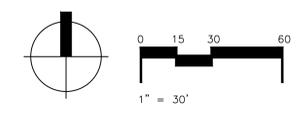
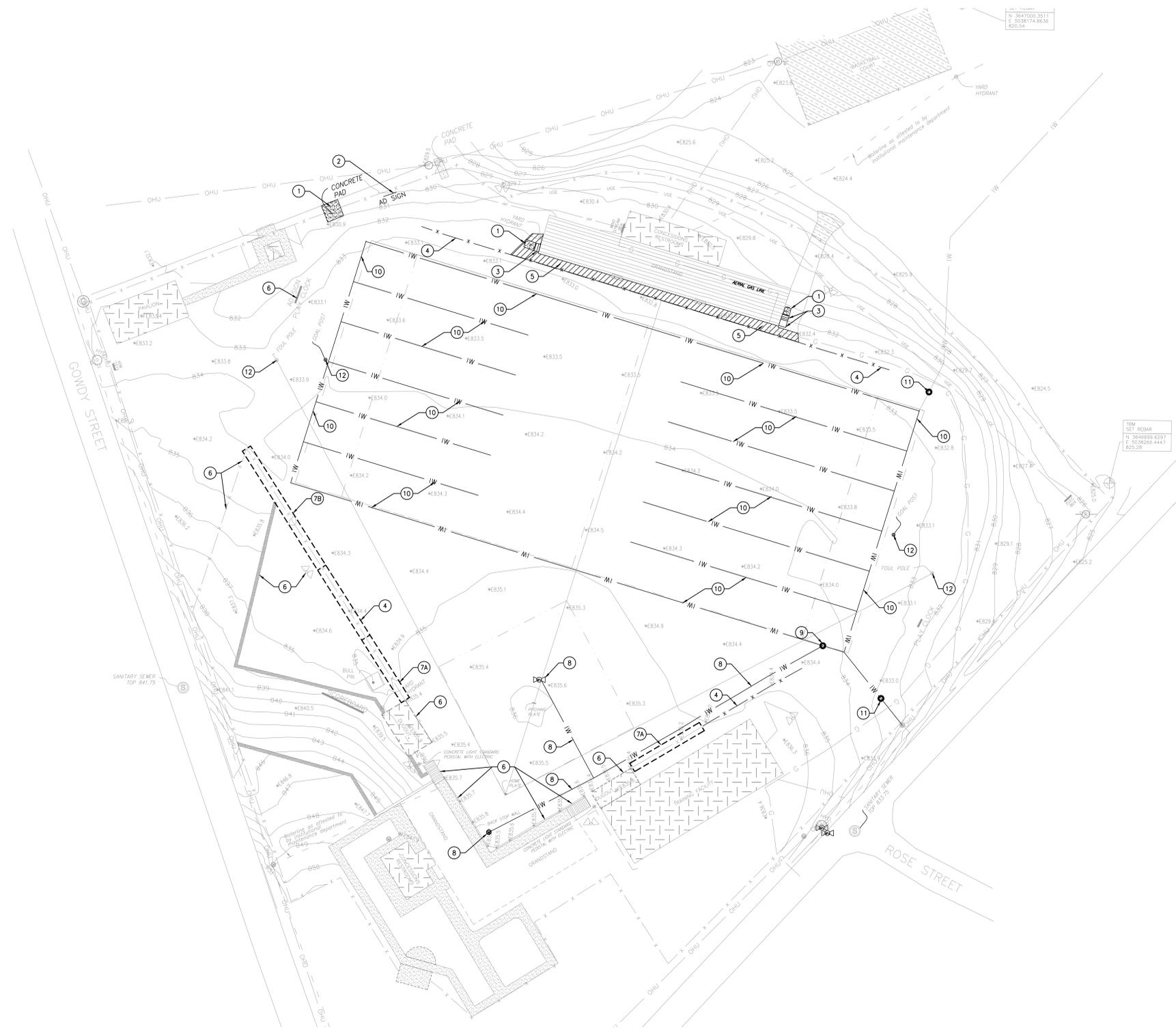


DEMOLITION PLAN - BASEBALL FIELD



DEMOLITION NOTES

- THE EXISTING FEATURES SHOWN ARE A COMPILATION OF DATA AS OBTAINED FROM THE OWNER / BY SURVEYOR / AERIAL PHOTO IMAGERY / FIELD COLLECTED INFORMATION, ETC. CARMAN MAKES NO ASSURANCE REGARDING THE ACCURACY OR VERACITY OF DATA SUPPLIED BY OTHERS OR SHOWN ON THE SUBSEQUENT DRAWINGS. THE SOURCE OF THE SITE SURVEY IS: DONALD A. DABNEY, DABNEY ENGINEERING & LAND SURVEYING, 213 EAST FIRST STREET, CAMPBELLVILLE, KENTUCKY 42718. CELL PHONE: (270) 849-4020. EMAIL: DON@DLS.CO.US
- ALL EXISTING SITE FEATURES ARE SHOWN AS ACCURATELY AS REASONABLY POSSIBLE AND BELIEVED TO BE CORRECT. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES IN THE ALIGNMENT OR LOCATION OF ANY FEATURE, THE OWNER / OWNER'S REPRESENTATIVE / LANDSCAPE ARCHITECT/CIVIL ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND NECESSARY ADJUSTMENTS WILL BE MADE IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE PROJECT LIMITS FOR ANY SITE DEMOLITION AND SHALL BE RESPONSIBLE FOR MAINTAINING ANY AND ALL WORK WITHIN THE LIMITS OF THE WORK AS DESIGNATED. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY ENCROACHMENT BEYOND THE LIMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS, PERMISSIONS, EASEMENTS, ETC TO UTILIZE AREAS BEYOND THE PROJECT LIMITS
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO DEMOLITION WORK EITHER BY UTILIZATION OF B.U.D. OR A 3RD PARTY UTILITY LOCATE COMPANY. COSTS FOR ESTABLISHING THE LOCATION OF EXISTING UTILITIES SHALL BE THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL OBTAIN DEMOLITION PERMITS FROM ANY AUTHORITY HAVING LOCAL JURISDICTION INCLUDING LOCAL, STATE OR FEDERAL AGENCIES, IF NECESSARY, AND PAY ALL ASSOCIATED FEES INCLUDING DISPOSITION FEES OR COSTS. THE CONTRACTOR SHALL ESTABLISH TRAFFIC CONTROL AND SIGNING AS REQUIRED BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. PROVIDE TEMPORARY BARRICADES, TRAFFIC BARRELS, AND FLAGGERS AS NECESSARY FOR CREW AND MOTORIST SAFETY AND PER THE MAINTENANCE OF TRAFFIC/TEMPORARY TRAFFIC CONTROL PLAN INCLUDED IN THE CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY STREET CLOSURES, DETOURS, ETC. WITH AUTHORITIES HAVING JURISDICTION AND GOVERNING AGENCIES OF STREETS AND ROADS.
- IDENTIFICATION OF MATERIAL TO BE REMOVED/DEMOLISHED IS PROVIDED AS A CONVENIENCE TO THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR OBSERVING SITE AND PLANS TO COORDINATE DEMOLITION WITH ALL PROPOSED WORK. FAILURE TO IDENTIFY A MATERIAL REQUIRING REMOVAL/DEMOLITION IN ORDER FOR NEW WORK TO BE COMPLETED DOES NOT RELIEVE THE CONTRACTOR OF BEING RESPONSIBLE FOR PERFORMING THE NECESSARY WORK. ASPHALT AND/OR CONCRETE REMOVED AS A RESULT OF UTILITY/STORM DEMOLITION IS TO BE RESTORED PER THE STANDARD TRENCH DETAIL OR RESTORED TO THE EXISTING SURFACE PRIOR TO SURFACE DEMOLITION. SEE SITE DETAIL SHEETS
- DURING CONSTRUCTION, THE WORK AREA SHALL BE KEPT CLEAR OF DEBRIS. ALL DEMOLISHED MATERIALS NOT DESIGNATED TO BE TURNED OVER TO THE OWNER SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. CONTRACTOR SHALL PAY ALL HAULING, LANDFILL EXPENSES AND OBTAIN ANY NECESSARY PERMITS TO DO SO. PERMETER CONSTRUCTION LIMITS FENCE SHALL CONSIST OF 8' HIGH CHAIN LINK FENCE.
- CONTRACTOR TO PROTECT EXISTING TREES OUTSIDE OF CONSTRUCTION LIMITS. NO MATERIAL IS TO BE STORED WITHIN A TREE DRIP LINE.
- PROVIDE TREE PROTECTION FENCING FOR ALL EXISTING TREES THAT ARE NOT DESIGNATED TO BE REMOVED WITHIN THE CONSTRUCTION LIMITS.
- ALL EXISTING SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO PAVING, CURBING, SIDEWALKS, UTILITIES, AND LANDSCAPING SCHEDULED TO REMAIN SHALL BE PROTECTED OR REPLACED IF DAMAGED.
- SEE SITE UTILITY DRAWINGS FOR RELOCATION OF UTILITY FACILITIES.
- CONTRACTOR RESPONSIBLE FOR OBSERVATION OF SITE PRIOR TO BIDDING TO DETERMINE QUALITY, QUANTITY, AND VALUE OF ITEMS TO BE DEMOLISHED AND REMOVED.
- COORDINATE UTILITY DEMOLITION WITH CORRESPONDING MEP DRAWINGS, SITE UTILITY PLAN AND APPROPRIATE UTILITY COMPANY.
- EXISTING AGGREGATE MATERIAL SHALL BE REMOVED AS NECESSARY TO ACCOMMODATE NEW ASPHALT. EXISTING AGGREGATE MAY BE REUSED IF CLEAN AND FREE OF SOIL AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT/CIVIL ENGINEER.
- REFER TO PHASING PLAN FOR SEQUENCE OF DEMOLITION.
- SAWCUT EDGES OF PAVEMENT AND WALLS TO REMAIN IN CLEAN STRAIGHT LINES. COORDINATE SAWCUTS WITH PROPOSED LAYOUT PLAN
- REMOVE ALL SHRUBS, GROUND COVER, MULCH, ETC. WITHIN LIMITS OF CONSTRUCTION. REMOVE ONLY TREES DESIGNATED FOR REMOVAL. NO ORGANIC MATERIAL (IE. ROOTS, MULCH, GRASSES, TOPSOIL) SHALL REMAIN IN SOIL THAT WILL BE USED FOR STRUCTURAL BACKFILL FOR BUILDINGS, PAVEMENTS, ETC.
- SEE MEP DRAWINGS FOR DEMOLITION OF ELECTRIC, STEAM, CHILLED WATER, WATER, COMMUNICATION, AND GAS FACILITIES. CONTRACTOR IS TO CONTACT UTILITY COMPANIES TO COORDINATE ANY WORK INVOLVING PUBLIC UTILITIES, INCLUDING ELECTRIC, COMMUNICATIONS, WATER, GAS, ETC. UTILITY LINES SHOULD BE REMOVED, NOT ABANDONED IN PLACE UNLESS NOTED OTHERWISE.
- ALL STORM SEWER LOCATED UNDER NEW STRUCTURES, SHALL BE REMOVED, NOT ABANDONED IN PLACE. DEMOLITION OF FACILITIES THAT SERVE OTHER ADJACENT OFF-SITE AREAS OR BUILDINGS WILL NEED TO BE PHASED IN ORDER TO KEEP THEM ON-LINE UNTIL REPLACEMENT FACILITIES ARE CONSTRUCTED. FACILITIES THAT ARE NECESSARY TO Dewater THE SITE DURING CONSTRUCTION SHALL REMAIN UNTIL NEW FACILITIES ARE CONSTRUCTED.
- ALL SANITARY SEWER LOCATED UNDER NEW STRUCTURES SHALL BE REMOVED, NOT ABANDONED IN PLACE UNLESS NOTED OTHERWISE. DEMOLITION OF FACILITIES THAT SERVE OTHER ADJACENT OFF-SITE AREAS OR BUILDINGS WILL NEED TO BE PHASED IN ORDER TO KEEP THEM ON-LINE UNTIL REPLACEMENT FACILITIES ARE CONSTRUCTED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY PROTECT ALL STRUCTURES SCHEDULED TO REMAIN AND NOT BE DEMOLISHED OR TO PROTECT UNTIL SUCH TIME THAT STRUCTURE IS SCHEDULED TO BE DEMOLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO DAMAGED STRUCTURES. THIS ALSO INCLUDES REPAIRS TO EXISTING ROADS AND SIDEWALKS.
- CONTRACTOR IS TO SALVAGE ALL SITE FURNISHINGS, SIGNAGE, PARKING METERS, UTILITY MARKERS, AND OTHER SITE IMPROVEMENTS AND STORE SAFELY FOR RE-INSTALLATION OR RETURN TO OWNER.
- THE CONTRACTOR RESPONSIBLE FOR SITE DEMOLITION SHALL VERIFY THE PRESENCE OF ANY UNDERGROUND STORAGE TANKS (UST) THAT MAY NOT BE LOCATED ON THE SITE THAT MAY CONFLICT WITH ANY SITE OR BUILDING DEMOLITION. KNOWN UNDERGROUND STORAGE TANKS ARE REGISTERED AT <http://waste.ky.gov/UST/Pages/default.aspx>. THE CONTRACTOR SHALL CROSS-CHECK SITE SURVEYS, GEOTECHNICAL REPORTS OR ENVIRONMENTAL REPORTS FOR ACKNOWLEDGED OR REGISTERED UNDERGROUND STORAGE TANKS. SHOULD THIS DEMOLITION PLAN, OTHER REPORTS OR UST DATABASE LISTINGS INDICATE THE PRESENCE OF ANY UST, THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT THE TANK AND THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGE, INCLUDING ANY ENVIRONMENTAL REMEDIATION AS A RESULT OF THE DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF UNWARRANTED DUST CREATED BY ANY DEMOLITION WORK ON THE SITE OR DEMOLITION OF BUILDINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUIPMENT FOR WATERING INCLUDING THE COST OF WATER THAT MAY BE CHARGED FOR USING MUNICIPAL WATER SUPPLIES FROM FIRE HYDRANTS, ETC.
- CONTRACTOR SHALL COMPLY WITH LEED REQUIREMENTS ASSOCIATED WITH THIS PLAN AND ANY DEMOLISHED MATERIALS ASSOCIATED WITH THIS SITE DEMOLITION PLAN SHALL BE REUSED, RECYCLED OR DISPOSED TO AN APPROVED RECYCLING/PROCESSING FACILITY. ALL APPLICABLE MATERIALS SHALL BE MONITORED AND QUANTITY OF MATERIALS SHALL BE RECORDED BY CONTRACTOR AS TO WEIGHT, VOLUMES, ETC AS REQUIRED FOR LEED CERTIFICATION ASSOCIATED WITH THIS PROJECT. THE COST OF QUANTIFYING, REUSE, AND DISPOSITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THIS SITE DEMOLITION PLAN DOES NOT SPECIFICALLY REFERENCE OR SPECIFY SHORING THAT MAY BE REQUIRED DURING SITE DEMOLITION SO THAT ADJACENT AREAS ARE PROTECTED FROM DAMAGE, COLLAPSE, ETC. SHOULD THE CONTRACTOR DETERMINE THAT SHORING IS REQUIRED FOR ADJACENT AREA PROTECTION OR TO PREVENT ENCROACHMENT OF DEMOLITION OUTSIDE OF PROJECT LIMITS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING PROPER SHORING MEANS, METHODS AND DESIGN PER LOCAL REGULATIONS OR PER REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION INCLUDING THE SHORING TYPE AND IF NECESSARY THE PREPARATION OF SHORING PLANS BY A LICENSED STRUCTURAL ENGINEER PER OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY OVERHEAD UTILITY LINES THAT MAY CONFLICT WITH ANY ASPECT OF THE SITE DEMOLITION AND SHALL BE RESPONSIBLE FOR SAFE OPERATION OF EQUIPMENT AND PERSONNEL THAT MAY CONFLICT WITH ANY OVERHEAD UTILITY SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ANY LOCAL NOISE ORDINANCES THAT MAY RESTRICT THE TYPE OF DEMOLITION EQUIPMENT OR TIMES OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT, IF ANY, OF LOCAL NOISE ORDINANCES ASSOCIATED WITH CONSTRUCTION OR DEMOLITION ACTIVITIES.
- SHOULD THE SITE DEMOLITION REQUIRE ANY EARTH EXCAVATION AND SHOULD THE PROJECT REQUIRE THE OBSERVATIONS OF A CULTURAL RESOURCE OR ARCHAEOLOGICAL CONSULTANT, THE CONTRACTOR SHALL FULLY COOPERATE WITH THE CONSULTANT TO ALLOW THE CONSULTANT ACCESS TO ANY EXCAVATIONS TO DETERMINE IF THERE ARE ANY PRE-HISTORICAL OR HISTORICAL FINDINGS THAT NEED TO BE DOCUMENTED OR PRESERVED. TIME DELAYS FOR DOCUMENTATION OF THE REMAINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR ALTHOUGH RELOCATION OR MITIGATION COSTS SHALL BE PER THE SPECIFICATIONS OR ARCHAEOLOGICAL MONITORING PLAN FOR THE PROJECT.
- STREET, ROAD OR PARKING LOT SITE PLAN SHALL BE CROSS-REFERENCED FOR THE EXTENT AND LIMITS OF ASPHALT MILLING FOR AREAS OF FINAL ASPHALT SURFACE OVERLAY. THE MILLING SHALL BE PERFORMED AT THE MOST APPROPRIATE TIME SO AS TO NOT DEGRADE THE INTEGRITY OF THE ASPHALT STRUCTURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL UTILITIES THAT ARE OR MAY BE CONNECTED TO THE DEMOLISHED FACILITIES ARE DISCONNECTED BY CONTACTING ALL APPLICABLE UTILITY COMPANIES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DISCONNECT COST ASSOCIATED WITH EACH AND ALL UTILITIES THAT MAY SERVE THE PROPERTY OR FACILITY THAT IS BEING DEMOLISHED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR DETERMINING THESE COSTS DURING THE BIDDING PHASE AND SHALL INCLUDE THESE DISCONNECT COSTS IN THEIR COSTS SO THE OWNER WILL NOT INCUR COSTS AT A LATER DATE.

