

ADDRESS

BY (Signature)

(Typed Name)

DATE:

C&C INDUSTRIAL, LLC

CONTRACTOR (Firm Name)

440 CASWELL LANE MT. STERLING, KY 40353

ROSS-TARRANT ARCHITECTS INC

ARCHITECT (Firm Name)

101 OLD LAFAYETTE AVE LEXINGTON, KY 40502

ADDRESS

BY (Signature)

(Typed Name)

DATE:

ESTILL COUNTY BOARD OF EDUCATION

OWNER (Firm Name)

253 MAIN STREET IRVINE, KY 40336

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User Notes:

(188403357)

ADDRESS

ADDRESS

BY *(Signature)*

BY *(Signature)*

(Typed Name)

DATE:

(Typed Name)

DATE:

Kenny Davis

From: Jonathan Ruiz <jruiz@rosstarrant.com>
Sent: Wednesday, May 4, 2022 3:57 PM
To: Kenny Davis
Subject: Change Order Proposal Responded to and Closed: COP 21 (PR 9A) - Plumbing for Sinks... - ChangeOrderProposal:COP 21 (PR 9A):nr6QF
Attachments: Transmittal_ChangeOrderProposal - COP 21 (PR 9A) (Responded and Closed).pdf

Project: 2025 Estill County HS Phase 7 Renovations

Notification about Change Order Proposal **COP 21 (PR 9A) - Plumbing for Sinks, Grease interceptor, etc**

Note: You have been CC'd on this notification.

This email contains the response for a Change Order Proposal.

Remarks

CMTA has reviewed and finds the proposed pricing acceptable to recommend to the Owner.

[Download all files](#)

Change Order Proposal Info

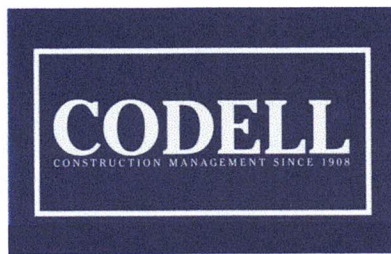
To: Jack Reed (Codell Construction Company)
CC: Peter Fisher (RossTarrant Architects); Kenny Davis (Codell Construction Company)
Purpose: **Reviewed**
Expiration Date: **None**

Transferred Files

| | | | |
|------------------|----------|---------|-------|
| PR-9 Revised.pdf | 5/3/2022 | 2:35 PM | 92 KB |
|------------------|----------|---------|-------|

Additional Links

[Sign in to the RossTarrant Architects Info Exchange site](#)
[Reply to All](#)



ESTILL COUNTY HIGH SCHOOL PHASE 7 RENOVATIONS CHANGE ORDER REVIEW

To: ROSS-TARRANT ARCHITECTS **From:** Jackalee Reed
INC

Attn: ROSS-TARRANT ARCHITECTS INC **CC:** Kenny G. Davis Jr.

Re: PR #9 **Date:** 12/14/2021

Attachments:

- BID PACKAGE #013 ELECTRICAL RFQ re:00009, PR #9
- BID PACKAGE #008 PAINTING RFQ re:00009, PR #9
- CMA-KDE-000742 Change Order Review Form 0009.docx
- BID PACKAGE #009 VCT RFQ re:00009, PR #9
- BID PACKAGE #007 WINDOWS RFQ re:00009, PR #9
- PR #9A Plumbing for Sinks, GreaseInetrceptor, ETC.pdf
- BID PACKAGE #010 TILING RFQ re:00009, PR #9
- PR #9 Gym Lobby Concessions Stand Renovations.pdf
- BID PACKAGE #015 COMBINATION OF BP2-GENERAL TRADES & BP6-DRYWALL/CEILINGS RFQ
- Transmittal_ChangeOrderProposal - COP 14 (PR 9)r01 (Responded and Closed).pdf
- BID PACKAGE #012 MECHANICAL AND PLUMBING RFQ re:00009, PR #9

I have reviewed and approved the attached pricing. Your approval and signature is required in order to process this change order. Please review the pricing and sign below if it is acceptable.

PR #9

| Contractor | BP# | Pricing |
|---------------------------------|-----|---------|
| STANDAFAER BUILDERS, INC. | 001 | \$0.00 |
| CARMICLE MASONRY | 003 | \$0.00 |
| KALKREUTH ROOFING & SHEET METAL | 005 | \$0.00 |

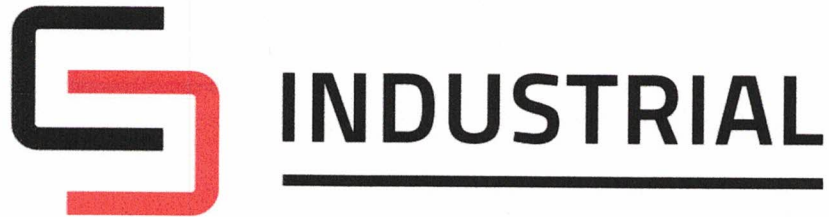
| | | |
|-----------------------------|-----|--------------|
| LAKE CUMBERLAND GLASS | 007 | \$40,515.00 |
| BASTIN PAINTING, INC. | 008 | \$5,035.00 |
| CDI FLOORING | 009 | \$10,279.00 |
| AMERICAN TILE COMPANY, INC. | 010 | \$3,550.00 |
| TOADVINE ENTERPRISES | 011 | \$0.00 |
| C&C INDUSTRIAL, LLC | 012 | \$20,600.00 |
| BABCON, INC. | 013 | \$21,672.08 |
| RISING SUN DEVELOPING, INC. | 015 | \$175,971.85 |
| | | \$0.00 |

Total Amount: \$277,622.93 20 days

_____ **ROSS-TARRANT ARCHITECTS INC**

_____ *Date*

Codell Construction Company,
Jackalee Reed
(859) 644-0200jreed@codellconstruction.com



12/21/2021

This Change Order reflects pricing for PR-9 which adds the following items.
1-Grease Interceptor 1-Krowne 3 compartment sink with accessories, 1-Krowne
Stainless Steel Sink with Splash Guards. All piping, saw cutting of the floors
and demo as required. Relocating existing thermostat. Does not include
removing existing Control Panel.

Demo includes saw cutting: \$3,800.00

Labor \$5,200.00

Fixtures/Material \$8,300.00

Drywall Repair: \$1,800.00

Relocation of Thermostat \$1,500.00

Total = \$20,600.00

Sincerely,

Chase Fallen

WBE, FBE DBE, HUBzone, SBA, and WOSB

Qualifications/Exclusions

Acceptance of this bid/estimate acknowledges that it based entirely upon the information supplied by the customer as referenced above and any changes or revisions may result in adjustments to above listed pricing. Pricing is firm for fifteen (15) days only from date of quote. This estimate is based on forty (40) hour work week unless noted.

EXCLUSIONS NOT ALLOWED. Follow 01900
REQUIREMENTS.

KD
5-3-22

No Paint
No Structural Steel or Framing
No Concrete
No Concrete Patching
No Drywall Cutting or Patching
No Flashing
No Coordination drawings
No Bond
No BMS
No Tap FEES
No Block or Brick of any kind
No Seismic
Rock Excavation
Exiting Control Panel Demo

Due to material prices increasing almost daily this quote is only good for 5 days



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County HS Phase 7 Renovations 2025 DATE SENT: 4/27/2022

SUBJECT: PR 9A - Plumbing for Sinks, Grease interceptor, etc PROPOSAL REQUEST ID: PR 9A

TYPE: Proposal Request TRANSMITTAL ID: 00734

PURPOSE: For Contractor's Pricing VIA: Info Exchange

FROM

| NAME | COMPANY | EMAIL | PHONE |
|---------------|------------------------|-----------------------|--------------|
| Jonathan Ruiz | RossTarrant Architects | jruiz@rosstarrant.com | 859-254-4018 |

TO

| NAME | COMPANY | EMAIL | PHONE |
|-----------|-----------------------------|------------------------------|--------------|
| Jack Reed | Codell Construction Company | jreed@codellconstruction.com | 859.744.2222 |

REMARKS: Refer to attached sheet P4.1B. Provide three compartment sink and grease interceptor with plumbing connections. Provide new hand sink with plumbing connection. Field verify exact locations to connect to the existing sanitary, vent and domestic water lines.

DESCRIPTION OF CONTENTS

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|-----------|--------------------|--------|-------|------|-------|
| 1 | 4/27/2022 | PR-9A Plumbing.pdf | | | | |

COPIES:

Kenny Davis
Dan Higgins

(Codell Construction Company)
(CMTA, Inc.)



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

| | | | |
|----------|---|----------------------|---------------|
| PROJECT: | Estill County HS Phase 7 Renovations 2025 | DATE SENT: | 12/13/2021 |
| SUBJECT: | PR 09 - Gym Lobby / Concessions Stand Renovations | PROPOSAL REQUEST ID: | PR 09 |
| TYPE: | Proposal Request | TRANSMITTAL ID: | 00525 |
| PURPOSE: | For Contractor's Pricing | VIA: | Info Exchange |

FROM

| NAME | COMPANY | EMAIL | PHONE |
|---------------|------------------------|-----------------------|--------------|
| Jonathan Ruiz | RossTarrant Architects | jruiz@rosstarrant.com | 859-254-4018 |

TO

| NAME | COMPANY | EMAIL | PHONE |
|-----------|-----------------------------|------------------------------|--------------|
| Jack Reed | Codell Construction Company | jreed@codellconstruction.com | 859.744.2222 |

REMARKS: **This Owner Requested PR was originally issued on 12.7:**

Provide pricing for labor and materials to renovate the existing Gym Lobby and concessions as shown per attached drawings and corresponding specifications.

- Refer to all drawings, work scope spans the areas in the gym lobby and adjacent ticket booth which shall become a Concessions area. Drawings included:
 - Architectural - PR9.1 and PR9.2
 - MEP - PR9 Mechanical, PR9 Electrical
- Refer to base bid drawings and do not provide pricing for anything that was included in the base bid. This includes, but is not limited to:
 - Ceiling area in the gym lobby (note that it will be modified for PR9)
 - Demo of MEP items, refer to base bid drawings.
- Specifications for new items and new areas of work are included. For all areas that overlap in workmanship from the base bid, refer to base bid specifications. Specs included:
064100, 084313, 087100, 090500 Finish Legend, 092116, 093000, 095113, 101424, 101424.1, 108316.

