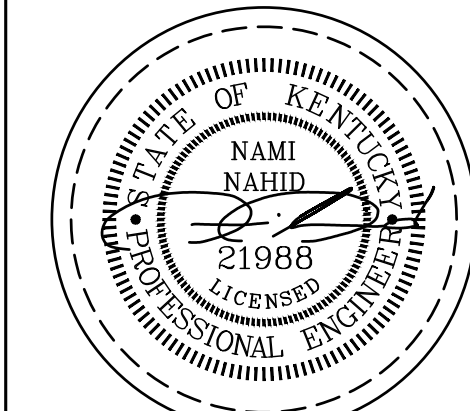


1 OVERALL FIRST FLOOR - WATER BOTTLE FILLING STATION PLAN - KDE REFERENCE ONLY

SCALE: 1/16"=1'-0"

0 6' 12' 30'



DESIGN PROFESSIONAL



PLAN REVIEWER

IF NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
ENSURE THAT ALL PERMITS AND APPROVALS ARE
OBTAINED PRIOR TO COMMENCING WORK.

BY ACE

DATE 02/18/2021

SET CONSTRUCTION DOCUMENTS



REVISION DESCRIPTION

Δ DDDMMYYYY REVISION DESCRIPTION



NORTH TODD COUNTY
ELEMENTARY
RENOVATION 2020

7300 GREENVILLE RD
ELKTON, KENTUCKY 42220
CONTRACT 20200821

DO NOT REMOVE ANY ELEMENT OF THESE DOCUMENTS
FROM THE DRAWING BORDER.

COPYING THESE DOCUMENTS FOR DISTRIBUTION TO
BUILDING OFFICIALS AND CONTRACTORS WITH THE
INTENT OF CONSTRUCTING NAMED PROJECT IS
PERMITTED, PROVIDED THAT EACH PARTY IS ISSUED A
FULL SET OF DOCUMENTS. THIS ARCHITECT IS NOT
RESPONSIBLE FOR WORK THAT DOES NOT ADHERE TO
THE DESIGN INTENT ESTABLISHED BY THE COMPLETE
SET OF CONSTRUCTION DOCUMENTS.

THIS WORK IS PROTECTED UNDER THE UNITED STATES
ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT
OF 1990. ALL ORIGINAL WORK HEREIN REMAINS THE
SOLE PROPERTY OF DECO ARCHITECTS UNLESS
EXPRESSLY TRANSFERRED THROUGH WRITTEN
CONTRACT.

WATER BOTTLE FILLING
STATION PLAN

G2.00

PLUMBING



ELKAY ElKay EZH2O Bottle Filling Station & Versatile Bi-Level ADA Cooler
SPECIFICATIONS Filtered 8 GPH Light Gray
Model LZSTL8WSLK

PRODUCT SPECIFICATIONS
ElKay ezH2O Bottle Filling Station & Versatile Bi-Level ADA Cooler,
Filtered 8 GPH Light Gray. Chilling Capacity of 8.0 GPH (gallons per
hour) of 50° F drinking water, based on 80° F inlet water and 80° F
ambient, per ASHRAE 18 testing. Features shall include Hands Free,
Visual Filter Monitor, Filtered, Green Ticker™, Laminar Flow,
Antimicrobial, Real Drain. Furnished with Flexi-Guard® Safety Bubbler.
Electronic Bottle Filler Sensor With Electronic Front And Side Bubbler
Pushbar activation. Product shall be Wall Mount (On Wall), for indoor
applications, serving 2 station(s). Unit shall be certified to UL 399 and
CAN/CSA C22.2 No. 120. Unit shall be lead-free design which is
certified to NSF/ANSI 61 & 372 (lead free) and meets Federal and State
low-lead requirements.

Special Features: Hands Free, Visual Filter Monitor,
Filtered, Green Ticker™, Laminar
Flow, Antimicrobial, Real Drain
Finish: Light Gray Granite
Power: 115V/60Hz
Bubbler Style: Flexi-Guard® Safety Bubbler
Activation by: Electronic Bottle Filler Sensor With
Electronic Front And Side Bubbler
Pushbar
Mounting Type: Wall Mount (On Wall)
Chilling Option*: 8.0 GPH
Full Load Amps: 8
Rated Watts: 370
Dimensions (L x W x H): 36-3/4" x 19" x 38-1/16"
Approx. Shipping Weight: 104 lbs.
Installation Location: Indoor
No. of Stations Served: 2
***Based on 80° F inlet water & 90° F ambient air temp for 50° F chilled
drinking water.**
Special Note: *Coming soon. The ElKay ezH2O you know and love is
getting a fresh look, as shown here. In stock models may have prior
logo design.
Special Features:
• Visual Filter Monitor, LED Filter Status Indicator for when filter
change is necessary.
• Filter is certified to NSF 42 and 53 for lead, particulate,
chlorine, taste and odor reduction, 3,000 gal. capacity.
• Green Ticker™: Informs user of number of 20 oz. plastic water
bottles saved from waste.
• Laminar flow provides clean fill with minimal splash.
• Silver Ion Antimicrobial protection on key plastic
components to inhibit the growth of mold and mildew.
• Real Drain System eliminates standing water.

PART: _____ QTY: _____
PROJECT: _____
CONTACT: _____
DATE: _____
NOTES: _____
APPROVAL: _____

In keeping with our policy of continuing product improvement, ElKay reserves the right to change product specifications without notice. Please visit elkay.com for
the most current version of ElKay product specification sheets. This specification describes an ElKay product with design, quality, and functional benefits to the user.
When making a comparison of other products' offerings, be certain these features are not overlooked.