CODED DEMOLITION NOTES

KEY	DESCRIPTION	GRAPHIC
1	REMOVE CONCRETE PAD AND BASE MATERIALS. SAWCUT AS NECESSARY TO PREVENT DAMAGE TO ADJACENT SURFACES TO REMAIN.	
2	REMOVE AND RELOCATE SIGN TO NEW LOCATION IDENTIFIED BY OWNER - PROVIDE NEW FOOTINGS TO MATCH EXISTING.	
3	REMOVE CONCRETE STAIRS AND BASE MATERIALS	
4	REMOVE FENCE AND FOOTINGS. SALVAGE FABRIC AND TURN OVER TO OWNER.	
5	REMOVE AND STOCKPILE GRAVEL FOR FUTURE USE	
6	PROTECT EXISTING FENCE, WALL DUGOUT, LIGHTPOLE, FOUL POLE, GOLF POST OR SOURCEBOARD	
7A	BASE BID: REMOVE FENCE, BOTTOM RAIL AND FABRIC, SALVAGE AND STORE FOR RE-INSTALLATION AFTER NEW CONCRETE CURB AND ARTIFICIAL TURF IS INSTALLED. PERFORM RE-INSTALLATION.	
7B	BID ALTERNATE: REMOVE FENCE, BOTTOM RAIL AND FABRIC, SALVAGE AND STORE FOR RE-INSTALLATION AFTER NEW CONCRETE CURB AND ARTIFICIAL TURF IS INSTALLED. PERFORM RE-INSTALLATION.	
8	REMOVE IRRIGATION VALVE AND WATER LINE - BASE BID	
9	CAP EXISTING IRRIGATION WATER LINE - BASE BID	
10	REMOVE IRRIGATION WATER LINE - BID ALTERNATE #1	
11	CAP EXISTING IRRIGATION WATER LINE - BID ALTERNATE #1	
12	REMOVE AND REPLACE	

CAMPBELLVILLE INDEPENDENT ATHLETICS

NEW ATHLETIC FIELDS  
230 W Main St #2  
Campbellville, KY

Owner:  
Campbellville Independent Schools  
118 S. Columbia Ave  
Campbellville, KY  
270.465.4162

Landscape Architect/Civil Engineer:  
**CARMAN**  
310 Old Vine Street, Suite 200  
Lexington, Kentucky 40507  
859.234.9803

NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLW  
PROJECT NUMBER: 20-142  
REVISIONS:

**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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SHEET TITLE:  
**BASEBALL FIELD  
DEMOLITION PLAN**

SHEET NUMBER:  
**C1.0**

**CAMPBELLSVILLE INDEPENDENT ATHLETICS**

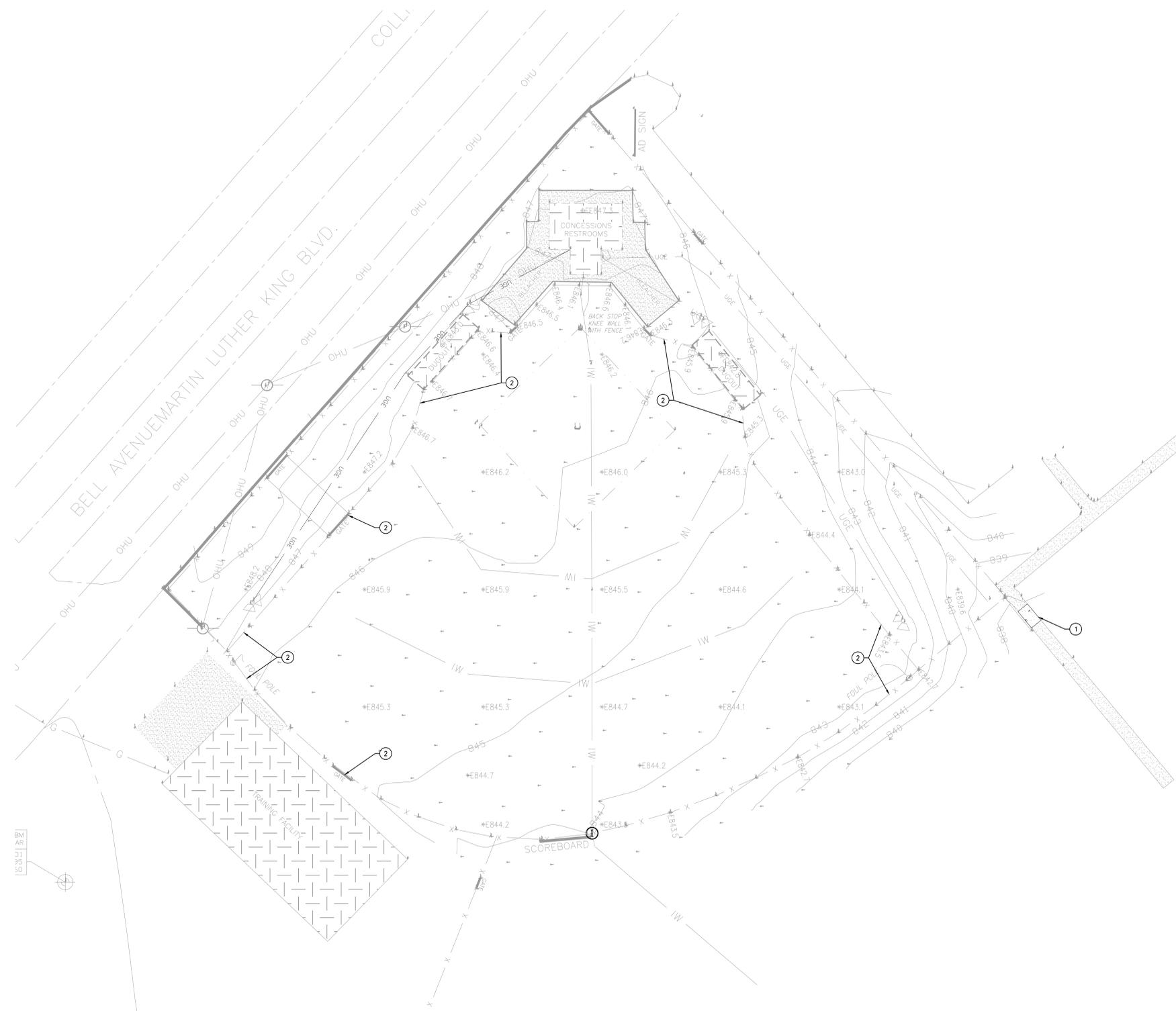
NEW ATHLETIC FIELDS  
230 W Main St. #2  
Campbellsville, KY

Owner:  
Campbellsville Independent Schools  
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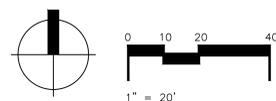
Landscape Architect/Civil Engineer:  
**CARMAN**  
310 Old Vine Street, Suite 200  
Lexington, Kentucky 40507  
859.234.9803

**CODED DEMOLITION NOTES**

KEY	DESCRIPTION	GRAPHIC
1	REMOVE AND REPLACE CONCRETE WALK, SAWCUT AT EXISTING JOINTS AND REMOVE COMPLETE PANELS AS NECESSARY TO INSTALL NEW STORM PIPE. SEE SHEET C4.1	
2	TEMPORARILY REMOVE, SALVAGE AND STORE GATES, BOTTOM RAILS AND FABRIC FROM CHAINLINK FENCES AROUND ENTIRE PERIMETER OF SOFTBALL FIELD IN ORDER TO ALLOW INSTALLATION OF CONCRETE CURB BENEATH. RE-INSTALL ALL COMPONENTS FOLLOWING INSTALLATION OF ARTIFICIAL TURF AND CURBS.	



**DEMOLITION PLAN - SOFTBALL FIELD**



NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLV  
PROJECT NUMBER: 20.142  
REVISIONS:

**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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SHEET TITLE:  
**SOFTBALL FIELD  
DEMOLITION PLAN**

SHEET NUMBER:  
**C1.1**

**EROSION CONTROL & PHASING NOTES:**

- CONTRACTOR SHALL ENSURE THAT HE/SHE IS IN POSSESSION OF A SET OF APPROVED FINAL CONSTRUCTION DOCUMENTS AND STORM WATER POLLUTION PREVENTION PLANS APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION. COPIES OF THE APPROVED PLANS AND PERMITS SHALL BE KEPT ON THE SITE AT ALL TIMES AND MADE AVAILABLE TO INSPECTORS AS PART OF THE KENTUCKY POLLUTION DISCHARGE ELIMINATION SYSTEM. THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT AN NOI-SWCA TO THE KENTUCKY DIVISION OF WATER. APPLICANTS MUST FILE USING THE ELECTRONIC WEB BASED NOI SUBMISSION SYSTEM AT THE FOLLOWING WEB ADDRESS: <https://dep.gateway.ky.gov/eForms/default.aspx?formID=7>
- COMPLETION OF THE NOI-SWCA SHALL BE COMPLETED A MINIMUM OF SEVEN (7) DAYS BEFORE THE PROPOSED DATE FOR COMMENCEMENT OF CONSTRUCTION ACTIVITIES. COPY OF THE APPROVED NOI-SWCA SHALL BE SUBMITTED TO CARMAN AND THE LOCAL AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL PERFORM INSPECTIONS AND KEEP ON-SITE RECORDS OF INSPECTIONS AND MAINTENANCE OF EROSION CONTROL DEVICES AS DESCRIBED IN THE SPECIFICATIONS AND KYR10.
- CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS. CONSTRUCTION ENTRANCE SHALL BE UNDERLAIN WITH NON-WOVEN FILTER FABRIC.
- CONTRACTOR TO INSTALL CONCRETE WASH OUT PIT AS INDICATED ON THE PLANS, THOUGH LOCATION MAY MOVE (WITH APPROVAL OF LANDSCAPE ARCHITECT) AS NECESSARY TO BEST SUIT OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CONCRETE WASH, FUNCTIONING PROPERLY WITH BUILDUP OF MATERIALS DISPOSED OF OFF-SITE IN A LAWFUL MANNER.
- SILT FENCE SHALL BE INSTALLED AS INDICATED ON THE PLAN PRIOR TO MOBILIZATION OF THE SITE. SILT FENCE IS TO BE INSTALLED FOLLOWING CONTOURS AS APPLICABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SILT FENCE AND REMOVAL OF SILTATION AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF SILT FENCE AT SUCH TIME THAT SEEDING HAS GERMINATED AND/OR SOD ESTABLISHED SO THAT NO EROSION IS OCCURRING REGARDLESS OF TIMING. SILT FENCE SHALL BE REMOVED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING ASPHALT FREE FROM MUD, DIRT, DEBRIS, ETC.
- CONTRACTOR SHALL ESTABLISH INLET PROTECTION FOR ALL PROPOSED AND EXISTING STRUCTURES AND SHALL MAINTAIN THE FUNCTIONALITY OF THE PROTECTION THROUGHOUT THE TIME EXTENT OF THE PROJECT.
- AFTER CONSTRUCTION ENTRANCE, SILT FENCE, CONCRETE WASHOUT PIT, AND INLET CONTROLS HAVE BEEN INSTALLED AND APPROVED BY THE LOCAL JURISDICTION AND/OR BY CARMAN, PROCEED WITH TOPSOIL STRIPPING, STOCKPILING, AND OVERALL SITE GRADING. CONTRACTOR SHALL SURROUND STOCKPILES WITH SILT FENCE AND ESTABLISH A QUICK COVER SEED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL PHASE CONSTRUCTION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY ONE TIME, STABILIZE AND COVER WITH GRAVEL OR SEEDING AS QUICKLY AS POSSIBLE. USE ON SITE CONTROLS SUCH AS DIVERSIONS, SUMPS, AND STRAW BALES AS NECESSARY TO PREVENT OFF SITE RUNOFF. EXTRA EFFORT SHOULD BE EXERCISED PRIOR TO WINTER OR RAINY SEASON TO HAVE ALL SITE CONTROLS IN PLACE. DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH EROSION CONTROLS.
- CONTRACTOR SHALL COVER ALL AREAS TO BE PAVED WITH BASE AGGREGATE AS SOON AS POSSIBLE TO REDUCE DUST AND EROSION.
- CONTRACTOR SHALL PERFORM FINISH GRADING AND TOPSOIL DISTRIBUTION IN NON-PAVED AREAS, SODDING AND MULCHING. CONTRACTOR SHALL REMOVE SEDIMENT TRAPS, WHERE APPLICABLE, AND REGRADE TO ORIGINAL CONTOURS AND REMEDIATE WITH SOD UPON COMPLETION.
- CONTRACTOR SHALL MAINTAIN SITE AFTER ANY RAINFALL EVENT BY CLEANING SILT AND DEBRIS FROM STREETS, YARDS, ETC. AND THE RE-ESTABLISHMENT OF ANY DAMAGED EROSION CONTROL DEVICE OR MEASURE INCLUDING TEMPORARY OR PERMANENT SEEDING.
- CONTRACTOR SHALL INSPECT SITE DAILY AND IMMEDIATELY FOLLOWING A RAINFALL EVENT TO ENSURE THAT EROSION CONTROL DEVICES ARE FUNCTIONING PROPERLY AND, IF NOT, THE CONTRACTOR SHALL TAKE ACTIONS TO REMEDIATE ANY EROSION CONTROLS AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK, CONSTRUCTION REQUIREMENTS, AND PERFORMANCE STANDARDS SHALL COMPLY WITH LOCAL AND STATE JURISDICTIONS AND/OR STANDARDS.
- STORM PIPING IS SHOWN FOR REFERENCE PURPOSES ONLY.
- TEMPORARY STABILIZATION OF TOPSOIL STOCKPILE AND DISTURBED PORTIONS OF THE SITE SHALL BEGIN WITHIN 14 DAYS ON AREAS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY (FOR 21 DAYS OR MORE) CEASED. TEMPORARY STABILIZATION CAN BE ACCOMPLISHED THROUGH SEEDING RYE (GRAIN) APPLIED AT A RATE OF 120 POUNDS PER ACRE AND/OR STRAW MULCHING AT A RATE OF 4,000 POUNDS OF STRAW PER ACRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIVE ACTION REQUIRED BY ANY LOCAL, STATE OR FEDERAL AGENCY THAT HAS JURISDICTION FOR SITE EROSION CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES SUCH AS SILT FENCE, SEDIMENT BASINS, ROCK CHECKS, INLET PROTECTION, ETC AT SUCH TIME THE SITE HAS BECOME STABILIZED AND DEVICES OR CONTROLS ARE NO LONGER NECESSARY. AFFECTED AREAS SHALL BE RETURNED TO THE CONTOURS PER THE GRADING PLAN.
- THIS PLAN REFLECTS THE MINIMUM REQUIRED EROSION CONTROL MEASURES TO STABILIZE THE SITE. ADDITIONAL MEASURES MAY BE NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE AT NO COST TO THE OWNER.
- ALL STORM INLETS, OPEN PIPES OR DOWNSPOUT BOOTS SHALL BE FULLY PROTECTED TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. IF SEDIMENT ENTERS THE SYSTEM, THE CONTRACTOR SHALL FLUSH THE LINES CLEAN. VISUAL INSPECTION BY CAMERA MAY BE REQUESTED TO ENSURE THE SYSTEM IS PROPERLY MAINTAINED AT NO COST TO THE OWNER.
- ALL DISTURBED AREAS BEYOND ARTIFICIAL TURF AND PAVEMENTS SHALL BE SODDED.