Proposal Request Transmittal

DATE: 12/13/2021

ID: 00525

- The owner will take down and relocate all existing display cases.
- Provide the same manufacturers for materials for all items that are also included in the base bid of Phase 7.

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to the proposed modifications to the Contract Documents as described. This is not a change order nor a direction to proceed with the work described herein.

DESCRIPTION OF CONTENTS

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|------------|--|--------|-------|------|-------|
| 1 | 11/23/2021 | 064100 Architectural Wood Casework - PR 9.pdf | | | | |
| 1 | 11/19/2021 | 084313 Aluminum-Framed Storefronts - PR 9 Display Case Doors.pdf | | | | |
| 1 | 11/19/2021 | 087100 Door Hardware - PR 9.pdf | | | | |
| 1 | 11/19/2021 | 092116 Gypsum Board Assemblies - PR 9.pdf | | | | |
| 1 | 11/19/2021 | 093000 Tiling - PR 9.pdf | | | | |
| 1 | 11/19/2021 | 095113 Acoustical Panel Ceilings - PR 9.pdf | | | | |
| 1 | 11/19/2021 | 101424 Signs - PR 9.pdf | | | | |
| 1 | 11/22/2021 | 101424.01 PR#9 Revised and Additional Room Identification Signage Schedule.pdf | | | | |
| 1 | 11/23/2021 | 108316 Banners.pdf | | | | |
| 1 | 12/6/2021 | PR-9 Electrical.pdf | | | | |
| 1 | 12/6/2021 | PR-9 Mechanical.pdf | | | | |
| 1 | 12/2/2021 | PR9.1.pdf | | | | |
| 1 | 12/2/2021 | PR9.2.pdf | | | | |

Proposal Request Transmittal

DATE: 12/13/2021

ID: 00525

COPIES:

Kenny Davis

(Codell Construction Company)

SECTION 064100 - ARCHITECTURAL WOOD CASEWORK

SPECIFICATION UPDATES FOR PR #9 ARE CLOUDED RED

PART 1 GENERAL**1.01 SECTION INCLUDES**

- A. This Section includes the following:
 - 1. Interior standing and running trim (WT1) (WDC1)
 - 2. Plastic Laminate casework (HPL).
 - 3. Stainless steel countertops (SS1)
 - 4. Solid surface countertops (SF1)
 - 5. Plastic laminate countertops
 - 6. Display Cases (Custom): Refer to PR #9
 - 7. Display Cases: Premanufactured Refer to PR #9
- B. Fabric Covered Tackable Surfaces
- C. Cabinet hardware.

1.02 RELATED REQUIREMENTS

- A. Drawings and general provisions of the Contract, including General and Special Conditions and Division 1 Specification sections, apply to this Section.
 - 1. Section 012300 - Alternates: Refer to section for additional information.
 - 2. Section 016116 - Volatile Organic Compound (VOC) Content Restrictions
 - 3. Section 061000 - Rough Carpentry: Support framing, grounds, and concealed blocking
 - 4. Division 6 Section "Miscellaneous Carpentry" for wood furring, blocking, shims, and hanging strips required for installing woodwork and concealed within other construction before woodwork installation
 - 5. Section 090050 - Finish Legend
 - 6. Section 123550 - Institutional Casework (plastic laminate-faced wood cabinets of stock design)

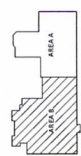
1.03 DEFINITIONS

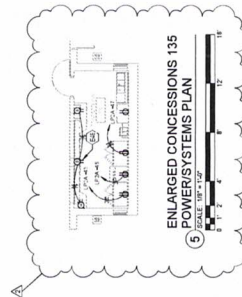
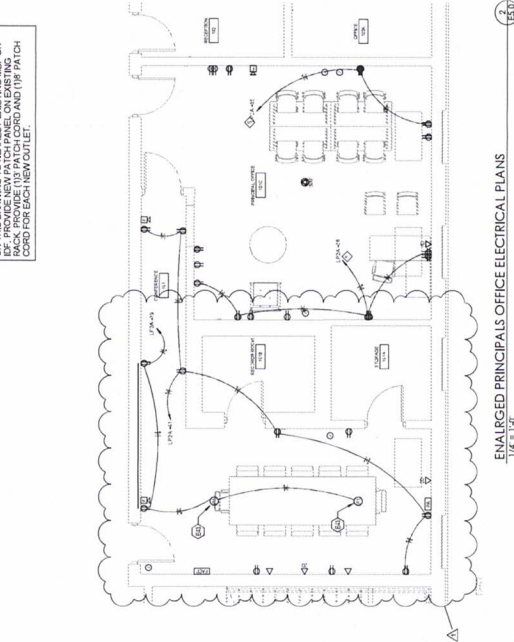
- A. Interior architectural woodwork includes wood furring, blocking, shims, and hanging strips for installing woodwork items, unless concealed within other construction before woodwork installation.
- B. Exposed Portions of Cabinets: Surfaces visible when doors and drawers are closed, including bottoms of cabinets more than 48 inches (1220 mm) above floor, and surfaces visible in open cabinets. The bottom of wall cabinets are considered exposed and will receive **plastic laminate**.
- C. Semiexposed Portions of Cabinets: Surfaces behind opaque doors, such as interiors of cabinets, shelves, dividers, interiors and sides of drawers, and interior faces of doors. Tops of cases 78 inches (1980 mm) or more above floor are defined as semiexposed.
- D. Concealed Portions of Cabinets: Surfaces not usually visible after installation, including sleepers, web frames, dust panels, and ends and backs that are placed directly against walls or other cabinets.

1.04 REFERENCE STANDARDS

- A. AWI/AWMAC/WI (AWS) - Architectural Woodwork Standards; 2014.
- B. AWI (QCP) - Quality Certification Program; current edition at www.awiqcp.org.
- C. AWMAC/WI (NAAWS) - North American Architectural Woodwork Standards, U.S. Version 3.0; 2016.
- D. BHMA A156.9 - American National Standard for Cabinet Hardware; 2010.
- E. NEMA LD 3 - High-Pressure Decorative Laminates; 2005.

E COORDINATE DISPOSAL OF ALL FIXTURES, DEVICES, ETC., NOT (UON). CONTRACTOR SHALL PATCH AND REPAIR ANY EXISTING WALLS, FLOORS OR CEILINGS WHERE DEVICES ARE SHOWN TO BE REMOVED (PATCH AND REPAIR TO RECEIVE NEW FINISHES - SEE ARCHITECTURAL PLANS).





ELECTRICAL POWER NOTES

A REFER TO THE ARCHITECT'S ELECTRICAL SCHEDULE FOR THE FOLLOWING:

B CONDUCTOR SIZE, VOLTAGE, AND CURRENT CARRYING CAPACITY SHALL BE DETERMINED BY THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.

C CONDUCTOR SHALL FOLLOW BUREAU OF MINERAL RESOURCES (BMR) SPECIFICATIONS FOR CONDUCTOR TYPE AND MATERIAL.

D CONDUCTOR SHALL BE INSTALLED IN CONDUIT, WITH A MINIMUM OF THREE (3) INCHES OF CONDUIT INCHES IN WALLS AND FLOORS.

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Y CONDUCTOR SHALL BE INSTALLED IN CONDUIT, WITH A MINIMUM OF THREE (3) INCHES OF CONDUIT INCHES IN WALLS AND FLOORS.

Z CONDUCTOR SHALL BE INSTALLED IN CONDUIT, WITH A MINIMUM OF THREE (3) INCHES OF CONDUIT INCHES IN WALLS AND FLOORS.

ELECTRICAL SYSTEMS NOTES

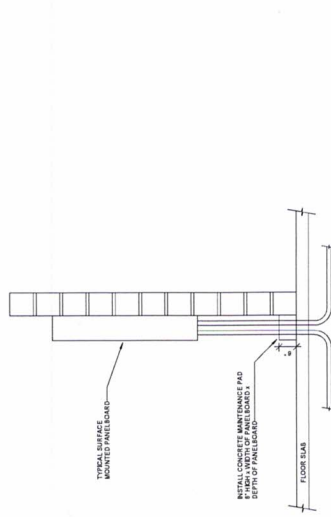
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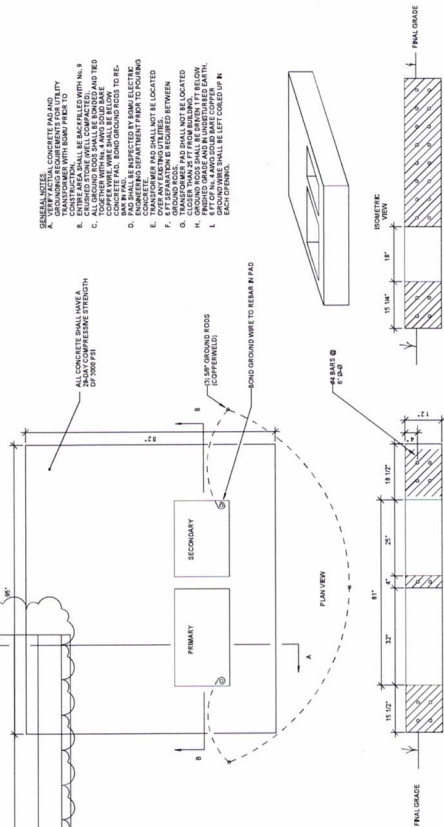
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| U.S. & FOREIGN: GEORGE MICHENER 10000 N. 10TH AVE. SUITE 100 DENVER, CO 80231 303.733.1500 | | INTERNATIONAL: GEORGE MICHENER 10000 N. 10TH AVE. SUITE 100 DENVER, CO 80231 303.733.1500 | | TELEPHONE: 303.733.1500 303.733.1500 303.733.1500 | | FAX: 303.733.1500 303.733.1500 303.733.1500 | | TELETYPE: 303.733.1500 303.733.1500 303.733.1500 | | TELEFAX: 303.733.1500 303.733.1500 303.733.1500 | | TELEVISION: 303.733.1500 303.733.1500 303.733.1500 | | RADIO: 303.733.1500 303.733.1500 303.733.1500 | | INTERNET: 303.733.1500 303.733.1500 303.733.1500 | | EMAIL: 303.733.1500 303.733.1500 303.733.1500 | | WEB: 303.733.1500 303.733.1500 303.733.1500 | | MOBILE: 303.733.1500 303.733.1500 303.733.1500 | | PERSONAL: 303.733.1500 303.733.1500 303.733.1500 | | OTHER: 303.733.1500 303.733.1500 303.733.1500 | |
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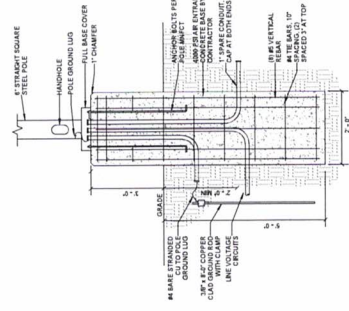
1 DUCTBANK DETAIL
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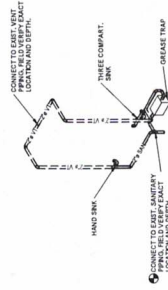
2 SURFACE PANELBOARD CONDUIT MAINTENANCE PAD DETAIL
SCALE: NONE



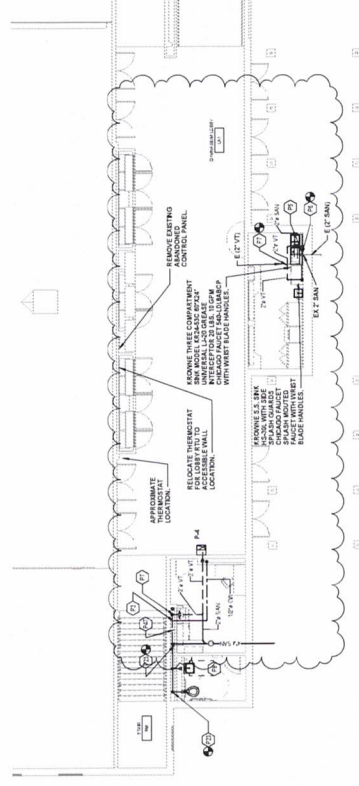
3 PAD MOUNTED UTILITY TRANSFORMER CONCRETE PAD AND GROUNDING DETAIL
SCALE: NONE



4 POLE BASE DETAIL
SCALE: NONE



2 SANITARY VENT RISER DIAGRAM PR-2
SCALE: NONE



KEY PLAN



SCALE: NTS

P4.1B

FIRST FLOOR PLUMBING PLAN
AREA B
DATE ISSUED:

DATE ISSUED:
MARCH 29, 2021

TAGGED NOTES

P3 VERIFY EXIST'G LOCATION. REMOVE CEILING AND
NEEDED TO INSTALL VENT AND DOMESTIC WATER
LINES. REPAIR WALLS TO MATCH EXISTING.
P5 REMOVE EXISTING WATER PIPING. FIELD VERIFY EXACT
LOCATION. REWORK LINES TO CONNECT TO NEW
FEATURES.
P6 CONNECT TO EXISTING 3" SANITARY LINE. FIELD
VERIFY EXACT LOCATION AND DEPTH. FLOOR SLAB
SHALL BE SAW CUT AND REPAIRED TO MATCH
EXISTING.
P7 CONNECT TO EXISTING VENT PIPING. FIELD VERIFY
EXACT LOCATION.
P23 CONNECT TO EXISTING DOMESTIC WATER AND VENT
PIPING IN THIS AREA. FIELD VERIFY EXACT LOCATION
AND DEPTH. REPAIR WALLS TO MATCH EXISTING.
WATER LINES SERVING PLUMBING FEATURES.
P47 REMOVE EXISTING CHASE WALLS AND SAW CUT
FLOOR SLAB AS NEEDED TO CONNECT TO EXISTING
PIPING. FIELD VERIFY EXACT LOCATION AND DEPTH.
REPAIR WALLS TO MATCH EXISTING.

NOT FOR
CONSTRUCTION

FIRST FLOOR PLUMBING PLAN - AREA B
STILL COUNTY PHASE 7 HS RENOVATIONS
FOR:
STILL COUNTY SCHOOLS
IRVINE, KENTUCKY

M.E.P. Engineers:
CH2A, Inc.
2429 McAllen Way
Longview, TX 75604
p 409 253 0892

Structural Engineers:
Structural Design Group, Inc.
300 Greig Circle East, Suite 100
Nashville, TN 37208

Construction Management
 Global Construction Co.
 P.O. Box 17
 Winchester, Kentucky 40392
 Phone: 502/764-2222

| | |
|-------------|--------------|
| Project No: | 2025/NEH-G20 |
| Drawn By: | CWE |
| BG# | 21-055 |

| | |
|---------------|-----|
| Rev'd By: | CMR |
| SHEET RELEASE | |

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6 | CONCEPT © 2021
CONSTRUCTION DOCUMENT

D41D

P4.1B

FIRST FLOOR PLUMBING PLAN
AREA B

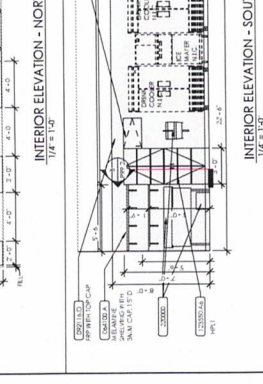
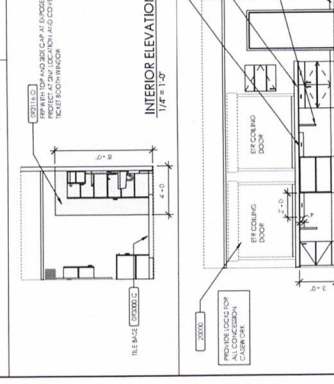
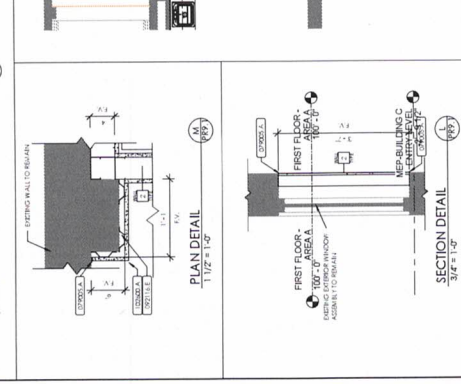
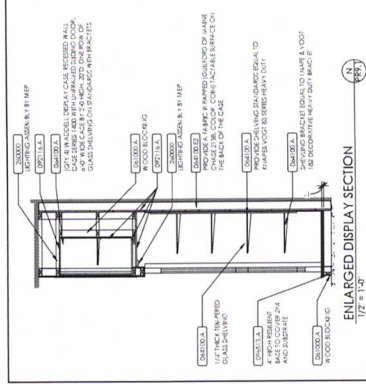
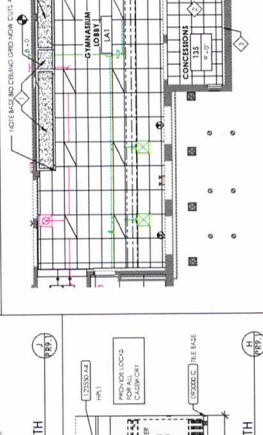
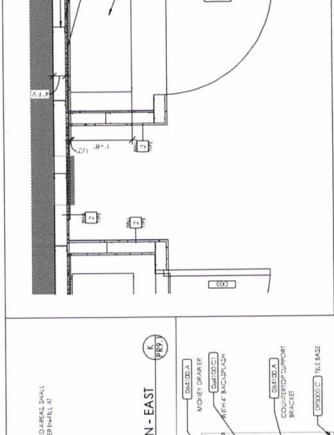
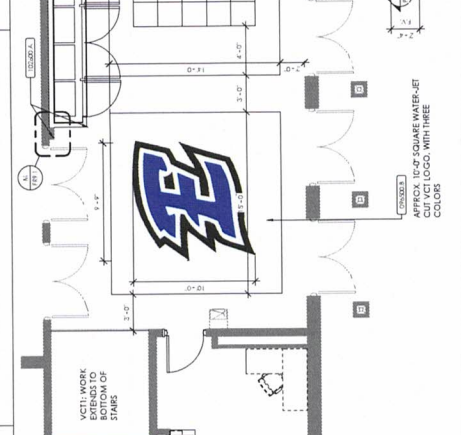
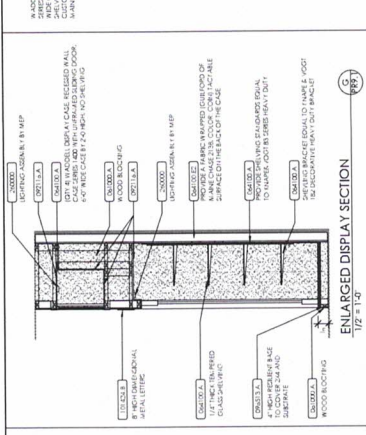
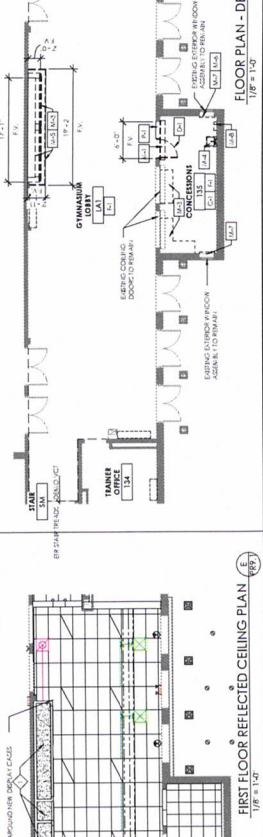
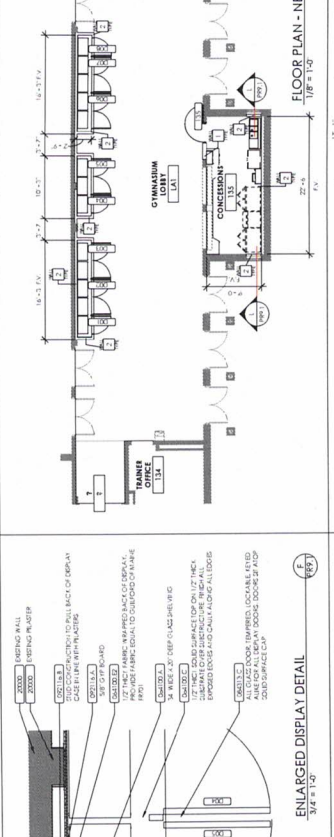
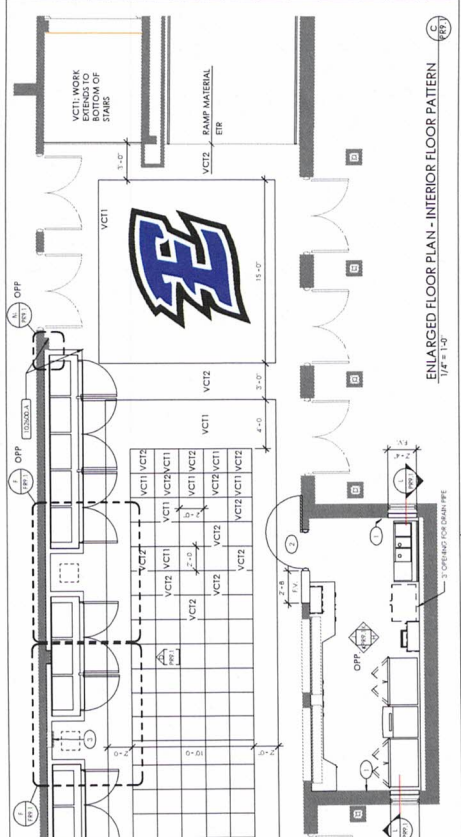
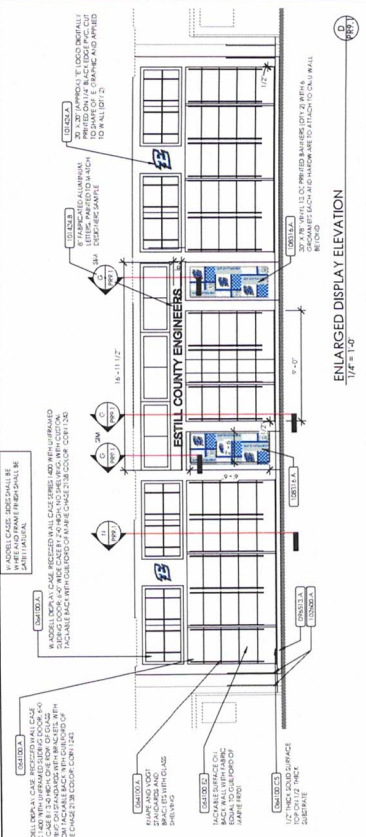
DATE ISSUED:
MARCH 29, 2021