**CODED EROSION CONTROL NOTES**

KEY	DESCRIPTION	DETAILS
①	CLASS 2 CHANNEL LINING OVER GEOTEXTILE FABRIC	A / C101
②	SILT FENCE	B / C101
③	CONSTRUCTION ENTRANCE	-
④	CONCRETE WASHOUT PIT	D / C101
⑤	EROSION CONTROL BLANKET	
	LIMIT OF EARTHWORK DISTURBANCE	

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CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLV  
PROJECT NUMBER: 20.142  
REVISIONS:

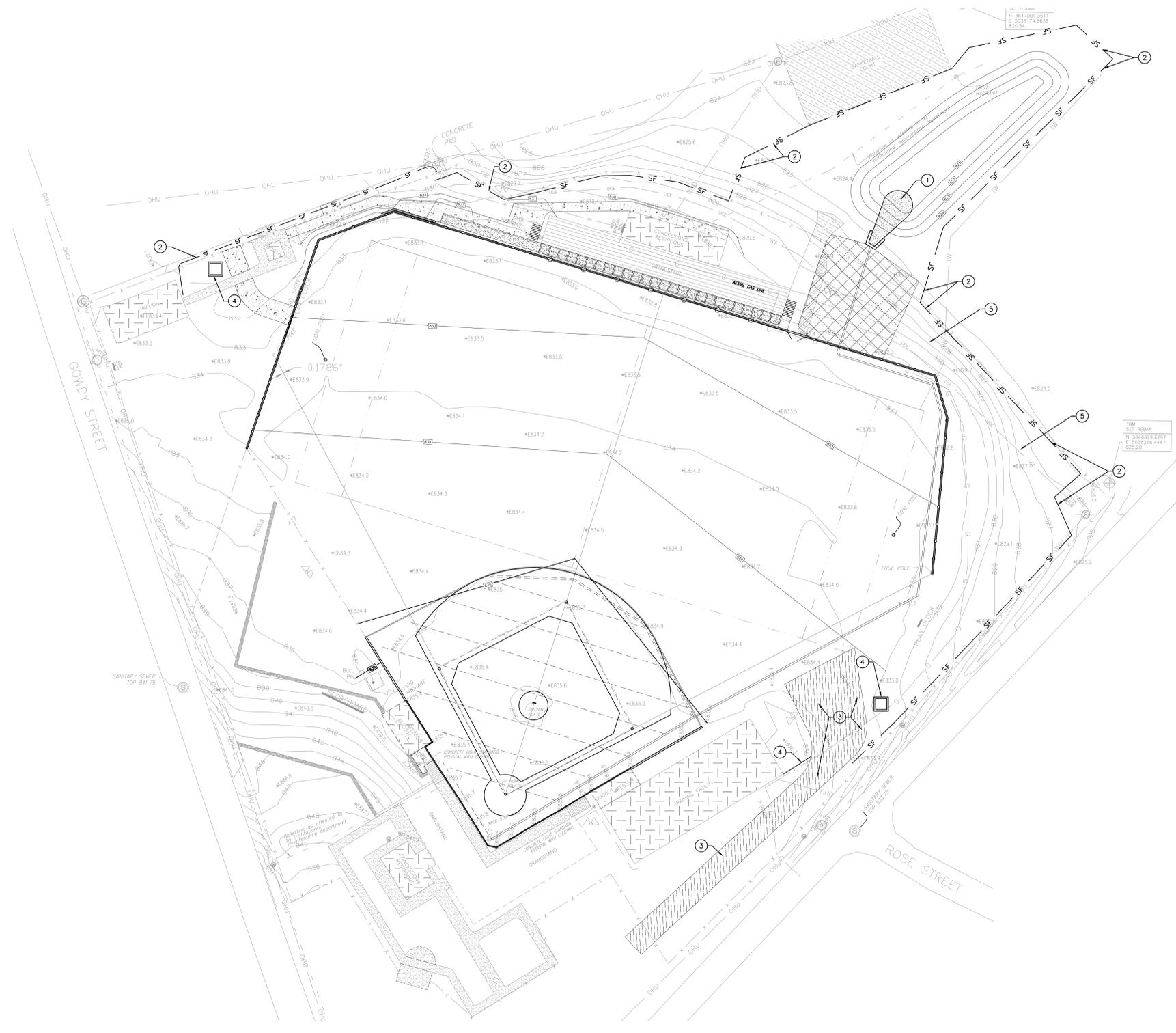
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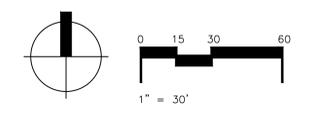
SHEET TITLE:  
**BASEBALL FIELD  
EROSION CONTROL  
PLAN**

SHEET NUMBER:

**C2.0**



**EROSION CONTROL PLAN - BASEBALL FIELD**





**CAMPBELLVILLE INDEPENDENT ATHLETICS**

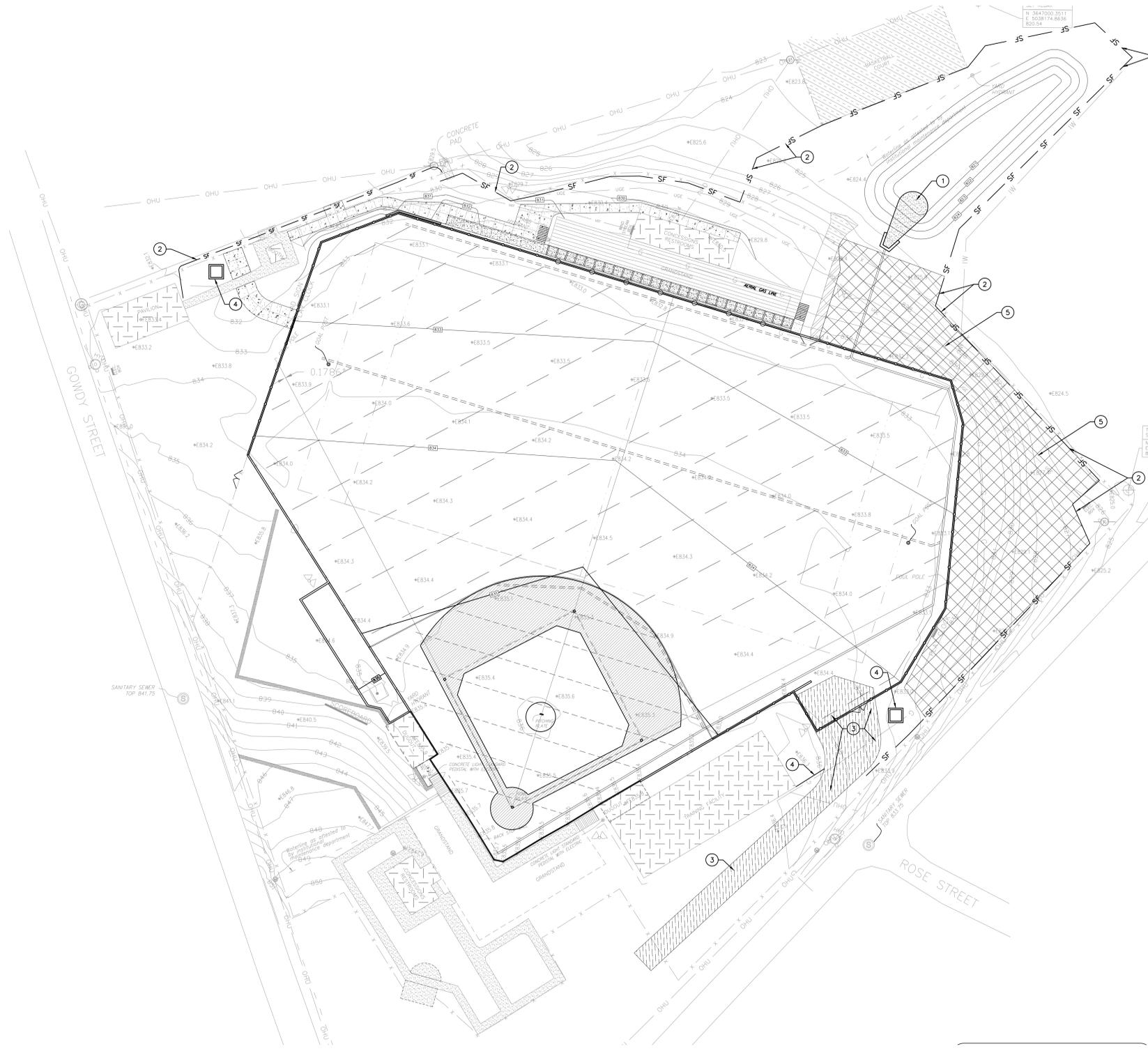
NEW ATHLETIC FIELDS  
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Campbellsville, KY

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135 S. Columbia Ave  
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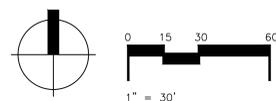
Landscape Architect/Civil Engineer:  
**CARMAN**  
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Lexington, Kentucky 40507  
859.234.9803

**CODED EROSION CONTROL NOTES**

KEY	DESCRIPTION	DETAILS
①	CLASS 2 CHANNEL LINING OVER GEOTEXTILE FABRIC	A / C101
②	SILT FENCE	B / C101
③	CONSTRUCTION ENTRANCE	-
④	CONCRETE WASHOUT PIT	D / C101
⑤	EROSION CONTROL BLANKET	
	LIMIT OF EARTHWORK DISTURBANCE	



**BID ALTERNATE EROSION CONTROL PLAN - BASEBALL AND FOOTBALL**



**BID ALTERNATE #1**

NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLW  
PROJECT NUMBER: 20.142  
REVISIONS:

**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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SHEET TITLE:  
**BID ALTERNATE - FOOTBALL FIELD EROSION CONTROL PLAN**

SHEET NUMBER:

**C2.2**

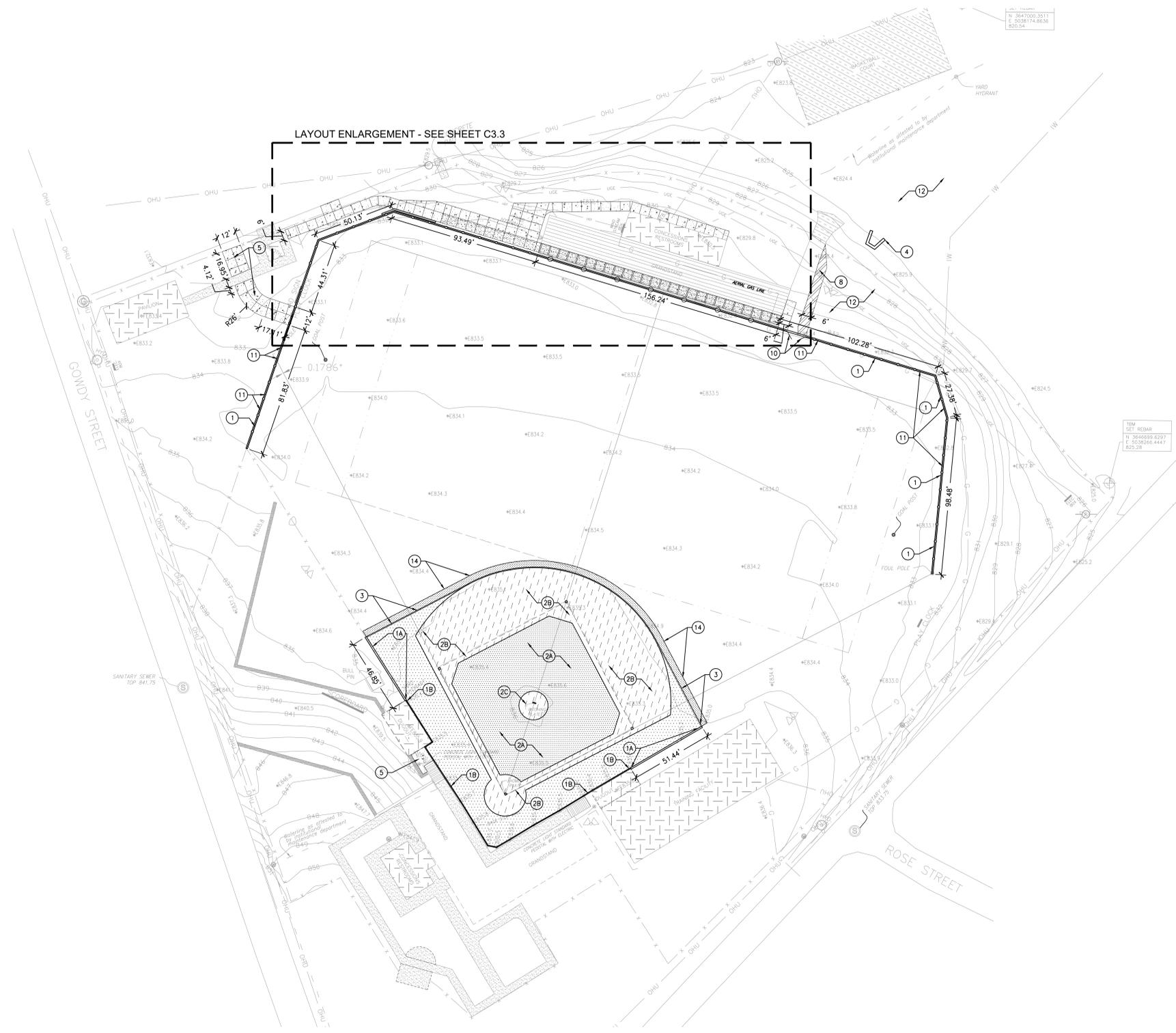
**LAYOUT NOTES**

- DIMENSIONS ARE NOT TO BE SCALED. SHOULD DISCREPANCIES OCCUR WITH DIMENSIONS ON THESE PLANS, NOTIFY CARMAN FOR CLARIFICATION.
- PRIOR TO CONSTRUCTION OR DEMOLITION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES, SO THAT NEW CONSTRUCTION WILL NOT DAMAGE OR INTERFERE WITH EXISTING UTILITY LINES. SHOULD DAMAGE OCCUR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE SAID DAMAGE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL STAKING FOR THE CONSTRUCTION OF ALL SITE IMPROVEMENTS.
- COORDINATES AND ELEVATIONS PROVIDED ON THESE PLANS ARE BASED ON DATUM PROVIDED BY THE SURVEYOR.
- THE CONTRACTOR SHALL UTILIZE COORDINATES FROM ELECTRONIC PLAN FILE FOR THE PURPOSE OF LAYOUT OF ALL SITE IMPROVEMENTS. THE LANDSCAPE ARCHITECT/CIVIL ENGINEER MAY PROVIDE THE ELECTRONIC FILE TO THE CONTRACTOR FOR THIS PURPOSE. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT/CIVIL ENGINEER OF DISCREPANCIES BETWEEN THE PLANS AND THE ELECTRONIC FILE.
- COORDINATES PROVIDED ON THE BUILDING CORNERS ARE TO BE USED FOR BUILDING ORIENTATION. COORDINATES ARE NOT TO BE USED FOR FOOTING AND/OR FOUNDATION LAYOUT.
- IT IS THE CONTRACTOR'S OR SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN AND UTILIZE THE MOST CURRENT CONTRACT PLAN AND SPECIFICATION DOCUMENTS.
- ALL FACE OF CURB RADI TO BE 5' UNLESS OTHERWISE SPECIFIED ON PLAN.
- ALL PARKING LOT LINES SHALL BE 4" PAINTED AS INDICATED AND MEASURED CENTER TO CENTER.
- ALL DIMENSIONS ARE TAKEN AT FACE OF CURB WHERE APPLICABLE.
- ALL WORK, CONSTRUCTION REQUIREMENTS, AND PERFORMANCE STANDARDS SHALL COMPLY WITH LOCAL AND STATE STANDARDS.
- NO MATERIAL SHALL BE WASTED IN A FLOOD PLAIN.
- EXISTING SITE SURVEY INFORMATION PROVIDED BY: DONALD A. DABNEY, DABNEY ENGINEERING & LAND SURVEYING, 213 EAST FIRST STREET, CAMPBELLVILLE, KENTUCKY 42718, CELL PHONE: (270) 849-4020, EMAIL: DON@DELSCOUS
- ALL HORIZONTAL AND VERTICAL STAKING IS TO BE BASED ON LOCAL BENCHMARK PROVIDED BY THE SURVEYOR.
- EXPANSION JOINT MATERIAL IS TO BE USED ANYTIME NEW CONCRETE SIDEWALK, CURB OR PAVEMENT IS INSTALLED ADJACENT TO EXISTING CONCRETE SIDEWALK, CURB, PAVEMENT, FOOTING, BUILDING OR OTHER VERTICAL STRUCTURES.
- EXISTING BUILDINGS, PAVEMENTS, SIDEWALKS, AND OTHER SITE IMPROVEMENTS SHALL BE PROTECTED DURING CONSTRUCTION. THEIR CONDITIONS SHALL BE PHOTOGRAPHICALLY DOCUMENTED PRIOR TO CONSTRUCTION. DAMAGE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- UPON REQUEST, A DIGITAL FILE MAY BE PROVIDED TO ASSIST IN LAYOUT OF NEW FEATURES.
- ALL DISTURBED AREAS THAT ARE NOT DESIGNATED AS PAVED, BUILDING OR LANDSCAPE BEDS SHALL BE SODDED PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL JOBSITE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LIMITS OF CONSTRUCTION ASSOCIATED WITH THIS PLAN. NO WORK SHALL EXTEND BEYOND THE LIMITS OF CONSTRUCTION OR BEYOND ANY PROPERTY OR LEASE LINES. SHOULD THESE PLANS INDICATE WORK BEYOND THESE LIMITS, THE CONTRACTOR SHALL EXPLICITLY RECEIVE WRITTEN PERMISSION FOR THE WORK TO EXTEND BEYOND PROJECT LIMITS OR BEYOND PROPERTY/LEASE LINES. THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR THE LANDSCAPE ARCHITECT/CIVIL ENGINEER SHOULD THIS CONDITION ARISE.
- ALL PAVED AREAS INCLUDING PARKING AREAS, SERVICE AREAS, AND OTHER AREAS SHALL BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIAL SPECIFICATIONS, SUBSEQUENT STABILIZATION AND GRADING PRIOR TO CONSTRUCTION OF FINAL PAVEMENT SURFACES.
- CONTRACTOR SHALL COORDINATE ANY WALKING SURFACE PAVEMENT FINISH, TEXTURE, AND MATERIAL WITH THE LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO INSTALLATION. THIS COORDINATION SHALL INCLUDE MOCK-UP INSTALLATION OF THE VARIOUS PAVEMENT TYPES THAT SHALL INCLUDE THE PAVEMENT MATERIAL, TEXTURE, PAPER TYPES, PATTERNS, PAVEMENT SCORING TYPE AND TEXTURE OF FINISH. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT/CIVIL ENGINEER AFTER THE MOCK-UP IS COMPLETED FOR APPROVAL. THE APPROVAL MAY OCCUR BY A SITE OBSERVATION BY LANDSCAPE ARCHITECT/CIVIL ENGINEER OR BY TRANSMITTAL OF PHOTOGRAPHS THAT ADEQUATELY DEPICT THE CHARACTER OF THE PAVEMENTS.
- THE CONTRACTOR SHALL COORDINATE THE FINISH CONDITION OF ANY SITE RETAINING WALLS, SEAT WALLS OR VERTICAL LANDSCAPE SURFACE WITH THE OWNER AND LANDSCAPE ARCHITECT/CIVIL ENGINEER. THIS COORDINATION AND OBSERVATION MAY OCCUR THROUGH AN ACTUAL SITE MOCK-UP OR PRECEDENT PHOTOGRAPHS FROM MANUFACTURERS. THE CONTRACTOR SHALL RECEIVE APPROVAL FROM BOTH THE OWNER AND LANDSCAPE ARCHITECT/CIVIL ENGINEER.
- SHOP DRAWINGS THAT DEPICT ANY VISIBLE SITE COMPONENTS SUCH AS RAILINGS, SITE ACCESSORIES, WALL HARDWARE, BOLLARDS, SIGNS, FLAG POLES, TREE GRATES, BIKE RACKS, OR OTHER SITE COMPONENT THAT HAS A VISIBLE CHARACTER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT/CIVIL ENGINEER AT LEAST 90 DAYS PRIOR TO SUBSTANTIAL COMPLETION OR THE NECESSARY SCHEDULED TIME FOR INSTALLATION OF THE COMPONENT.
- ALL SITE CONCRETE SHALL BE 4500 PSI.
- ANY SUBMITTALS, PLANS, SHOP DRAWINGS, ETC. REQUIRING THE CERTIFICATION OF A LICENSED DESIGN PROFESSIONAL IN THE COMMONWEALTH OF KENTUCKY SUCH AS RETAINING WALLS, BLEACHERS, RAINWATER HARVESTING SYSTEMS, ETC. SHALL BE SUBMITTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT/CIVIL ENGINEER NO MORE THAN 30 DAYS AFTER THE CONTRACTOR RECEIVES A NOTICE TO PROCEED/CONTRACT FOR THE WORK FROM THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING WASHED STONE/AGGREGATE OF THE SPECIFIED SIZE. UNWASHED STONE WITH FINES AND DUST IS NOT ACCEPTABLE. THE CONTRACTOR MAY CHOOSE THE MEANS AND METHODS TO ATTAIN THE FUNCTIONING INTENT FOR THE SPECIFIED AGGREGATE SIZE FOR PERMEABLE PAVEMENT SYSTEMS.
- ALL SIDEWALKS AND WALKING SURFACES HAVE BEEN DESIGNED FOR COMPLIANCE WITH LOCAL, STATE AND FEDERAL ACCESSIBILITY GUIDELINES. THE CONTRACTOR SHALL VERIFY CROSS AND LONGITUDINAL GRADIENTS FOR COMPLIANCE AFTER GRADE STAKES OR FORMS ARE "SET" AND PRIOR TO INSTALLATION OF PAVEMENT SURFACE AS SPECIFIED. THE CONTRACTOR SHALL VERIFY THAT LONGITUDINAL GRADIENTS DO NOT EXCEED 4.99% ON ACCESSIBLE ROUTES WITHOUT LANDINGS OR HANDRAILS OR 8.2% ON ACCESSIBLE ROUTES WITH LANDINGS AND HANDRAILS AND CROSS SLOPES DO NOT EXCEED 1.9% ON ANY ACCESSIBLE ROUTE.
- THESE SITE PLANS DO NOT RECOMMEND OR LOCATE ANY SHORING TECHNIQUES AS THIS IS A MEANS AND METHODS PERFORMANCE BY THE CONTRACTOR. SHOULD THE CONTRACTOR CHOOSE TO UTILIZE SHORING FOR ANY PURPOSE, THE CONTRACTOR WILL BE REQUIRED TO MEET ANY AND ALL REQUIREMENTS FOR SHORING THAT IS REQUIRED BY LOCAL, STATE, OR FEDERAL AGENCIES, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ANY SURFACE OR SUBSURFACE CONFLICTS THAT MAY OCCUR WITH THE LOCATION OR DEPTH OF ANY SHORING METHODS THE CONTRACTOR MAY EMPLOY.
- THE CONTRACTOR SHALL KEEP SITE IMPROVEMENT PLANS AT THE SITE AT ALL TIMES WITH A RECORD OF ANY DESIGN MODIFICATIONS THAT HAVE OCCURRED WITH ANY SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL NOT UTILIZE THE AREAS OUTSIDE OF LIMITS OF WORK FOR CONSTRUCTION STAGING, MATERIAL STORAGE, OR WORKFORCE PARKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RE-ESTABLISHING PRE-CONSTRUCTION CONDITIONS AT THE END OF CONSTRUCTION AND DEMOLITION OF THE SITE.
- THE CONTRACTOR SHALL BE AWARE OF THE ENCROACHMENT PERMIT WITH THE KENTUCKY TRANSPORTATION CABINET AND SHALL BE RESPONSIBLE FOR ALL REQUIREMENTS AND CONDITIONS OF THE PERMIT AT NO COSTS TO THE OWNER. THE KYTC ENCROACHMENT PERMIT WILL BECOME A CONTRACT DOCUMENT AND WILL BE PROVIDED TO THE CONTRACTOR.
- ALL IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY SHALL COMPLY WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). SHOULD THE CONTRACTOR NOT BE FAMILIAR WITH THESE REQUIREMENTS NOR HAVE COPIES OF THE STANDARDS, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LANDSCAPE ARCHITECT/CIVIL ENGINEER TO OBTAIN THE APPLICABLE STANDARDS. LIKEWISE, THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ACCESSIBILITY STANDARDS OF THE KENTUCKY TRANSPORTATION CABINET AND/OR THE PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES, LATEST EDITION. SHOULD THE CONTRACTOR NOT BE FAMILIAR WITH THESE STANDARDS IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND BECOME FAMILIAR WITH THE APPLICABLE STANDARDS.
- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED ACCORDING TO LOCAL, STATE, FEDERAL, KENTUCKY TRANSPORTATION CABINET AND/OR PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINE STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL PAY REQUIRED DEPOSITS OR BONDS AS REQUIRED. CONTRACTOR SHALL SCHEDULE ANY REQUIRED INSPECTIONS OF CONCRETE FORMS OR FINAL INSTALLED MATERIALS WITH LOCAL/STATE INSPECTORS.

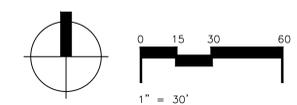
**CODED LAYOUT NOTES**

KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
1A	12" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE (IF BENEATH EXISTING FENCE, REMOVE CHAIN LINK FABRIC AND BOTTOM RAIL - POSTS TO REMAIN IN CENTER OF CURB)		A / C-
1B	6" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE.		A / C-
1C	12" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - EXPOSED FLUSH TO 6" HEIGHT (IF BENEATH EXISTING FENCE, REMOVE CHAIN LINK FABRIC AND BOTTOM RAIL - POSTS TO REMAIN IN CENTER OF CURB)		A / C-
2A	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - (GREEN TURF AND INFILL BY OTHERS)		A / C-
2B	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - (TAN/BROWN TURF AND INFILL BY OTHERS)		A / C-
2C	PITCHER'S MOUND - BY OTHERS		A / C-
3	NAILER BOARD AT EDGE OF ARTIFICIAL/NATURAL TURF		C / C-
4	DRAINAGE STRUCTURE - SEE SHEET C4.0		A-C / C-
5	CONCRETE PAVEMENT		A-C / C-
6	6' HEIGHT FENCE		A-C / C-
7	RETAINING WALL		A-C / C-
8	EXPAND GRAVEL PATH		A-C / C-
9	5" THICK CONCRETE PAVEMENT BENEATH GRANDSTAND MODIFICATIONS, METAL RAMPS AND STAIRS		A-C / C-
10	DOUBLE SWING GATE FOR 12' OPENING		A-C / C-
11	4' HEIGHT FENCE WITH 2' POST EXTENSIONS		A-C / C-
12	SOD ALL DISTURBED AREAS OUTSIDE OF ARTIFICIAL TURF OR PAVEMENTS		A-C / C-
13	7.5' HEIGHT FENCE WITH 2.5' EXTENSION (PART OF GRANDSTAND)		C / C5.1
14	4' WIDE STRIP OF BERMUDA SOD		A-C / C-

**LAYOUT ENLARGEMENT - SEE SHEET C3.3**



**LAYOUT PLAN - BASEBALL FIELD**



NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLW  
PROJECT NUMBER: 20.142  
REVISIONS:

**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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SHEET TITLE:  
**BASEBALL FIELD LAYOUT PLAN**