| MATERIAL REFERENCE | |
|--------------------|---------------|
| 0000 | CONCRETE |
| 0100 | WOOD |
| 0200 | PAINT |
| 0300 | GLASS |
| 0400 | CEILING |
| 0500 | FLOORING |
| 0600 | WALLS |
| 0700 | DOORS |
| 0800 | WINDOWS |
| 0900 | ROOFING |
| 1000 | MECHANICAL |
| 1100 | ELECTRICAL |
| 1200 | PLUMBING |
| 1300 | HEATING |
| 1400 | Cooling |
| 1500 | Lighting |
| 1600 | Acoustics |
| 1700 | Security |
| 1800 | Accessibility |
| 1900 | Other |

| PR #9 RCP NOTES | |
|-----------------|--------------------|
| 1 | STANDARD RCP NOTES |
| 2 | STANDARD RCP NOTES |
| 3 | STANDARD RCP NOTES |
| 4 | STANDARD RCP NOTES |
| 5 | STANDARD RCP NOTES |
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| 14 | STANDARD RCP NOTES |
| 15 | STANDARD RCP NOTES |
| 16 | STANDARD RCP NOTES |
| 17 | STANDARD RCP NOTES |
| 18 | STANDARD RCP NOTES |
| 19 | STANDARD RCP NOTES |
| 20 | STANDARD RCP NOTES |

| PR #9 PLAN NOTES | |
|------------------|---------------------|
| 1 | STANDARD PLAN NOTES |
| 2 | STANDARD PLAN NOTES |
| 3 | STANDARD PLAN NOTES |
| 4 | STANDARD PLAN NOTES |
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| 17 | STANDARD PLAN NOTES |
| 18 | STANDARD PLAN NOTES |
| 19 | STANDARD PLAN NOTES |
| 20 | STANDARD PLAN NOTES |

| PR #9 DEMOLITION NOTES | |
|------------------------|---------------------------|
| 1 | STANDARD DEMOLITION NOTES |
| 2 | STANDARD DEMOLITION NOTES |
| 3 | STANDARD DEMOLITION NOTES |
| 4 | STANDARD DEMOLITION NOTES |
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| 12 | STANDARD DEMOLITION NOTES |
| 13 | STANDARD DEMOLITION NOTES |
| 14 | STANDARD DEMOLITION NOTES |
| 15 | STANDARD DEMOLITION NOTES |
| 16 | STANDARD DEMOLITION NOTES |
| 17 | STANDARD DEMOLITION NOTES |
| 18 | STANDARD DEMOLITION NOTES |
| 19 | STANDARD DEMOLITION NOTES |
| 20 | STANDARD DEMOLITION NOTES |





Change Order Proposal Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County HS Phase 7 Renovations 2025 DATE SENT: 5/3/2022

SUBJECT: COP 11 R2 (PR-12) Manhole Connection to Force Main Revised #2 CHANGE ORDER PROPOSAL ID: COP 11 R02 (PR 12)

TYPE: Change Order Proposal TRANSMITTAL ID: 00740

PURPOSE: No Changes VIA: Info Exchange

TOTAL AMOUNT: \$82,519.61

TOTAL DAYS: 0

FROM

| NAME | COMPANY | EMAIL | PHONE |
|---------------|------------------------|-----------------------|--------------|
| Jonathan Ruiz | RossTarrant Architects | jruiz@rosstarrant.com | 859-254-4018 |

TO

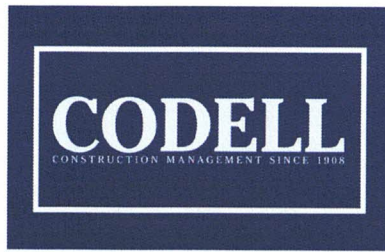
| NAME | COMPANY | EMAIL | PHONE |
|-----------|-----------------------------|------------------------------|--------------|
| Jack Reed | Codell Construction Company | jreed@codellconstruction.com | 859.744.2222 |

REMARKS: The Design Team finds the revised proposed pricing acceptable to recommend to the Owner.

DESCRIPTION OF CONTENTS

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|-----------|--|--------|-------|------|-------|
| 1 | 4/26/2022 | Proposal Request- PR #12 Manhole Location & BB- SB Force Main Connection (CMAKDE000742, #0012).pdf | | | | |

COPIES:



ESTILL COUNTY HIGH SCHOOL PHASE 7 RENOVATIONS CHANGE ORDER REVIEW

To: ROSS-TARRANT ARCHITECTS **From:** Jackalee Reed
INC

Attn: ROSS-TARRANT ARCHITECTS INC **CC:** Kenny G. Davis Jr.

Re: PR #12 **Date:** 12/14/2021

Attachments:

- PR #12R Sewer Main Location Exploration.pdf
- CMA-KDE-000742 Change Order Review Form 0012.docx
- PR #12 Amended.pdf
- PR #12 Manhole Location And BB & SB Force Main Connection.pdf
- BID PACKAGE #012 MECHANICAL AND PLUMBING RFQ re:00012, PR #12

I have reviewed and approved the attached pricing. Your approval and signature is required in order to process this change order. Please review the pricing and sign below if it is acceptable.

PR #12

| Contractor | BP# | Pricing |
|---------------------------------|-----|-------------|
| | | \$0.00 |
| STANDAFER BUILDERS, INC. | 001 | \$0.00 |
| CARMICLE MASONRY | 003 | \$0.00 |
| KALKREUTH ROOFING & SHEET METAL | 005 | \$0.00 |
| LAKE CUMBERLAND GLASS | 007 | \$0.00 |
| BASTIN PAINTING, INC. | 008 | \$0.00 |
| CDI FLOORING | 009 | \$0.00 |
| AMERICAN TILE COMPANY, INC. | 010 | \$0.00 |
| TOADVINE ENTERPRISES | 011 | \$0.00 |
| C&C INDUSTRIAL, LLC | 012 | \$82,519.61 |
| BABCON, INC. | 013 | \$0.00 |

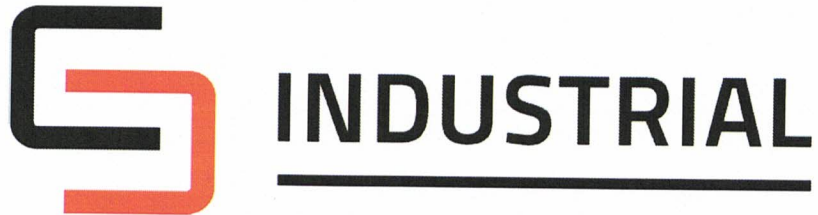
| | | |
|-----------------------------|-----|--------|
| RISING SUN DEVELOPING, INC. | 015 | \$0.00 |
|-----------------------------|-----|--------|

Total Amount: \$82,519.61 days

_____**ROSS-TARRANT ARCHITECTS INC**

_____ *Date*

Codell Construction Company,
Jackalee Reed
 (859) 644-0200jreed@codellconstruction.com



3/23/2022

This Change Order reflects pricing to extend the force main from its current location as shown on sheet U3.2 to the existing manhole near the construction entrance. This reflects pricing to add 440' of 2" Force Main along with a riser and new lid for the existing manhole. Pricing also reflects adding 190' of 8" PVC from existing manhole to sewer main next to the ATC building. Includes cutting of Asphalt that will be removed from bus lane. Approximately 60'.

Location of Existing manhole in BB/SB Entrance

Camera- \$1,100.00

Labor 16 Hrs. @ \$75/HR- \$1,200.00

Badger- \$4,134.61

Owner requested camera work in front of High School

Camera- \$1,100.00

Time and Material for exploratory excavation on 2/11/2022

24 Hrs. @ \$75/HR- \$1,800.00

Time and Material for exploratory excavation on 2/16/2022

24 Hrs. @ \$75/HR- \$1,800.00

Extending Sewer Main across bus loop and tie in below ATC building

190' 8" PVC @ \$65/FT- \$12,350.00

Curb/Asphalt removal - \$1,400.00

Rental Equipment- \$4,800.00

Rock Excavation- 96CY @ \$260/CY- \$24,960.00

Asphalt/Curb Replacement- \$4,750.00

15 Loads of DGA \$11,499.00

Straw for landscaping- \$500.00

Riser/Lid for existing Manhole- \$2,100.00

Acceptance of this bid/estimate acknowledges that it based entirely upon the information supplied by the customer as referenced above and any changes or revisions may result in adjustments to above listed pricing. Pricing is firm for fifteen (15) days only from date of quote. This estimate is based on forty (40) hour work week unless noted.

Extending 2" Force Main behind baseball field

360' @ \$35/FT- \$12,600.00

80' @ \$45/FT Down the hill- \$3,600.00

6 Loads of DGA- \$4,600.00

Rental Equipment- \$6,500.00

Credit for Asphalt and 2" Force Main as shown on original drawings

146' 2" Force Main - \$6,750.00

75' Asphalt removal- \$2,100.00

75' Asphalt replacement- \$7,124.00

Total for All work Listed Above- \$98,493.61

Total Credits Listed Above- \$15,974.00

Total Price- \$82,519.61

Sincerely,

Chase Fallen

WBE, FBE DBE, HUBzone, SBA, and WOSB

Qualifications/Exclusions

No Paint

No Structural Steel or Framing

No Flashing

No Coordination drawings

No Bond

No BMS

No Tap FEES

No Block or Brick of any kind

No Seismic

EXCLUSIONS not permitted
Follow 61900 requirements
FA
5-2-22



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County HS Phase 7 Renovations 2025 DATE SENT: 2/21/2022

SUBJECT: PR 12R - Sewer Main Location Exploration PROPOSAL REQUEST ID: PR 12R

TYPE: Proposal Request TRANSMITTAL ID: 00671

PURPOSE: For Contractor's Pricing VIA: Info Exchange

FROM

| NAME | COMPANY | EMAIL | PHONE |
|---------------|------------------------|-----------------------|--------------|
| Jonathan Ruiz | RossTarrant Architects | jruiz@rosstarrant.com | 859-254-4018 |

TO

| NAME | COMPANY | EMAIL | PHONE |
|-------------|-----------------------------|-------------------------------|--------------|
| Jack Reed | Codell Construction Company | jreed@codellconstruction.com | 859.744.2222 |
| Kenny Davis | Codell Construction Company | KDavis@codellconstruction.com | |

REMARKS:

Please be advised that PR 20 is being re-issued as PR 12R due to the scope description.

Provide detailed pricing breakdown for all material, labor, and equipment costs for scope outlined in attached documents.

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to the proposed modifications to the Contract Documents as described.

This is not a change order nor a direction to proceed with the work described herein.

DESCRIPTION OF CONTENTS

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|-----------|-------------------|--------|-------|------|-------|
| 1 | 2/21/2022 | XEHS20 - Site.pdf | | | | |

Proposal Request Transmittal

DATE: 2/21/2022
ID: 00671

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|-----------|---|--------|-------|------|-------|
| 1 | 2/21/2022 | Estill County High School Phase 7 Sewer Main Location and Exploration Proposal 02-21-22.pdf | | | | |



February 21, 2022

Ross Tarrant Architects
101 Old Lafayette Avenue
Lexington Ky. 40502

Attn: Mr. Peter Fisher

Re: Estill County High School Phase 7
BG# 21-055
RTA Project: # 2025
CMTA Project: XEHS20
Construction Manager: Codell Construction
Baseball Softball Complex Sewer & Manhole Exploration Proposal: 2022-02-21

Dear Peter

The following is the proposal for the Mechanical Contractor to complete exploratory excavations, camera and cleaning of found existing sewers and extending/tapping the sewer main to the Middle School sewer main.

1. Provide the time and material invoices for all work completed to enter the unknown Manhole located in the grassy area in center of Middle School parking lot. The Contractor shall jet clean the sewer in both directions from this manhole. After completing the cleaning of the sewers, the Contractor shall camera the sewer and locate and document the possible discovery of a manhole at the Baseball Softball Complex entrance road. **This manhole was located.** The Contractor shall camera eastward down the sewer towards the A.T. C. and locate the end of the demolished sewer main and locate the end of the main sewer, **the end of main was not found during this process.**
2. Provide the time and material invoice for the Badger Company hired to complete this work. Include the Owner request to camera the sewer from the Manholes, manhole to manhole in front of the existing High School, turn over the camera video recording to the Owner.
3. Provide the time and material invoices for the exploratory excavation to find the end of sewer main by the manhole #4 serving the Middle School completed on Friday 02/11/22.

This was an all-day event witness by CMTA and the results was negative, we utilized existing Middle School project site drawings and did not find the sewer as shown.

4. Provide the time and material invoices for all exploratory excavation work completed in the grassy area adjacent to the Diesel Shop parking lot. This excavation was completed 02/16/22 and successfully located the end of the sewer main at +/- 7 feet below grade.
5. Provide the time and material invoices for extending this sewer main from the discovered sewer end of main across the bus loop driveway towards the Middle School manhole # 4. The cost shall include the saw cutting of the concrete curb and blacktop in the direction of the manhole. Provide cost for the patching and repair to the curbs and blacktop. Provide the cost of the per foot for excavation and PVC schedule 40 pipe to extend the sewer to the grassy area adjacent to manhole #4. Once the sewer pipe is installed across the bus loop continue down along side of the Middle School sewer eastward from manhole #4 until the two side by side sewer pipes are on the same elevation. The Contractor will at this elevation and location tap into the existing Middle School sewer main. The Contractor shall provide picture(s) of the installation and detailed project Record Drawings with dimensions of the installed new sewer main.
6. Provide the cost to extend the manhole discovered in item 1. Provide a heavy traffic grade manhole ring to extend the top of manhole to finished blacktop elevation.
7. Provide pricing per foot for the excavation and pipe for extending the 2" force main sewer from behind center field fence down along the right field fence and tie into the manhole found in the Baseball Softball Complex entrance. See attached drawing.
8. Provide a credit for the deleted from scope of work for the 2" sewer tapping into the manhole located behind the Middle School Cafeteria. Provide credit for saw cutting concrete curbs and black top and the per foot of excavation from the 2" end of force main behind center field fence to the manhole. Include the cost to patch and repair concrete and blacktop.

The Time and Material scope of work shall be completed per Division of Plumbing Codes and project specifications.