SHEET NUMBER:  
**C3.0**

**CAMPBELLSVILLE  
INDEPENDENT  
ATHLETICS**

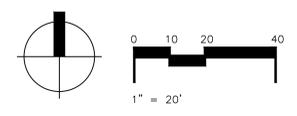
NEW ATHLETIC FIELDS  
230 W Main St. #2  
Campbellsville, KY

Owner:  
Campbellsville Independent Schools  
136 S. Columbia Ave  
Campbellsville, Ky  
270.465.4162

Landscape Architect/Civil Engineer:  
**CARMAN**  
310 Old Vine Street, Suite 200  
Lexington, Kentucky 40507  
859.234.9803

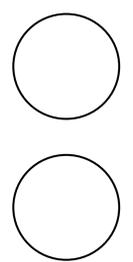


LAYOUT PLAN - SOFTBALL FIELD



**CODED LAYOUT NOTES**

KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
①	SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE BENEATH EXISTING FENCE (REMOVE AND REINSTALL CHAIN LINK FABRIC - POSTS TO REMAIN IN CENTER OF NEW CURB)		A / C-
②A	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - OUTFIELD, TURF AND INFILL BY OTHERS		A / C-
②B	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - INFIELD TURF AND INFILL BY OTHERS		A / C-
③	4" THICK CONCRETE PAVEMENT		A-C / C-



NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLV  
PROJECT NUMBER: 20.142  
REVISIONS:

**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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SHEET TITLE:  
**SOFTBALL FIELD  
LAYOUT PLAN**

SHEET NUMBER:  
**C3.1**

**CAMPBELLVILLE INDEPENDENT ATHLETICS**

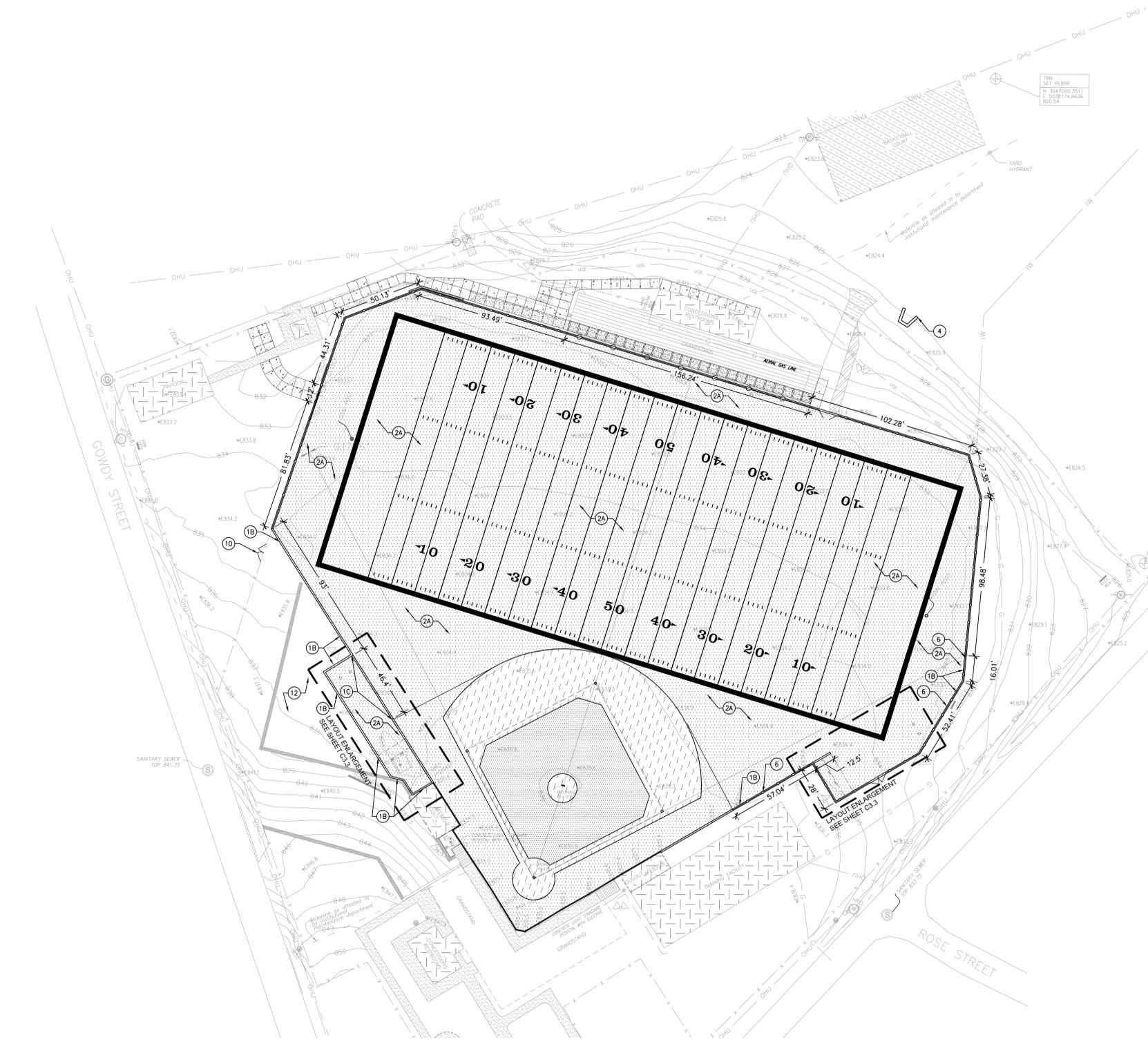
NEW ATHLETIC FIELDS  
230 W Main St. #2  
Campbellsville, KY

Owner:  
Campbellsville Independent Schools  
136 S. Columbia Ave  
Campbellsville, Ky  
270.465.4162

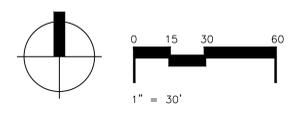
Landscape Architect/Civil Engineer:  
**CARMAN**  
310 Old Vine Street, Suite 200  
Lexington, Kentucky 40507  
859.234.9803

**CODED LAYOUT NOTES**

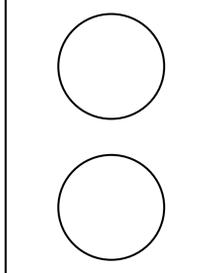
KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
1A	12" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE. (IF BENEATH EXISTING FENCE, REMOVE CHAIN LINK FABRIC AND BOTTOM RAIL - POSTS TO REMAIN IN CENTER OF CURB)		A / C-
1B	6" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE.		
1C	12" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - EXPOSED FLUSH TO 6" HEIGHT. (IF BENEATH EXISTING FENCE, REMOVE CHAIN LINK FABRIC AND BOTTOM RAIL - POSTS TO REMAIN IN CENTER OF CURB)		
2A	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - (GREEN TURF AND INFILL BY OTHERS)		A / C-
2B	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - (TAN/BROWN TURF AND INFILL BY OTHERS)		A / C-
2C	PITCHER'S MOUND - BY OTHERS		
3	NAILER BOARD AT EDGE OF ARTIFICIAL/NATURAL TURF		C / C-
4	DRAINAGE STRUCTURE - SEE SHEET C4.D		A-C / C-
5	CONCRETE PAVEMENT		A-C / C-
6	6' HEIGHT FENCE		A-C / C-
7	RETAINING WALL		A-C / C-
8	EXPAND GRAVEL PATH		
9	5" THICK CONCRETE PAVEMENT BENEATH GRANDSTAND MODIFICATIONS, METAL RAMPS AND STAIRS		
10	DOUBLE SWING GATE FOR 12' OPENING		
11	4' HEIGHT FENCE WITH 2' POST EXTENSIONS		
12	SOD ALL DISTURBED AREAS OUTSIDE OF ARTIFICIAL TURF OR PAVEMENTS		
13	7.5' HEIGHT FENCE WITH 2.5' EXTENSION (PART OF GRANDSTAND)		
14	4' WIDE STRIP OF BERMUDA SOD		



BID ALTERNATE LAYOUT PLAN - BASEBALL AND FOOTBALL



**BID ALTERNATE #1**



NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLV  
PROJECT NUMBER: 20.142  
REVISIONS:

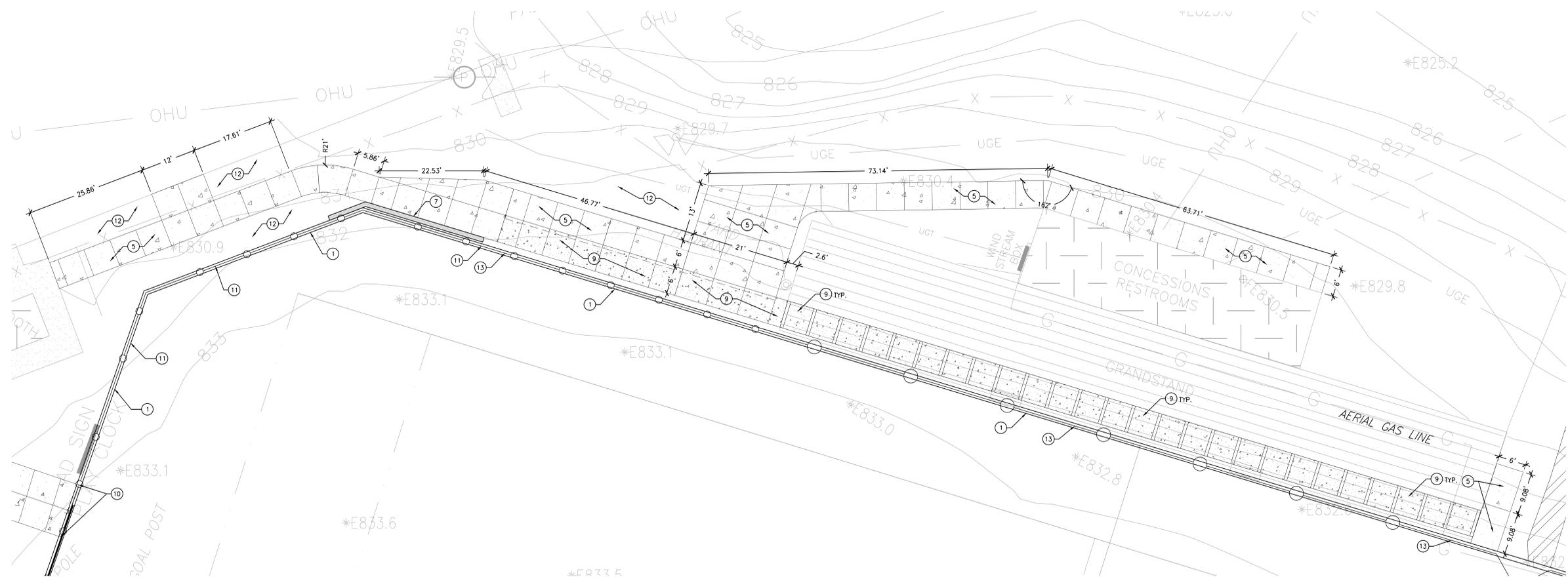
**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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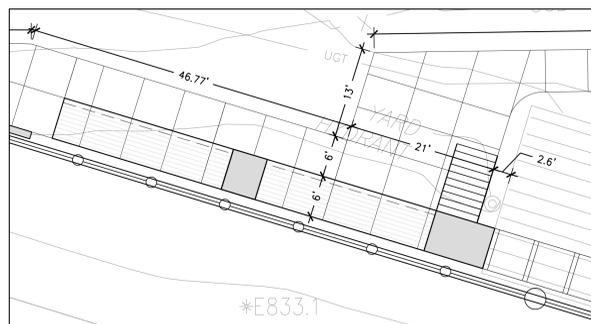
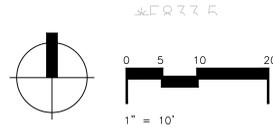
SHEET TITLE:  
BID ALTERNATE  
FOOTBALL FIELD  
LAYOUT PLAN

SHEET NUMBER:

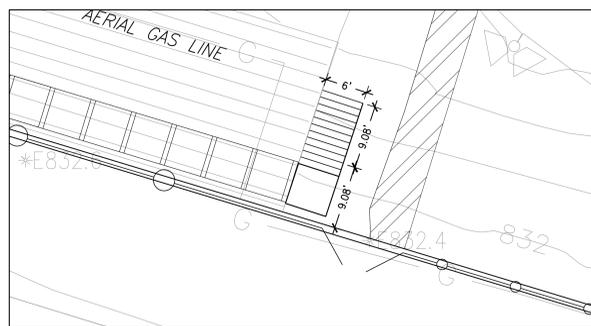
**C3.2**



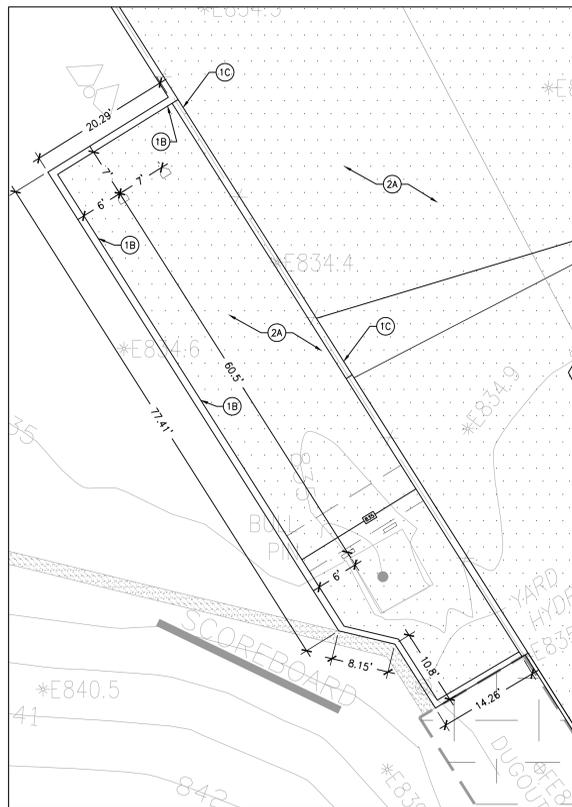
BASE BID  
LAYOUT PLAN ENLARGEMENT - BLEACHERS



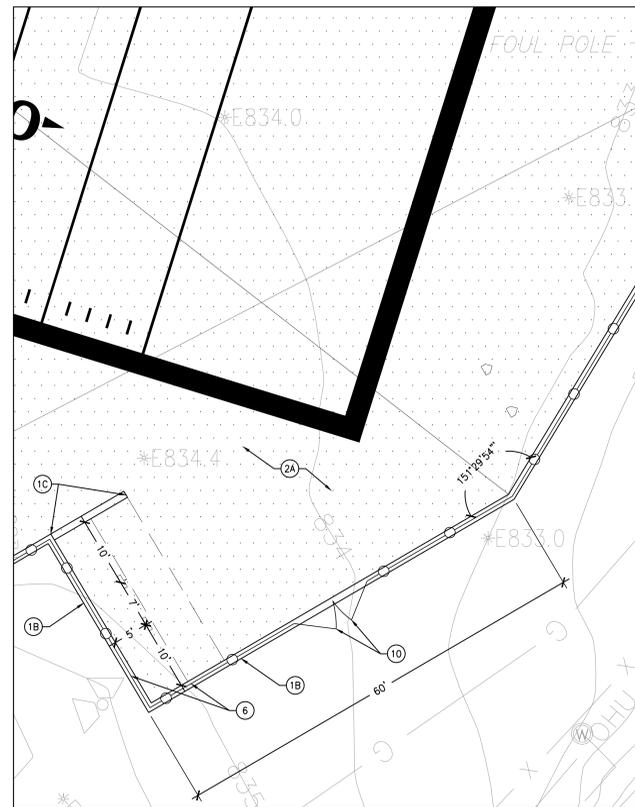
BASE BID  
LAYOUT PLAN ENLARGEMENT - RAMP AND STAIRS