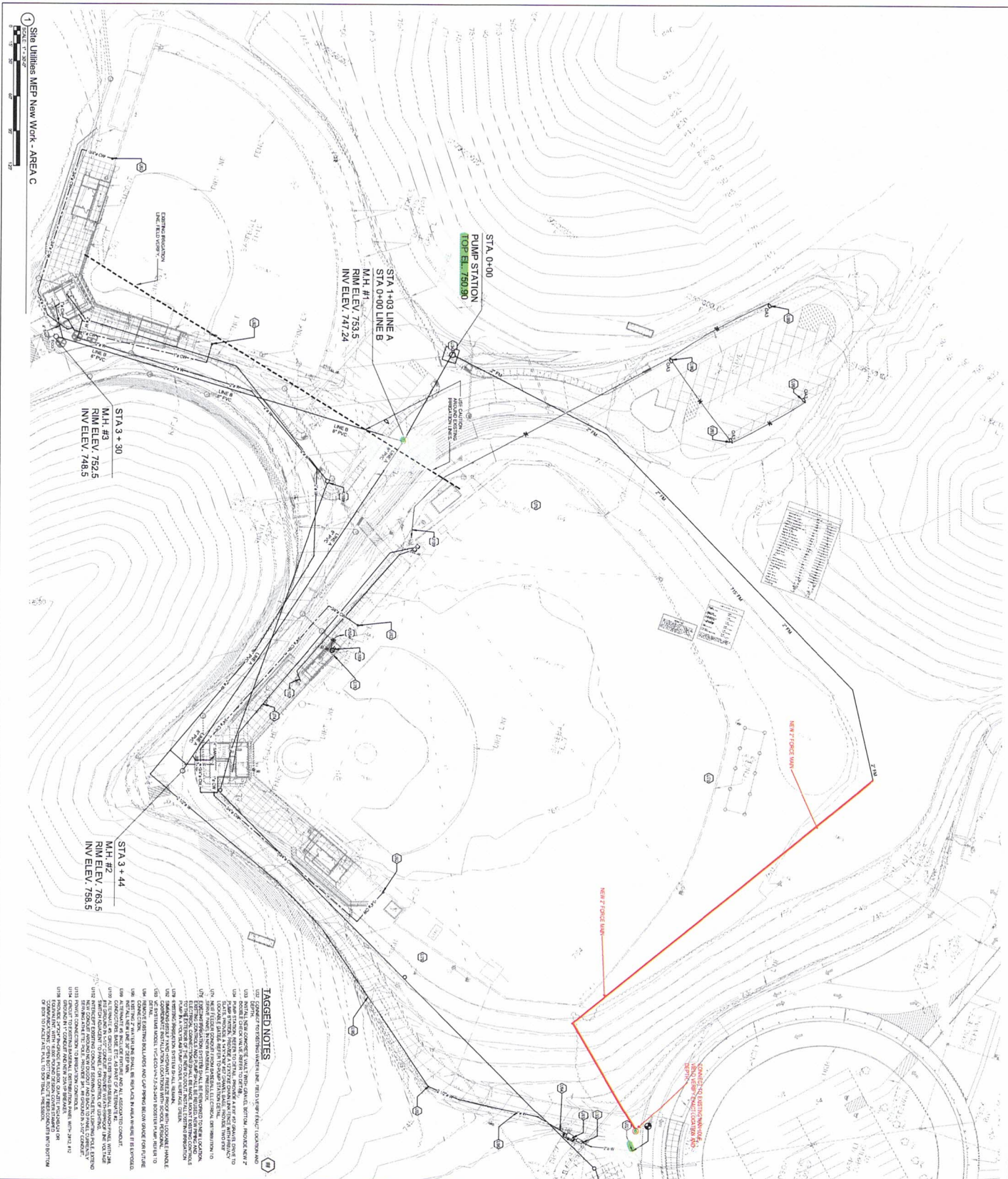
Building Science Leadership

End of Proposal

Respectfully

Daniel T Higgins
Engineering Contract Administrator

Mrs. Carrie Kelty CMTA
Mr. Clay Euton CMTA
File: Acad/XEHS20/Files/Proposals



ELECTRICAL SITE NOTES

1. **RESEARCH DESIGN AND METHODS** The study was a descriptive, cross-sectional study. The study was conducted in the city of Istanbul, Turkey, between January 2010 and March 2011. The study was approved by the Ethics Committee of the Istanbul University School of Medicine. The study was conducted in the city of Istanbul, Turkey, between January 2010 and March 2011. The study was approved by the Ethics Committee of the Istanbul University School of Medicine.
 2. **STUDY POPULATION** The study population consisted of 1000 health care workers (HCWs) working in the city of Istanbul, Turkey. The study population consisted of 1000 health care workers (HCWs) working in the city of Istanbul, Turkey.
 3. **DATA COLLECTION** Data were collected using a self-administered questionnaire. The questionnaire was distributed to the study population and completed by the participants. The questionnaire was distributed to the study population and completed by the participants.
 4. **DATA ANALYSIS** Data were analyzed using the Statistical Package for the Social Sciences (SPSS) version 16.0. The data were analyzed using the Statistical Package for the Social Sciences (SPSS) version 16.0.
 5. **RESULTS** The results of the study are presented in Table 1. The results of the study are presented in Table 1.
 6. **CONCLUSIONS** The study found that the majority of the study population was female and that the majority of the study population was working in the city of Istanbul, Turkey. The study found that the majority of the study population was female and that the majority of the study population was working in the city of Istanbul, Turkey.
 7. **REFERENCES** The references of the study are listed in the References section. The references of the study are listed in the References section.
 8. **ACKNOWLEDGMENTS** The authors would like to thank the Istanbul University School of Medicine for their support and assistance. The authors would like to thank the Istanbul University School of Medicine for their support and assistance.
 9. **CONFLICT OF INTEREST** The authors declare that there is no conflict of interest. The authors declare that there is no conflict of interest.
 10. **CONTACT INFORMATION** The contact information of the authors is provided in the Contact Information section. The contact information of the authors is provided in the Contact Information section.
 11. **KEYWORDS** The keywords of the study are listed in the Keywords section. The keywords of the study are listed in the Keywords section.
 12. **ABSTRACT** The abstract of the study is provided in the Abstract section. The abstract of the study is provided in the Abstract section.
 13. **INTRODUCTION** The introduction of the study is provided in the Introduction section. The introduction of the study is provided in the Introduction section.
 14. **DISCUSSION** The discussion of the study is provided in the Discussion section. The discussion of the study is provided in the Discussion section.
 15. **CONCLUSION** The conclusion of the study is provided in the Conclusion section. The conclusion of the study is provided in the Conclusion section.

SITE UTILITIES - BASEBALL/SOFTBALL AREA
ESTILL COUNTY PHASE 7 HS RENOVATIONS
FOR:
ESTILL COUNTY SCHOOLS
IRVINE, KENTUCKY



rosstarrant
architects

[illegible]



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County HS Phase 7 Renovations 2025 DATE SENT: 1/14/2022

SUBJECT: Manhole Connection PROPOSAL REQUEST ID: PR 12

TYPE: Proposal Request TRANSMITTAL ID: 00601

PURPOSE: For Contractor's Pricing VIA: Info Exchange

FROM

| NAME | COMPANY | EMAIL | PHONE |
|---------------|------------------------|-----------------------|--------------|
| Jonathan Ruiz | RossTarrant Architects | jruiz@rosstarrant.com | 859-254-4018 |

TO

| NAME | COMPANY | EMAIL | PHONE |
|-----------|-----------------------------|------------------------------|--------------|
| Jack Reed | Codell Construction Company | jreed@codellconstruction.com | 859.744.2222 |

REMARKS: Ill return the COP for this PR shortly for a revised COP to be provided.

The amendment to the recently submitted PR-012 Manhole Exploration. The Owner is requesting the Contractor provide pricing to camera the existing exterior sewer from manhole to manhole highlighted on the attached plan Sheet U4.1 and the interior Kitchen sewer from grease trap to the exterior sewer, see attached High School plumbing plan sheet P-1.

The detailed recording(s) shall include distance from manhole to manhole. When a defect, break or slope is found, the distance to the found condition shall be provided.

DESCRIPTION OF CONTENTS

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|------------|--|--------|-------|------|-------|
| 1 | 12/13/2021 | estill county high school phase 7 manhole proposal request.pdf | | | | |
| 1 | 1/4/2022 | 0526 - Estill Co. HS Phase 3 - | | | | |

Proposal Request Transmittal

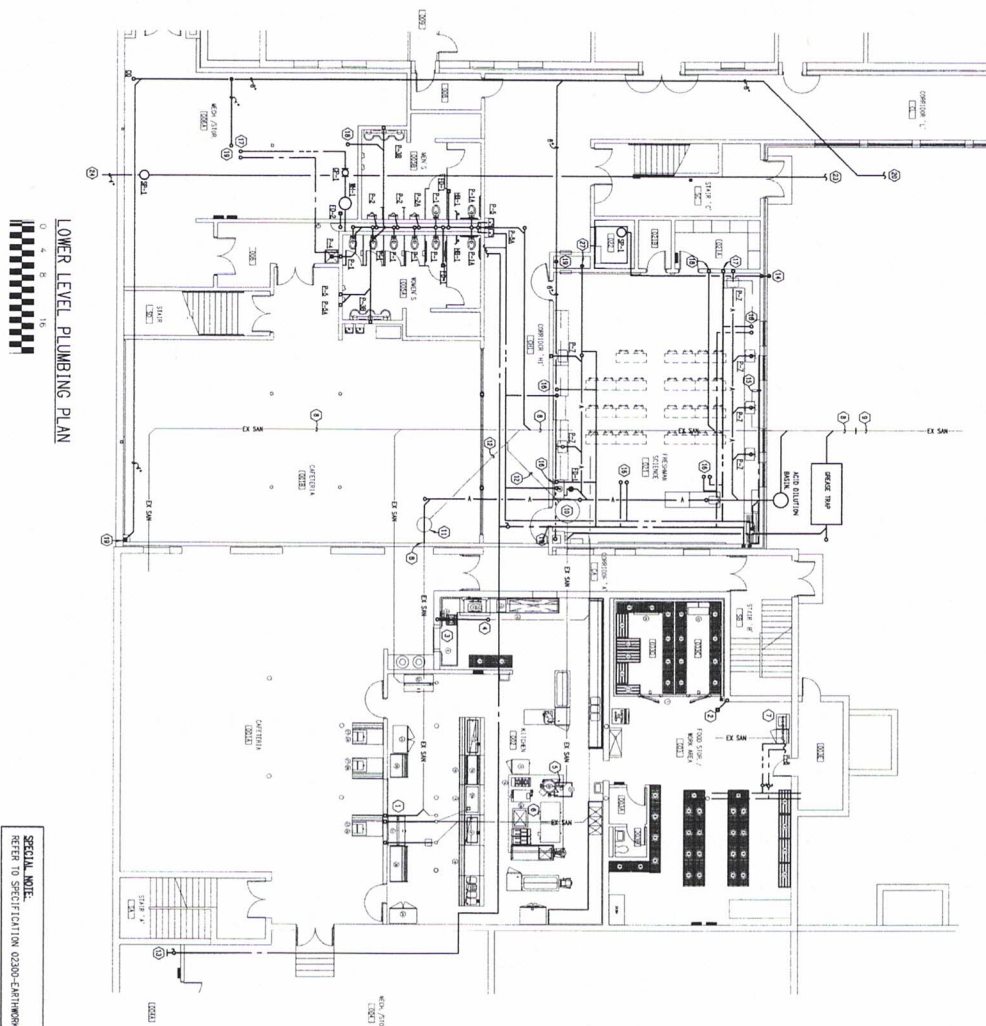
DATE: 1/14/2022
ID: 00601

| QTY | DATED | TITLE | NUMBER | SCALE | SIZE | NOTES |
|-----|----------|---------------------|--------|-------|------|-------|
| | | Combined Set.pdf | | | | |
| 1 | 1/4/2022 | 20211217_074931.jpg | | | | |

COPIES:

Kenny Davis
Peter Fisher

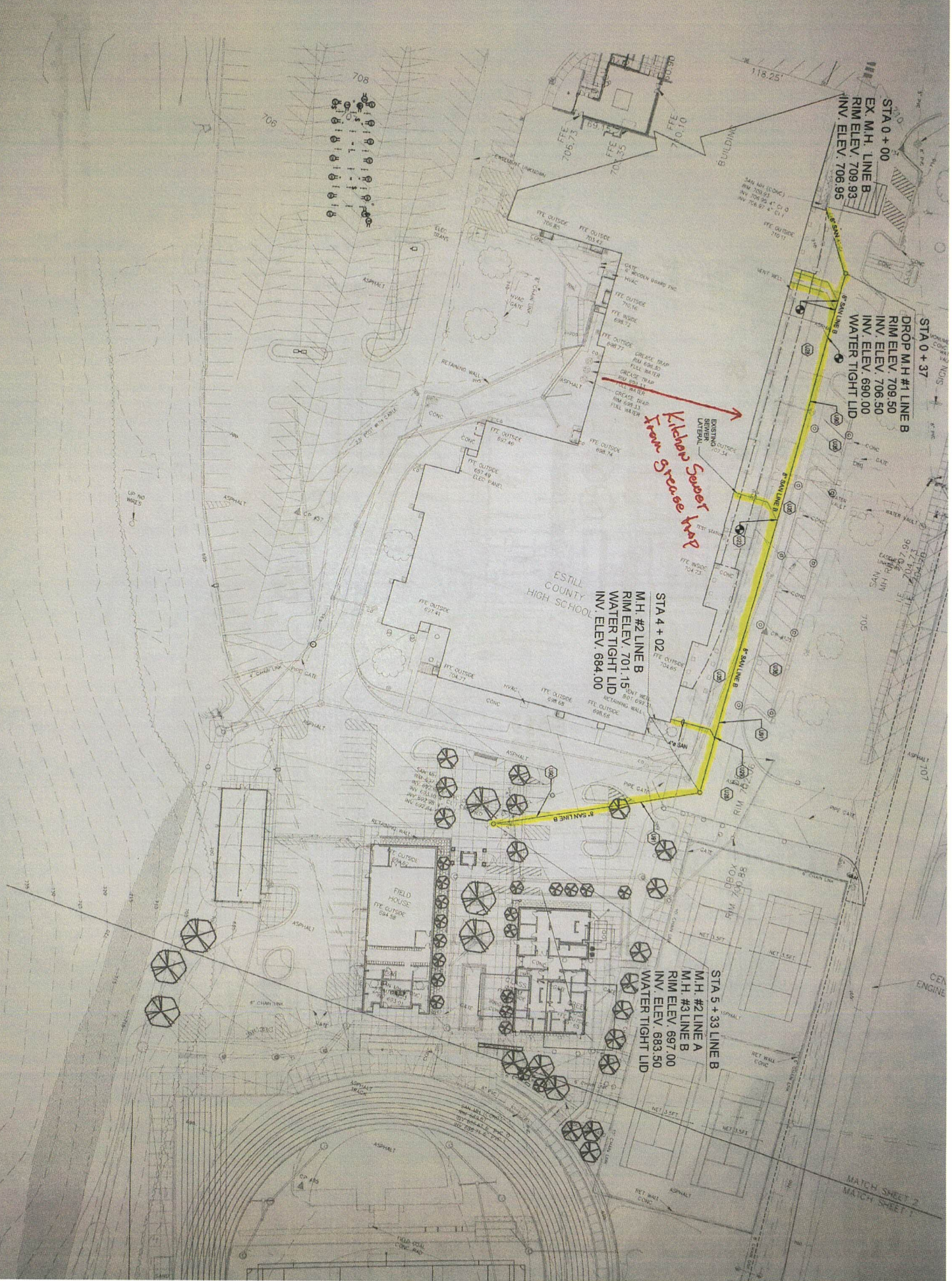
(Codell Construction Company)
(RossTarrant Architects)



LOWER LEVEL PLUMBING PLAN

SPECIAL NOTE:
REFER TO SPECIFICATION 02300-EXHAUSTION FOR BRANCHING INSIDE AND OUTSIDE OF BUILDING

- SHEET NOTES:**
1. EXISTING WATER SERVICE, WATER AND GAS PIPING TO NEW WALL.
 2. EXISTING FLOOR DRAIN, CONNECT NEW FLOOR DRAIN TO EXISTING DRAIN.
 3. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
 4. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
 5. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
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 9. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
 10. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
 11. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
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 22. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
 23. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.
 24. EXISTING WALL TO EXISTING WATER AND GAS PIPING TO EXISTING DRAIN.



STA 0 + 00
EX. M.H. LINE B
RIM ELEV. 709.93
INV. ELEV. 706.95

STA 0 + 37
DROP M.H. #1 LINE B
RIM ELEV. 709.50
INV. ELEV. 706.50
WATER TIGHT LID

STA 4 + 02
M.H. #2 LINE B
RIM ELEV. 701.15
WATER TIGHT LID
INV. ELEV. 684.00

STA 5 + 33 LINE B
M.H. #3 LINE B
RIM ELEV. 697.00
INV. ELEV. 683.50
WATER TIGHT LID

MATCH SHEET 2
MATCH SHEET 1

December 10 2021

Ross Tarrant Architects
101 Old Lafayette Avenue
Lexington Ky. 40502

Attn: Mr. Peter Fisher

Re: Estill County High School Phase 7
BG# 21-055
RTA Project: # 2025
CMTA Project: XEHS20
Construction Manager: Codell Construction
Manhole Exploration Proposal Request: 2021-12-10

Dear Peter

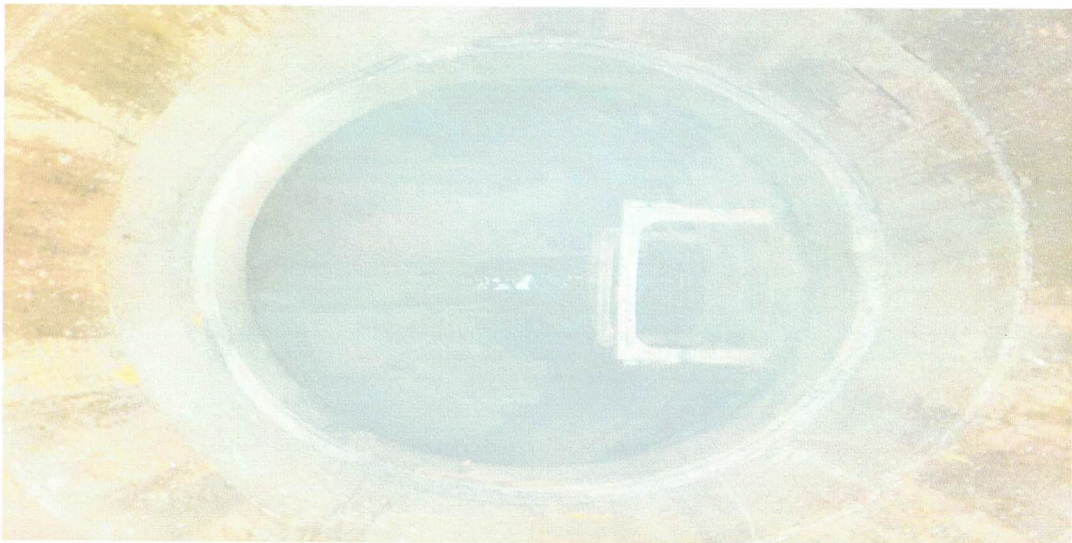
Please issue the following proposal request to the Contractors for pricing.



Picture of Manhole #1 serving the Estill County Middle School



Picture of unknown Manhole #2, the questionable unknown pipe is from manhole to the sign seen in the distance, line representing the expectant routing of 4" PVC sewer pipe.



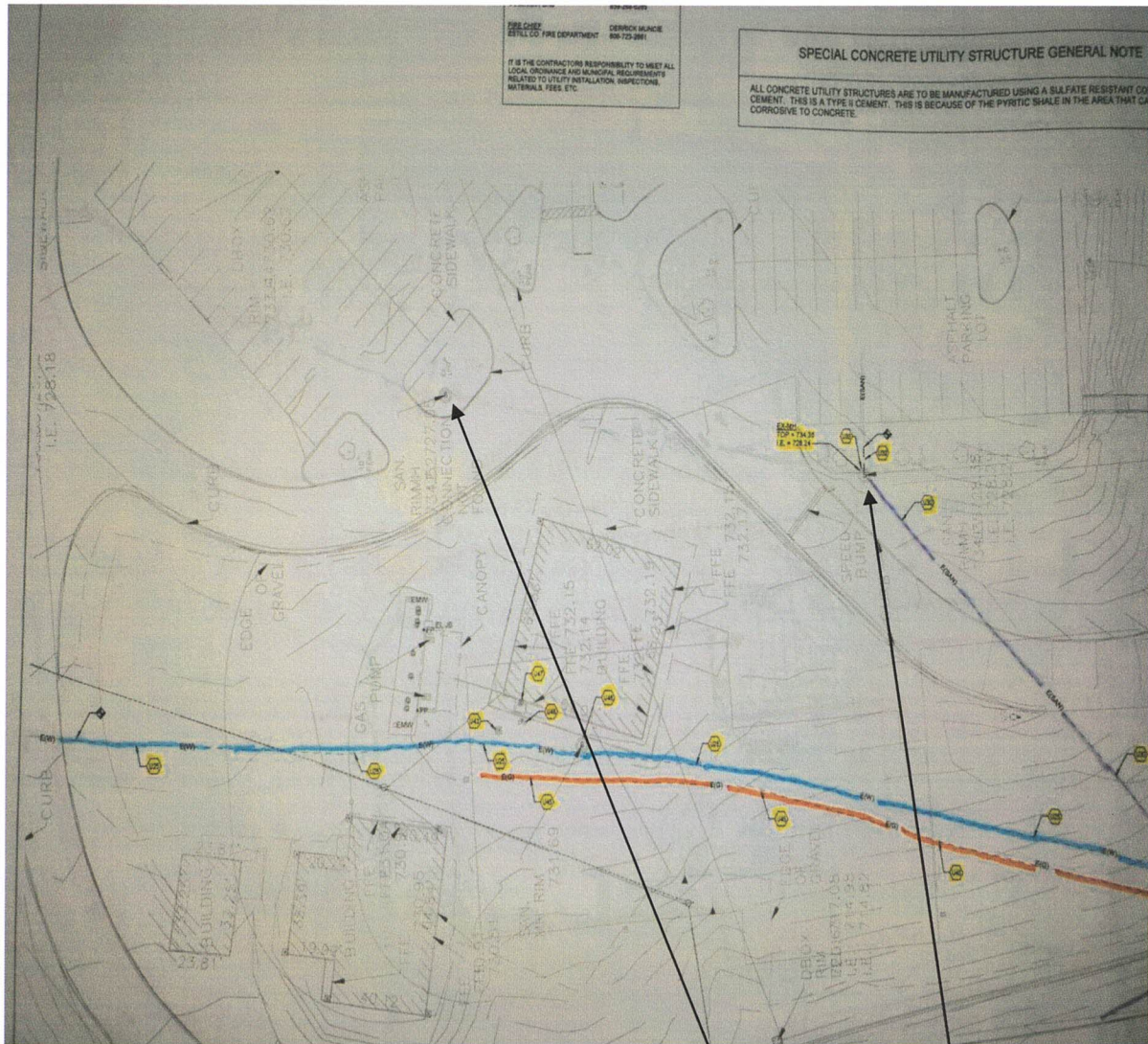
The picture of manhole with lid remove shows the direction of flow may continue to Manhole #1 and continue to the Baseball Softball entrance drive way.



The Contractor has found an unknown 4" PVC pipe in the drive way of the Baseball Softball drive way, approximately in the center of entrance.

The Contractors shall open Manhole #2 and clean and remove all gravel and clay from the pipe routing back to Manhole #1, the distance taken with a laser is +/- 195' from manhole to manhole. The pipe once cleared of blockage shall be camera and the video recording of the pipe interiors shall be submitted to the Architect. Do not allow any blockage materials to flow through and or pass the Manhole #1 invert.

The Contractor shall clean and remove all blockage in the 4" sewer pipe leading towards the Baseball Softball Field drive way. The goal is to locate and confirm this pipe does terminate and end in the center of the driveway. Note; it is possible there is an unknown manhole located somewhere in this driveway or adjacent culvert. This unknown pipe if it does come from Manhole #2 shall be camera and the video recording submitted to the Architect, the laser distance take is +/- 285' from manhole #2 to the sign seen in the above picture.



Estill County A T C project drawing UM1.0, Unknown Manhole #2 and Manhole #1.

Pending the results of this exploration and confirmation the unknown 4" sewer pipe is in usable condition the Contractor will tie the force main sewer into this pipe.



The Contractor shall provide a unit pricing for extending the installed force sewer main from the present location north of Baseball Field fence to the 4" sewer in the entrance driveway.

Note; all scope of work shall be complete per contract document and Architectural, Civil and CMTA project specifications.

End of Proposal

Respectfully

Daniel T Higgins
Engineering Contract Administrator

Mrs. Carrie Kelty CMTA
Mr. Josh Johnson CMTA
Mr. Clay Euton CMTA
File: Acad/XEHS20/Files/Proposals



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County HS Phase 7 Renovations 2025 DATE SENT: 12/14/2021

SUBJECT: Manhole Location & BB/ SB Force Main Connection PROPOSAL REQUEST ID: PR 12

TYPE: Proposal Request TRANSMITTAL ID: 00529

PURPOSE: For Contractor's Pricing VIA: Info Exchange

FROM

| NAME | COMPANY | EMAIL | PHONE |
|---------------|------------------------|-----------------------|--------------|
| Jonathan Ruiz | RossTarrant Architects | jruiz@rosstarrant.com | 859-254-4018 |

TO

| NAME | COMPANY | EMAIL | PHONE |
|-----------|-----------------------------|------------------------------|--------------|
| Jack Reed | Codell Construction Company | jreed@codellconstruction.com | 859.744.2222 |

REMARKS: See attached for PR scope.

DESCRIPTION OF CONTENTS

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COPIES:

Kenny Davis
Peter Fisher

(Codell Construction Company)
(RossTarrant Architects)

December 10 2021

Ross Tarrant Architects
101 Old Lafayette Avenue
Lexington Ky. 40502

Attn: Mr. Peter Fisher

Re: Estill County High School Phase 7
BG# 21-055
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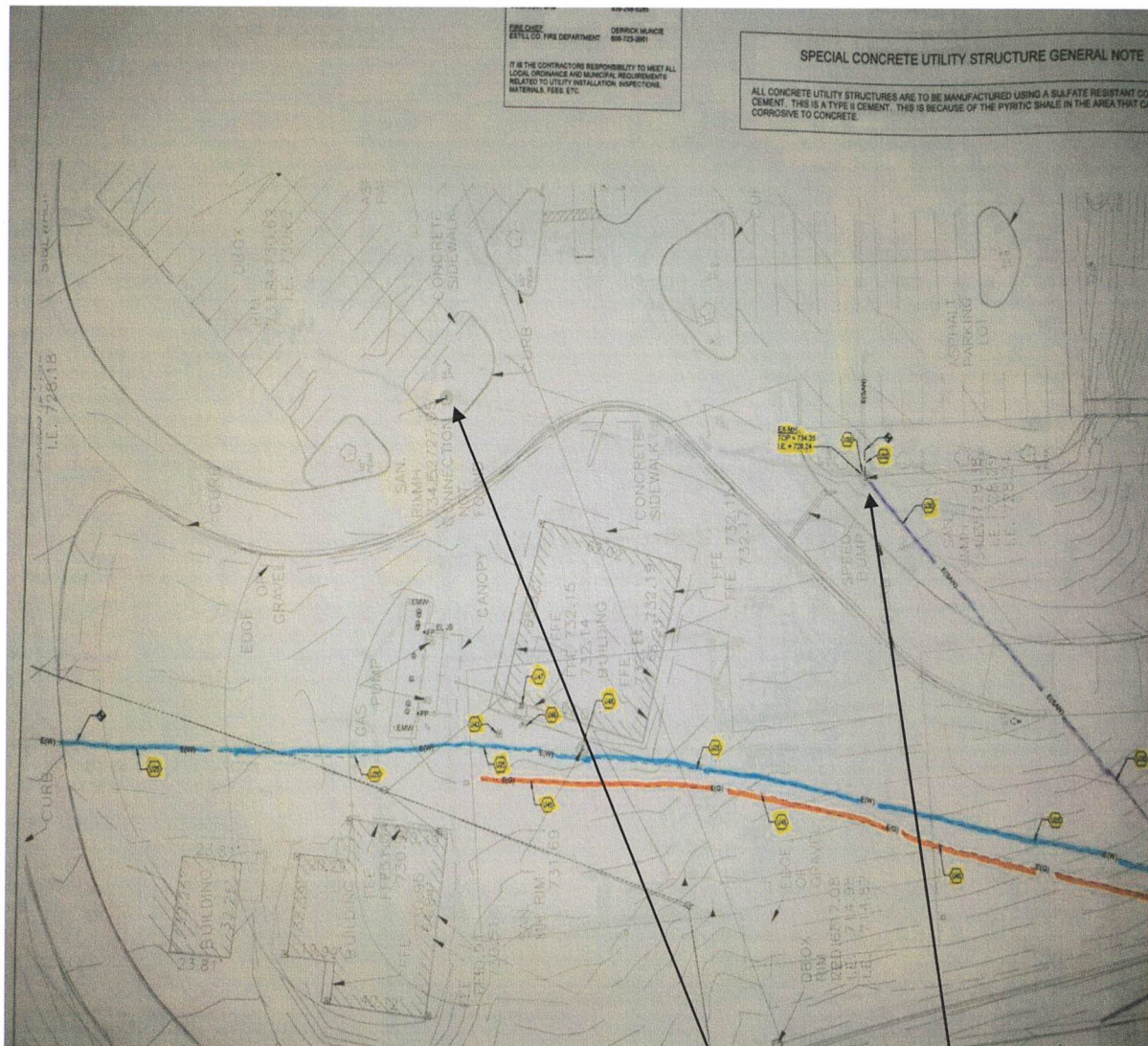
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Respectfully

Daniel T Higgins
Engineering Contract Administrator

Mrs. Carrie Kelty CMTA
Mr. Josh Johnson CMTA
Mr. Clay Euton CMTA
File: Acad/XEHS20/Files/Proposals

Proposal

Page # _____ of _____ pages

STANDAER BUILDERS, INC.

PAVING

P.O. BOX 247

1178 WEST MAIN

WEST LIBERTY, KY 41472

PH: (606) 743-4435 FAX: (606) 743-7401

7543

ATTN: Jackal and

| | | |
|--|------------------------------|------------------------|
| Proposal Submitted To: Code 11 C.C. Repair | Phone # 7659440200 | Date 4 25 12 |
| Address Est. 11 High School | Job Name | |
| City, State and Zip | Job Location | |
| Architect | Date of Plans | Job Phone # |

We hereby submit specifications and estimates for:

Matched and Labor
lay 4" Base and 1.5 Surface to area
Mill area for Smooth area

5' x 35' = 175 sq ft

9 ton

200 sq ft

ALL DEPOSITS ARE NON-REFUNDABLE

We propose hereby to furnish material and labor complete in accordance with the above specifications for the sum of:

\$ **1380.00** Dollars

with payments to be made as follows: **PAYMENT TO BE MADE UPON COMPLETION. A 1 1/2% SERVICE CHARGE WILL BE APPLIED TO ALL ACCOUNTS OVER 30 DAYS. LIENS WILL BE FILED AFTER 60 DAYS**

Authorized

Signature

[Signature]

Note - this proposal may be withdrawn by us if not accepted within _____ days

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature _____

Signature of Acceptance: _____

Signature _____

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Kenny Davis

From: Chase Fallen <Chase@candcindustrial.com>
Sent: Monday, April 25, 2022 4:25 PM
To: Jack Reed
Cc: Kenny Davis
Subject: Re: Asphalt Patch

Looks good to me. Please proceed.

Thanks
Chase Fallen
Project Manager
C&C Industrial
(606) 481-2684

From: Jack Reed <JReed@codellconstruction.com>
Sent: Monday, April 25, 2022 4:11:12 PM
To: Chase Fallen <Chase@candcindustrial.com>
Cc: Kenny Davis <KDavis@codellconstruction.com>
Subject: Fwd: Asphalt Patch

Chase,
Attached is the pricing to patch the asphalt.



Jack Reed

Construction Manager | Codell Construction Company

C: 859.644.0200

E: jreed@codellconstruction.com **W:** codellconstruction.com



Codell Construction Company will never request or provide proprietary information (checking, credit card, security codes, etc.) via email. Please contact your Codell representative directly to confirm or provide such information. Do not open attachments or forward this email unless you recognize the sender, the sender's email domain and you know the content is safe.

Begin forwarded message:

From: "8596440200@vzwpx.com" <8596440200@vzwpx.com>
Date: April 25, 2022 at 3:59:59 PM EDT
To: Jack Reed <JReed@codellconstruction.com>