BASE BID  
LAYOUT PLAN ENLARGEMENT - STAIRS



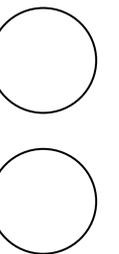
BID ALTERNATE #1  
LAYOUT PLAN ENLARGEMENT - VISITOR BULLPEN



BID ALTERNATE #1  
LAYOUT PLAN ENLARGEMENT - HOME BULLPEN

**CODED LAYOUT NOTES**

KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
1A	12" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE. (IF BENEATH EXISTING FENCE REMOVE CHAIN LINK FABRIC AND BOTTOM RAIL - POSTS TO REMAIN IN CENTER OF CURB)		A / C-
1B	6" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - FLUSH W/ GRADE.		
1C	12" WIDE SYNTHETIC TURF PERIMETER CONCRETE RIBBON CURB - EXPOSED FLUSH TO 6" HEIGHT. (IF BENEATH EXISTING FENCE REMOVE CHAIN LINK FABRIC AND BOTTOM RAIL - POSTS TO REMAIN IN CENTER OF CURB)		
2A	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - (GREEN TURF AND INFILL BY OTHERS)		A / C-
2B	STONE BASE OVER FILTER FABRIC FOR SYNTHETIC TURF - (TAN/BROWN TURF AND INFILL BY OTHERS)		A / C-
2C	PITCHER'S MOUND - BY OTHERS		
3	NAILER BOARD AT EDGE OF ARTIFICIAL/NATURAL TURF		C / C-
4	DRAINAGE STRUCTURE - SEE SHEET C4.0		A-C / C-
5	CONCRETE PAVEMENT		A-C / C-
6	6' HEIGHT FENCE		A-C / C-
7	RETAINING WALL		A-C / C-
8	EXPAND GRAVEL PATH		
9	5" THICK CONCRETE PAVEMENT BENEATH GRANDSTAND MODIFICATIONS, METAL RAMPS AND STAIRS		
10	DOUBLE SWING GATE FOR 12' OPENING		
11	4' HEIGHT FENCE WITH 2' POST EXTENSIONS		
13	7.5' HEIGHT FENCE WITH 2.5' EXTENSION (PART OF GRANDSTAND)		C / C5.1
14	4' WIDE STRIP OF BERMUDA SOD		



NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KIW  
PROJECT NUMBER: 20.142  
REVISIONS:

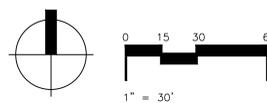
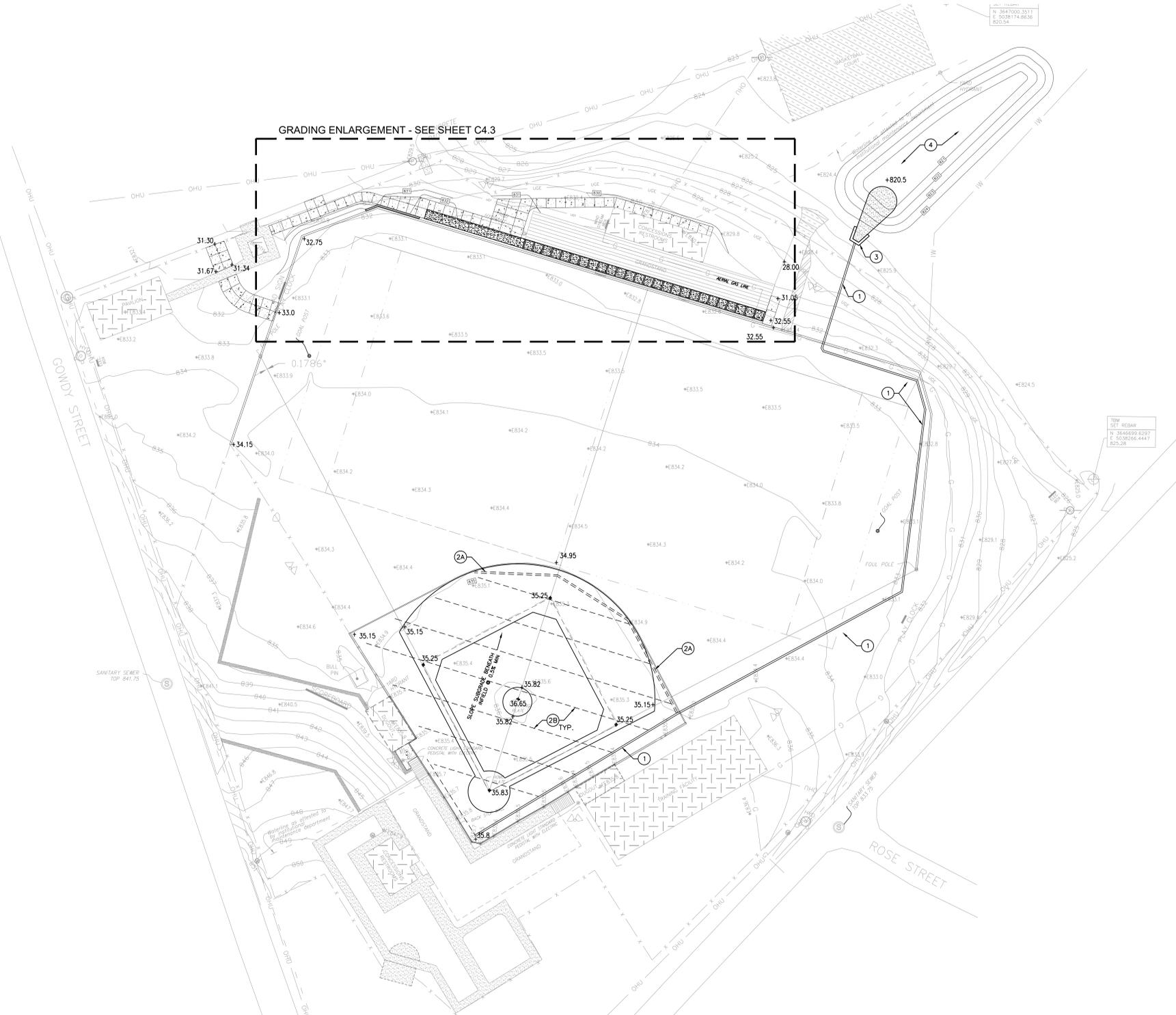
**GRADING AND DRAINAGE NOTES**

- ALL SPOT ELEVATIONS INDICATE FINISH GRADE OF SURFACE. ADJUSTMENTS MUST BE MADE TO ESTABLISH GRADES OF SUB-BASE OR SUBGRADE. SPOT ELEVATIONS ARE INCLUSIVE OF ANY LANDSCAPE MULCH REQUIRED.
- PRIOR TO CONSTRUCTION OR DEMOLITION, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING UTILITIES. SO THAT NEW CONSTRUCTION WILL NOT DAMAGE OR INTERFERE WITH EXISTING UTILITY LINES. SHOULD DAMAGE OCCUR, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR AND/OR REPLACE SAID DAMAGE AT THE CONTRACTOR'S EXPENSE. FINISHED REPAIRS OR REPLACEMENT SHALL MEET THE APPROVAL OF THE OWNER.
- ALL EXCESS EXCAVATED MATERIAL, OTHER THAN TOPSOIL, IS TO BE REMOVED FROM THE SITE AT CONTRACTOR'S COST.
- UNLESS OTHERWISE NOTED, ALL TREES AND VEGETATION SHALL BE PROTECTED DURING CONSTRUCTION. ALL VEGETATION, ROOTS, TREES, ETC. TO BE REMOVED SHALL BE REMOVED TO A MINIMUM DEPTH OF THREE FEET BELOW FINISHED GRADE. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE FOLIAGE, BRANCHES OR ROOTS OF EXISTING TREES TO REMAIN. BURNING IS NOT ALLOWED ON SITE UNLESS APPROVED BY OWNER AND LOCAL FIRE DEPARTMENT.
- BEFORE STARTING SITE EXCAVATION, CONTRACTOR SHALL STRIP ALL TOPSOIL FROM PORTIONS OF THE SITE TO BE DEVELOPED AND STORE IN A LOCATION THAT WILL NOT INTERFERE WITH SITE DEVELOPMENT OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REDISTRIBUTING TOPSOIL IN ALL FINISHED GRADE AREAS, BACK-FILLING CURBS, SIDEWALKS, ETC. TOPSOIL SHALL NOT BE DISTRIBUTED WHEN WET OR OVERLY COMPACTED.
- CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT/CIVIL ENGINEER WITH COMPACTION TESTING FROM AN INDEPENDENT TESTING AGENCY. COMPACTED FILLS GREATER THAN 12" INSIDE THE BUILDING FOOTPRINT SHALL BE TESTED BY THE SPECIAL INSPECTOR. ALL OTHER COMPACTED FILLS SHALL BE TESTED BY AN INDEPENDENT TESTING AGENCY AND PAID FOR BY THE CONTRACTOR.
- SHOULD CONTRACTOR ENCOUNTER ROCK EXCAVATION, THE ROCK SHALL BE REMOVED TO A MINIMUM DEPTH OF SIX INCHES BELOW BOTTOM OF UTILITIES OR SUBGRADE OF ROAD BEDS AND FIFTEEN INCHES BELOW TURF AREAS UNLESS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS INCLUDING THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL TAKE PRECAUTIONS NOT TO PLACE EXCAVATED MATERIALS IN A FLOOD PLAIN, JURISDICTIONAL SPECIAL USE WATERS OR DESIGNATED/CONSTRUCTED WETLANDS.
- ELEVATIONS AND CONTOURS ON THIS PLAN ARE REFERENCED TO MEAN SEA LEVEL DATUM AND BENCHMARKS REFERENCED ON THE PLAN.
- IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY IF ROCK EXCAVATION FOR MASS GRADING OR TRENCHING IS REQUIRED. ALL EXCAVATION IS UNCLASSIFIED. THERE WILL BE NO PAYMENT FOR ROCK EXCAVATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXCAVATION QUANTITIES.
- IT IS THE DESIGN INTENT FOR ALL WATER TO BE DIRECTED AWAY FROM THE PROPOSED AND EXISTING BUILDINGS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND/OR PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES INCLUDING MAXIMUM 2% CROSS SLOPE FOR ACCESSIBLE PEDESTRIAN ROUTES AND 2% SLOPES IN ANY DIRECTION FOR LANDINGS AT STAIRS AND RAMPS. THE CONTRACTOR SHALL VERIFY THESE COMPLIANT SLOPES IMMEDIATELY AFTER FORMING OF OR SETTING OF GRADE STAKES AND IF SPECIFIED GRADES ARE NOT COMPLIANT, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT/CIVIL ENGINEER IMMEDIATELY FOR A RESOLUTION.
- STEPS IN EACH RUN SHALL BE CONSISTENT IN HEIGHT. SLOPE TREADS TO DRAIN WITH 2% MAX SLOPE IN ANY DIRECTION.
- REFER TO THE SITE SURVEY FOR EXISTING SPOT ELEVATIONS.
- ROOF LEADER CONNECTIONS TO MAIN LINE SHALL BE 6" DIAMETER PIPE WITH 12" MINIMUM COVER UNLESS OTHERWISE NOTED. ROOF LEADERS SHALL HAVE A MINIMUM OF 1% POSITIVE GRADIENT TO THE POINT OF CONNECTION OR DISCHARGE.
- BORROWED FILL MATERIALS ARE TO BE APPROVED BY THE OWNER, LANDSCAPE ARCHITECT, CIVIL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER PRIOR TO TRANSPORT OR USE ON THIS SITE.
- EXISTING STORM SEWER RIMS AND INVERTS ARE TAKEN FROM THE SITE SURVEY AND SHOULD BE CROSS-REFERENCED WITH THE SITE SURVEY. REFER TO SITE SURVEY FOR ALL EXISTING ON-SITE STORM SEWER INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR DESIGN OF SHORING AND UNDERPINNING OF UTILITIES OR STRUCTURES AT LOCATIONS INDICATED. CONTRACTOR SHALL PROVIDE SUBMITTAL DRAWINGS PREPARED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE COMMONWEALTH OF KENTUCKY AS REQUIRED BY THE OCCUPATIONAL SAFETY HEALTH ADMINISTRATION. THE NEED FOR, MEANS AND METHODS FOR SHORING ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVED AREAS INCLUDING SIDEWALKS, PARKING AREAS, SERVICE AREAS, ETC. ARE SPECIFIED WITH MATERIALS FOR THE INTENDED FINAL USE OF EACH AREA. THE AREAS ARE NOT SPECIFIED TO BE USED FOR TEMPORARY CONSTRUCTION TRAFFIC. SHOULD THE CONTRACTOR INSTALL OR CONSTRUCT THE PAVED AREA AS SPECIFIED AND THEN UTILIZE FOR TEMPORARY CONSTRUCTION ACTIVITY, THE CONTRACTOR AT NO COST TO THE OWNER SHALL REPAIR AND/OR RECONSTRUCT THE AREAS WITH REGARDS TO MEETING MATERIAL SPECIFICATIONS. SUBSEQUENT STABILIZATION AND GRADING PRIOR TO CONSTRUCTION OF FINAL PAVEMENT SURFACES.
- THE CONTRACTOR SHALL NOTE THAT TEMPORARY CONSTRUCTION ACTIVITY MAY DE-STABILIZE SUBGRADES FOR BUILDING OR PAVED AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS COST FOR THE TEMPORARY USE OF AREAS FOR CONSTRUCTION ACTIVITY AND SHALL ALSO BE RESPONSIBLE FOR DE-STABILIZING AREAS SHOULD TEMPORARY CONSTRUCTION ACTIVITY CONTRIBUTE TO THE NEED TO STABILIZE BUILDING OR PAVEMENT AREAS.
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED ACCORDING TO LOCAL, STATE, FEDERAL, KENTUCKY TRANSPORTATION CABINET AND/OR PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINE STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL PAY ALL REQUIRED DEPOSITS TO POST BONDS AS REQUIRED. CONTRACTOR SHALL SCHEDULE ANY REQUIRED INSPECTIONS OF CONCRETE FORMS OR FINAL INSTALLED MATERIALS WITH LOCAL/STATE INSPECTOR.
- ELEVATIONS OF ALL RIMS, STRUCTURE COVERS, ACCESS DOORS AND TOPS OF ALL UTILITY VAULTS, MANHOLES, VENTS, VALVE BOXES, ETC. SHALL BE ADJUSTED TO MEET PROPOSED SURROUNDING GRADES.
- BEFORE STARTING SITE EXCAVATION, CONTRACTOR SHALL BE FAMILIAR WITH THE REPORT OF GEOTECHNICAL EXPLORATION AND COMPLY WITH RECOMMENDATION PROVIDED FOR SUBGRADE CONDITIONS.
- TOPSOIL SHALL BE SIX (6) INCHES DEEP IN ALL TURF AREAS AND TWELVE (12) INCHES DEEP IN ALL LANDSCAPE BED AREAS AFTER PLACEMENT AND REASONABLE SETTLEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISH GRADING OF TOPSOIL AND SHALL ENSURE THAT FINISH GRADING DOES NOT CONTAIN DEPRESSIONS OR HIGH AREAS THAT ARE NOT CONSISTENT WITH PROPOSED SURFACE GRADES. THE CONTRACTOR SHALL RECEIVE APPROVAL OF FINISH SURFACE GRADING FROM THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO INSTALLATION OF TURF OR LANDSCAPE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MITIGATING ANY IRREGULARITIES PRIOR TO PLACEMENT OF TURF OR LANDSCAPE MATERIALS.
- CONTRACTOR SHALL NOT CREATE ANY SITE GRADING THAT WILL PREVENT THE NORMAL DRAINAGE OF WATER OF DAM WATER ON ANY ADJACENT PROPERTIES. SHOULD OFFSITE TOPOGRAPHY OR CONTOUR SHORTCUTS ON GRADING PLAN NOT DEPICT ACCURATE CONDITIONS THAT CREATE DRAINAGE PROBLEMS, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE OWNER, LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER, PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERCUT OF UNUSABLE, UNSTABLE OR OTHERWISE UNACCEPTABLE MATERIALS THAT ARE INDICATED ON THIS PLAN, ASSOCIATED SPECIFICATIONS AND/OR REFERENCED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL PAY FOR ALL UNDERCUT EXCAVATION AND DISPOSITION OF MATERIALS IN AN ACCEPTABLE MANNER THAT MAY INCLUDE HAULING OFFSITE, DISTRIBUTING ON THE SITE IN AREAS THAT ARE NOT DESIGNATED FOR STRUCTURAL FILL FOR BUILDINGS OR PAVEMENTS. ANY DISTRIBUTION OF MATERIALS ON-SITE SHALL BE PLACED TO CREATE POSITIVE DRAINAGE AND WASTED MATERIALS SHALL BE SEEDED AND MULCHED, AT A MINIMUM, UNLESS OTHERWISE SPECIFIED.
- ANY UNDERGROUND DETENTION FACILITIES SHALL BE OBSERVED BY LANDSCAPE ARCHITECT/CIVIL ENGINEER UPON COMPLETION OF EXCAVATION TO OBTAIN REQUIRED VOLUME AND THE CONTRACTOR SHALL PROVIDE VOLUME COMPUTATIONS TO VERIFY COMPLIANCE; VERIFICATION OF STRUCTURE PLACEMENT; VERIFICATION OF AGGREGATE BACKFILL REQUIREMENTS AND ANY LINING INSTALLATION PRIOR TO BACKFILL OF THE SUBSURFACE DETENTION FACILITY.
- REFER TO ARCHITECTURAL PLANS FOR ALL DOWNSPOUT SIZES, LOCATION, AND QUANTITIES. COORDINATE THIS PLAN WITH ARCHITECTURAL TO ENSURE ALL TIE-IN LOCATIONS ARE COORDINATED.
- CONTRACTOR SHALL ENSURE ALL PROPOSED IMPROVEMENTS MEET AND MATCH EXISTING AND/OR ADJACENT CONDITIONS. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER UPON ANY DISCREPANCY WHICH WILL DETER ADHERENCE TO THIS CONDITION.
- ALL STORM PIPING CONNECTING TO DOWNSPOUT BOOTS SHALL BE 6" UNLESS OTHERWISE NOTED.
- ALL STORM SEWER INFRASTRUCTURE NEEDS TO BE FLUSHED FREE OF SEDIMENT AND INSPECTED BY ENGINEER AT COMPLETION OF PROJECT.
- SPOT ELEVATIONS LABELED WITH "EX" ARE EXISTING SPOTS THAT HAVE BEEN INTERPOLATED FROM THE SITE SURVEY AND NEED TO BE VERIFIED IN THE FIELD. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO FIELD VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING STORM STRUCTURES PRIOR TO BEGINNING CONSTRUCTION TO INSURE ADEQUATE DEPTH.
- CONTRACTOR TO LOCATE STOCKPILING OF SOILS WITHIN THE LIMITS OF WORK. ONCE A LOCATION IS SELECTED, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED TO VALIDATE THE LOCATION IS APPROPRIATE.
- ALL DISTURBED GRADE AREAS TO BE SODDED OR SEEDED AT COMPLETION OF PROJECT. REFER TO LANDSCAPE PLAN FOR LIMITS OF SOD.
- IF ANY EXISTING ASBESTOS COATED SEWER LINE IS UNEARTHED, IT WILL REQUIRE ABATEMENT IN ACCORDANCE WITH CURRENT EPA GUIDELINES.
- PROVIDE A MINIMUM OF 12" CRUSHED STONE BACKFILL OVER STORM PIPING. STORM PIPING UNDER PAVED SURFACES TO BE BACKFILLED FULL DEPTH WITH CRUSHED STONE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DETERIORATION OF EXCAVATION AREAS FOR FOUNDATIONS AND/OR BASEMENTS AND SHALL NOT ALLOW PONDING OF WATER THAT WILL DESTABILIZE THE SOIL BEARING FOR FOUNDATIONS, SLABS, STRUCTURES, ETC.
- IN AREAS OF ASPHALT OVERLAYS THAT ARE REQUIRED FOR PAVED AREAS, THE FINISH GRADE ELEVATION REFERENCED BY SPOT ELEVATIONS SHALL PREVAIL OVER THE TYPICAL OVERLAYMENT DEPTH THAT MAY BE SHOWN ON THE TYPICAL DETAIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE DEPTH OF ASPHALT OVERLAYMENT BETWEEN EXISTING PAVEMENT GRADE AND SPECIFIED FINISH PAVEMENT ELEVATION.
- CONTRACTOR SHALL UTILIZED DIGITAL FILES TO ESTABLISH COORDINATES FOR LOCATING DRAINAGE STRUCTURES. DIGITAL FILES CAN BE OBTAINED FROM CARMAN. SHOULD THE CONTRACTOR NEED A LISTING OF STRUCTURE COORDINATES, THESE MAY BE REQUESTED FROM THE OFFICE OF CARMAN.
- THE CONTRACTOR SHALL NOTE THAT TERMITE PROTECTION AND TREATMENT IS REQUIRED BY THE ARCHITECTURAL SPECIFICATIONS AND THIS TREATMENT SHALL BE APPLIED BEFORE SLAB SYSTEM IS INSTALLED.
- THE CONTRACTOR SHALL SUBMIT SITE SPECIFIC SHOP DRAWINGS, SAMPLES, ETC FOR ANY MANUFACTURED OR PRE-CAST EQUIPMENT OR STRUCTURES ASSOCIATED WITH STORM DRAINAGE OR STORMWATER MANAGEMENT IMPROVEMENTS.
- ANY SLEEPS REMAINING IN STORM STRUCTURES (PVC OR CONCRETE) BELOW THE INVERT ELEVATION OF THE OUTLET PIPE SHALL BE FILLED WITH CONCRETE TO ELIMINATE ANY STANDING WATER WITHIN THE STRUCTURES.

**CODED GRADING AND DRAINAGE NOTES**

KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
1	TRUNK LINE DRAIN PIPE - INSTALL WITH MINIMUM 1% SLOPE		A / C-
2A	PERFORATED TRUNK LINE - INSTALL WITH MINIMUM 1% SLOPE		A / C-
2B	PERFORATED PIPE LATERAL		A / C-
3	PRECAST CONCRETE HEADWALL		C / C-
4	DETENTION BASIN		

**GRADING AND DRAINAGE PLAN - BASEBALL AND FOOTBALL**



NOT FOR CONSTRUCTION  
CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLW  
PROJECT NUMBER: 20.142  
REVISIONS:

**CARMAN**  
LANDSCAPE ARCHITECTURE  
URBAN PLANNING  
CIVIL ENGINEERING

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SHEET TITLE:  
**BASEBALL FIELD  
GRADING AND  
DRAINAGE PLAN**

SHEET NUMBER:

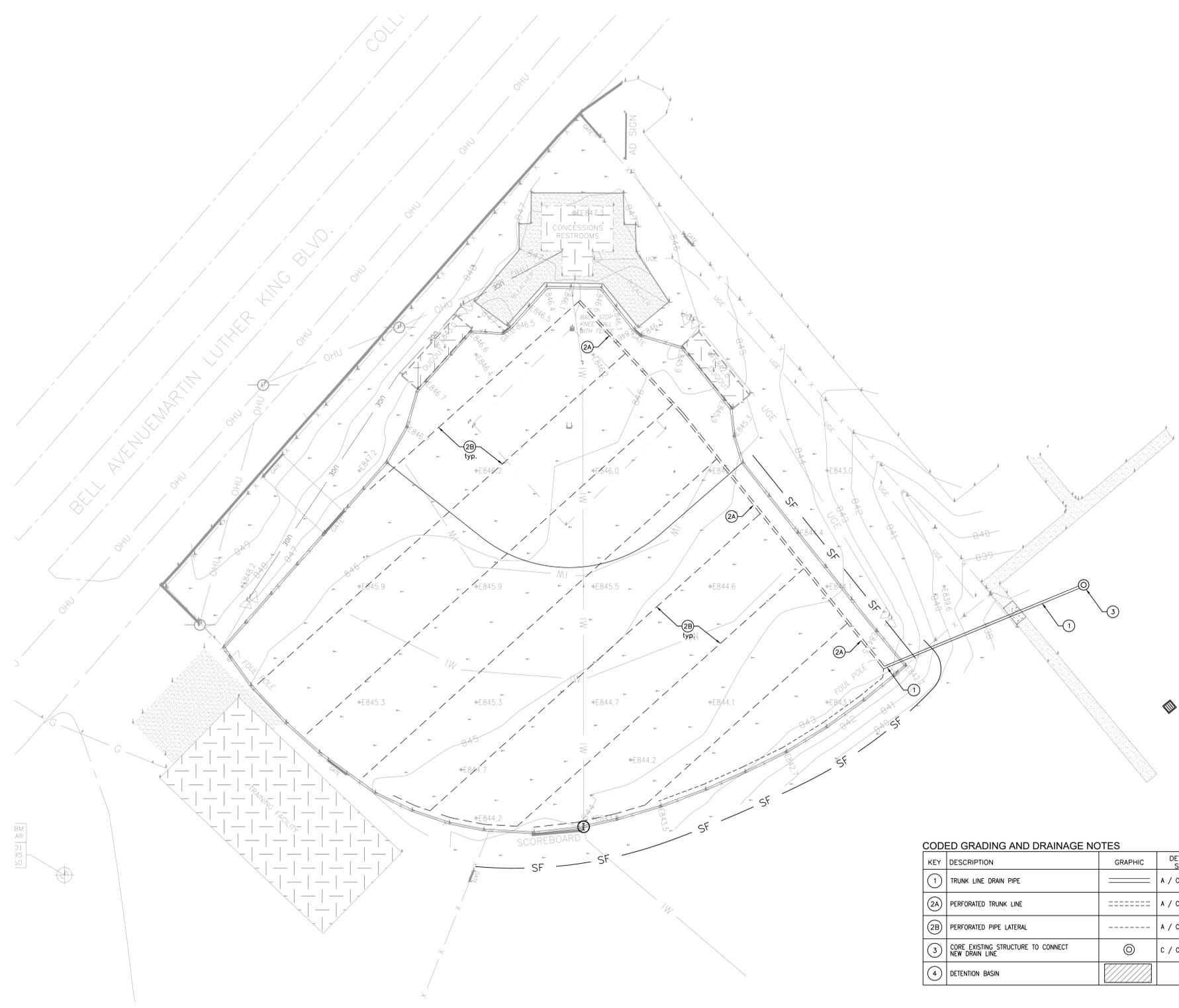
**C4.0**

**CAMPBELLVILLE INDEPENDENT ATHLETICS**

NEW ATHLETIC FIELDS  
230 W Main St. #2  
Campbellsville, KY

Owner:  
Campbellsville Independent Schools  
136 S. Columbia Ave  
Campbellsville, Ky  
270.465.4162

Landscape Architect/Civil Engineer:  
**CARMAN**  
310 Old Vine Street, Suite 200  
Lexington, Kentucky 40507  
859.234.9803



**GRADING AND DRAINAGE PLAN - SOFTBALL FIELD**

**CODED GRADING AND DRAINAGE NOTES**

KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
1	TRUNK LINE DRAIN PIPE		A / C-
2A	PERFORATED TRUNK LINE		A / C-
2B	PERFORATED PIPE LATERAL		A / C-
3	CORE EXISTING STRUCTURE TO CONNECT NEW DRAIN LINE		C / C-
4	DETENTION BASIN		

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CONSTRUCTION DOCUMENTS

DRAWN BY: MRH  
APPROVED BY: KLV  
PROJECT NUMBER: 20.142  
REVISIONS:

**CARMAN**  
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SHEET TITLE:  
**SOFTBALL FIELD GRADING AND DRAINAGE PLAN**

SHEET NUMBER:  
**C4.1**

**CAMPBELLSVILLE  
INDEPENDENT  
ATHLETICS**

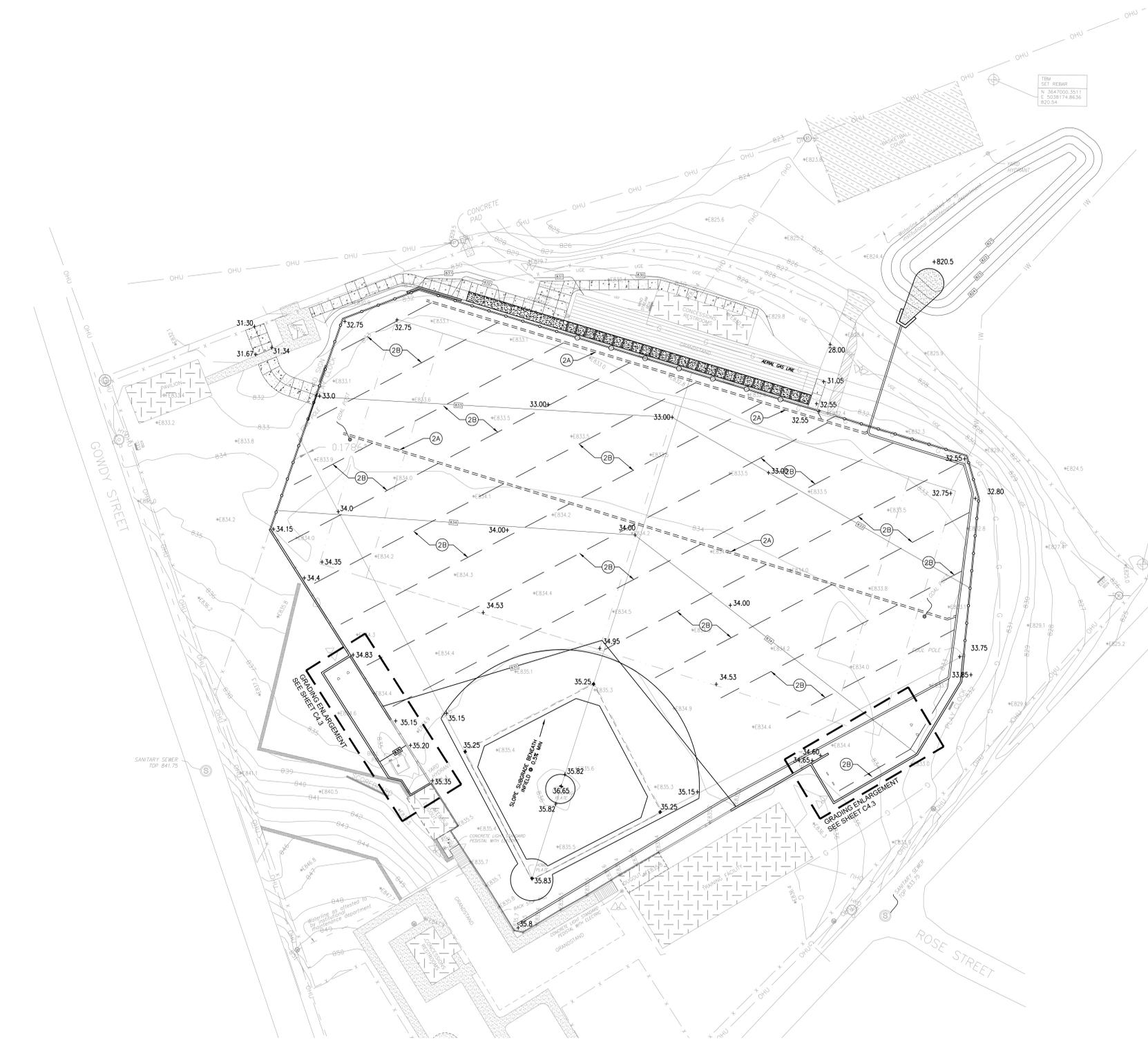
NEW ATHLETIC FIELDS  
230 W Main St. #2  
Campbellsville, KY

Owner:  
Campbellsville Independent Schools  
116 S. Columbia Ave  
Campbellsville, Ky  
270.465.4162

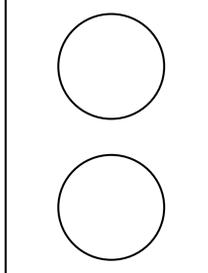
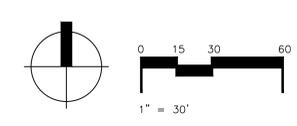
Landscape Architect/Civil Engineer:  
**CARMAN**  
310 Old Vine Street, Suite 200  
Lexington, Kentucky 40507  
859.254.9803

**CODED GRADING AND DRAINAGE NOTES**

KEY	DESCRIPTION	GRAPHIC	DETAIL / SHEET
1	TRUNK LINE DRAIN PIPE		A / C-
2A	PERFORATED TRUNK LINE		A / C-
2B	PERFORATED PIPE LATERAL		A / C-
3	PRECAST CONCRETE HEADWALL		C / C-
4	DETENTION BASIN		



**BID ALTERNATE GRADING AND DRAINAGE PLAN - BASEBALL AND FOOTBALL**



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APPROVED BY: KLV  
PROJECT NUMBER: 20.142  
REVISIONS:

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SHEET TITLE:  
**BID ALTERNATE  
FOOTBALL FIELD  
GRADING AND  
DRAINAGE PLAN**  
SHEET NUMBER:

**BID ALTERNATE #1**

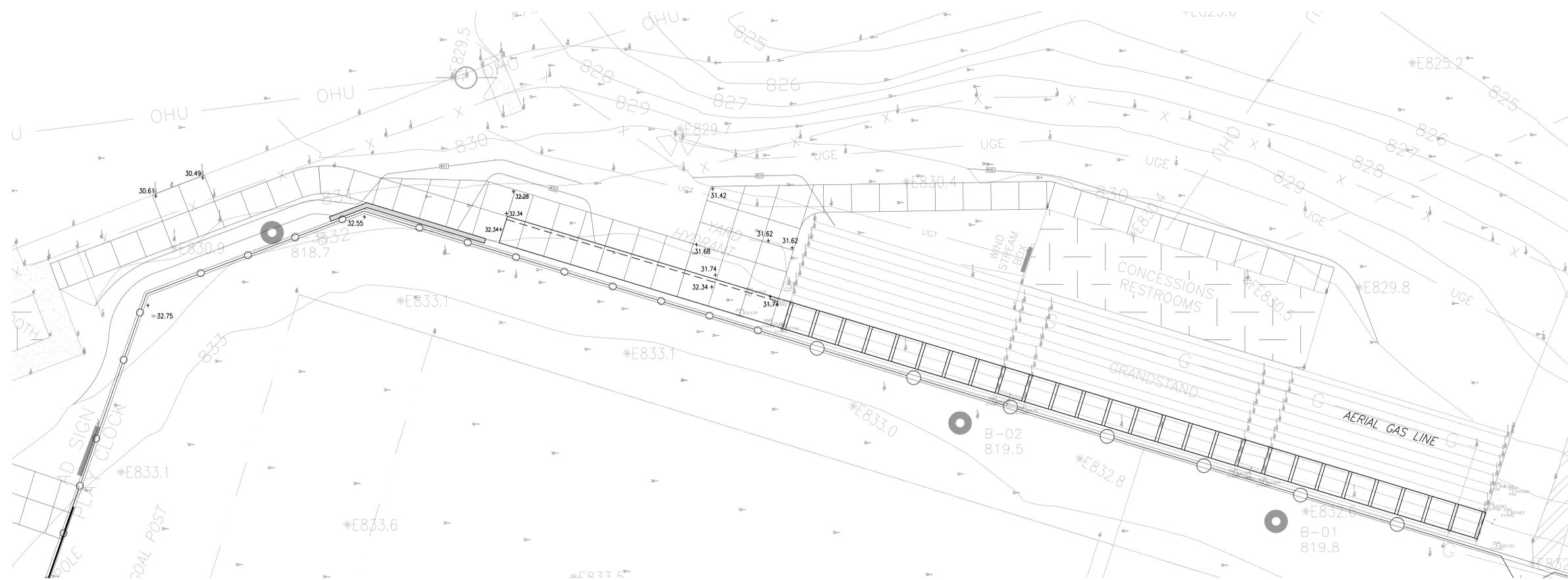
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INDEPENDENT  
ATHLETICS**

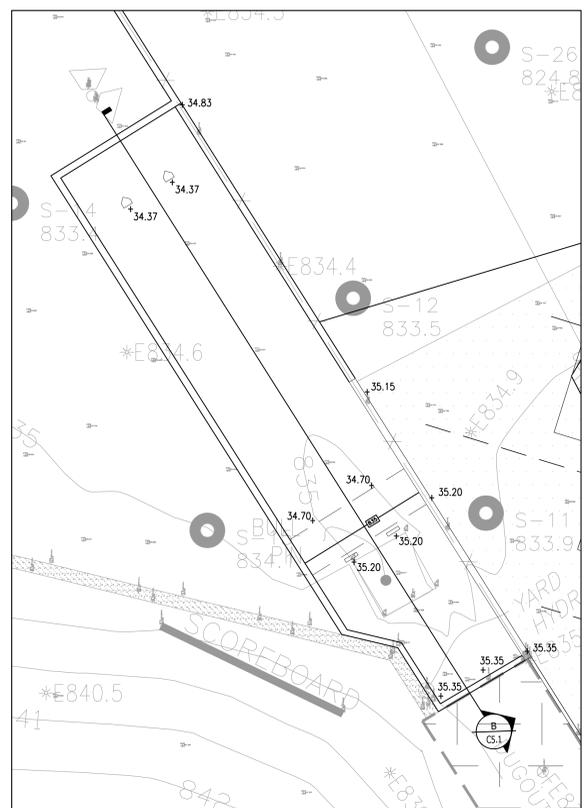
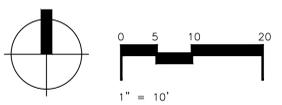
NEW ATHLETIC FIELDS  
230 W Main St. #2  
Campbellsville, KY

Owner:  
Campbellsville Independent Schools  
135 S. Columbia Ave  
Campbellsville, Ky  
270.465.4162

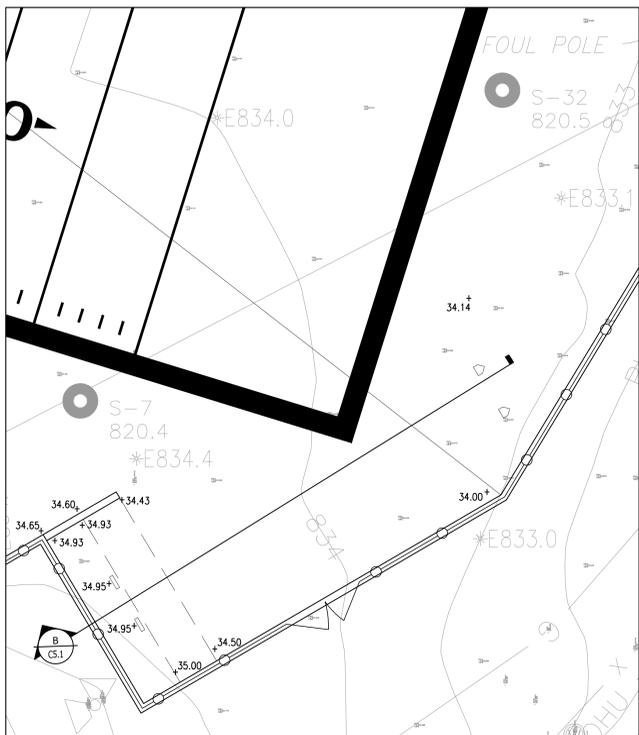
Landscape Architect/Civil Engineer:  
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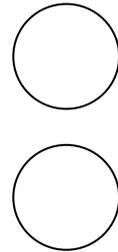
**BASE BID  
LAYOUT PLAN ENLARGEMENT - BLEACHERS**



**BID ALTERNATE #1  
GRADING PLAN ENLARGEMENT - THIRD BASE BULLPEN**



**BID ALTERNATE #1  
GRADING PLAN ENLARGEMENT - FIRST BASE BULLPEN**



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APPROVED BY: KLW  
PROJECT NUMBER: 20.142  
REVISIONS:

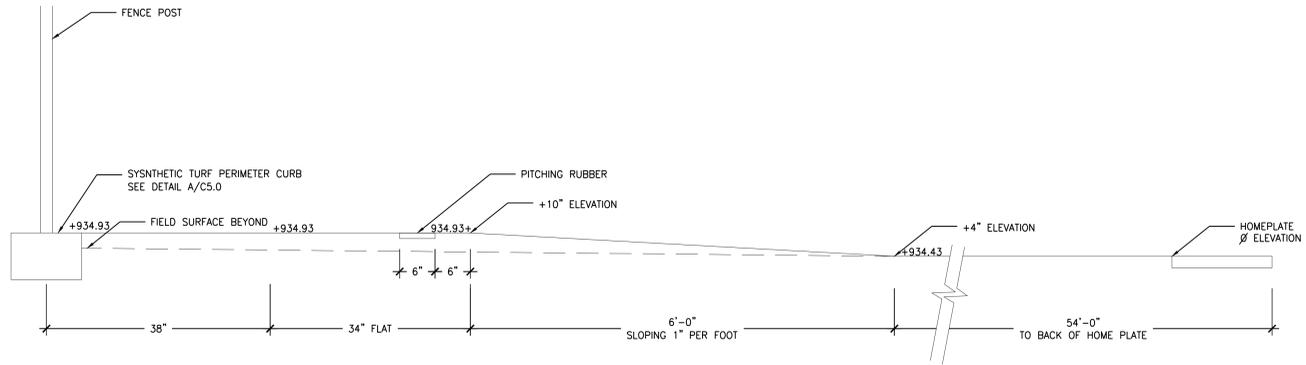
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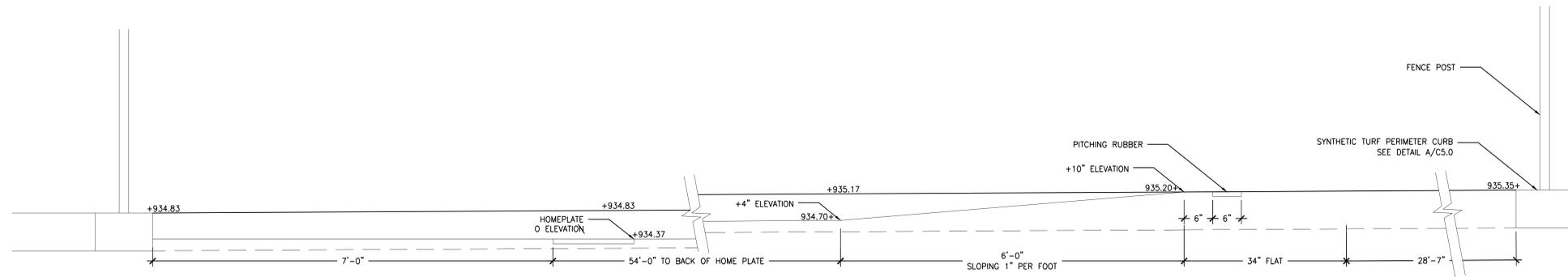
SHEET TITLE:  
**BASEBALL FIELD  
GRADING PLAN  
ENLARGEMENTS**

SHEET NUMBER:  
**C4.3**

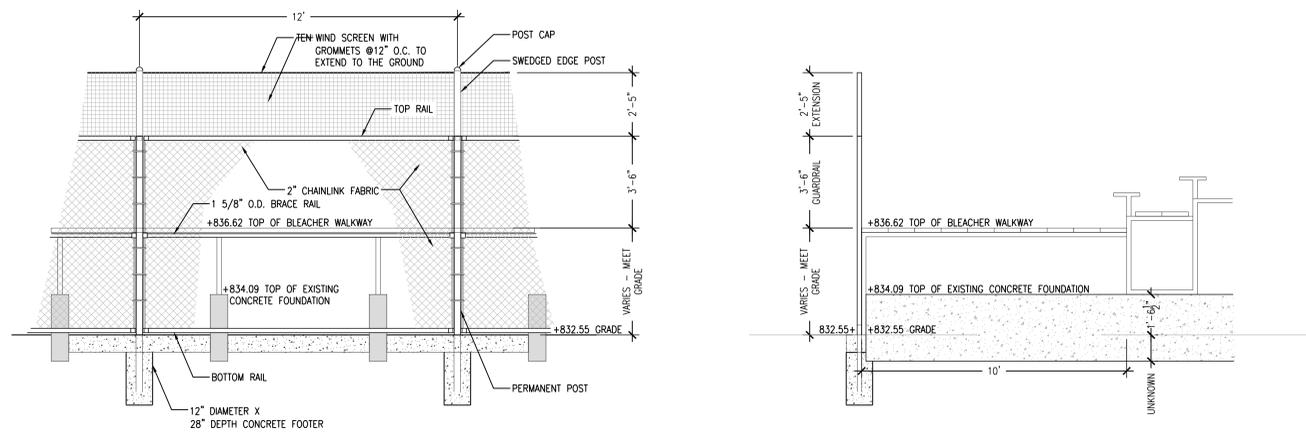




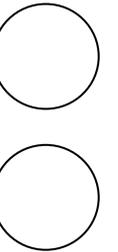
**A** FIRST BASE SIDE BULLPEN  
SCALE: 1" = 1'-0"



**B** THIRD BASE SIDE BULLPEN  
SCALE: 1" = 1'-0"



**C** GRANDSTAND FENCE  
SCALE: 3/8" = 1'-0"



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DRAWN BY: MRH  
APPROVED BY: KIW  
PROJECT NUMBER: 20-142  
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SHEET TITLE:  
**DETAILS**

SHEET NUMBER:

**C5.1**