ElKay REV 07/16/2019
LZSTL8WSLK

2222 Camden Court
Oak Brook, IL 60521

© 2019 Page 1
LZSTL8WSLK_spec.pdf



AMERICAN PRIDE: A LIFETIME TRADITION.
Like you forty, the ElKay forty has values and traditions that
unite. For almost a century, ElKay has been a family-owned and
operated company, providing thousands of jobs that support our
tenets and communities.

Included with Product: Water Cooler (LZSTL8WSLK),
Bottle Filler (LZWSR),
Filter

▼ Ships in multiple boxes.

PRODUCT COMPLIANCE

ADA & ICC A117.1

ASME A112.18.3/CSA B45.4

Buy American Act

CAN/CSA C22.2 No. 120

GreenSpec®

NSF/ANSI 42, 53, 61, & 372 (lead free)

UL 399

UL 399

GreenSpec®

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ACCESSIBILITY

THE FOLLOWING NOTES ARE ADA GUIDELINES AND ARE FOR GENERAL INFORMATION ONLY. LISTED ITEMS DO NOT REPLACE OR AMEND FEDERAL, STATE OR LOCAL CODES. IN THE CASE OF CONFLICT IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

1. ALL EXTERIOR DOORS SHALL HAVE A 2" CLEAR HORIZONTAL OPEN SURFACE AREA AT THE STRIKESIDE/PULLSIDE OF DOORS. ALL INTERIOR DOORS SHALL HAVE 18" CLEAR AT THE STRIKESIDE/PULLSIDE OF DOORS. PROVIDE 12" CLEAR HORIZONTAL SURFACE ON THE PUSH SIDE/STRIKE OF ALL DOORS. ALL LOCKETS SHALL HAVE A LEVER HANDLE UNLESS NOTED OTHERWISE AND SHALL OPEN FROM INSIDE OF THE SPACE WITH ONE MOTION AND REQUIRE NO SPECIAL KNOWLEDGE OR EFFORT. THUMB-TURNS OR SEPARATE DEADBOLTS ARE NOT ALLOWED ON EGRESS DOORS.

2. THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL HAVE A SLOPE NO GREATER THAN 1:2.

3. ALL EMERGENCY EXITING ALARMS AND SIGNALS TO COMPLY WITH FEDERAL, STATE AND MUNICIPAL CODES FOR ACCESSIBILITY.

4. GENERAL CONTRACTOR SHALL ALLOW FOR APPLIED FINISH DIMENSIONS IN ADDITION TO STANDARD CONSTRUCTION TOLERANCES IN ACHIEVING ALL ACCESSIBILITY CLEARANCES PER DRAWINGS AND/OR ADA GUIDELINES.

5. EMERGENCY WARNING SYSTEMS SHALL COMPLY WITH ADA REQUIREMENTS FOR THE HEARING IMPAIRED. VISUAL WARNING LIGHTS TO BE DESIGNED TO HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.

WARRANTIES AND RECORDS

1. THE GENERAL CONTRACTOR SHALL GUARANTEE THE WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK.

2. THE GENERAL CONTRACTOR SHALL PERFORM A ONE (1) YEAR WARRANTY WALK-THROUGH INSPECTION WITH THE OWNERS REPRESENTATIVE UPON REQUEST.

3. THE CONTRACTOR SHALL LEAVE A COPY OF REDLINED AS-BUILT DRAWINGS FOR THE OWNER/OWNERS REPRESENTATIVE NOTING ALL REVISIONS OF WORK UPON COMPLETION OF CONSTRUCTION.

4. UPON COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT IS MADE, THE CONTRACTOR SHALL SECURE AND DELIVER TO THE OWNER ALL GUARANTEES AND/OR WARRANTIES ON ALL EQUIPMENT SUPPLIED AND/OR INSTALLED BY THE CONTRACTOR AND HISHER SUB-CONTRACTORS, AND ALL OPERATIONS/MAINTENANCE MATERIALS.

GENERAL CODES/STANDARDS

1. GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS OR STANDARD BEST PRACTICE.

2. ALL RATED ASSEMBLIES SHALL BE CONSTRUCTED ACCORDING TO THE U.I. DESIGN SPECIFICATIONS OF SUCH ASSEMBLY AND BE INSTALLED IN ACCORDANCE WITH THE U.I. SPECIFICATIONS.

3. IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE/SHE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM.

4. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSPECTIONS AND FINAL WRITE-UPS FOR PROJECT COMPLETION.

5. IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

6. WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE DOCUMENTS, IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.

7. LOCAL LAWS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO LOCAL, STATE AND ALL GOVERNING CODES.

8. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY.

9. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE LENGTH OF HISHER CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS AND LANDLORD/OOWNER REQUIREMENTS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GENERALLY ACCEPTED BEST PRACTICE.

11. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION SPECIFIED WITHIN THESE DOCUMENTS, OR ANY EXISTING CONSTRUCTION.

12. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD (IF APPLICABLE) SHALL BE FIRE RETARDANT TREATED WHERE REQUIRED BY BUILDING CODES.

13. THE CONTRACTOR SHALL PROVIDE BACK FLOW DEVICES AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.

MISC CONSTRUCTION NOTES

1. IF THIS ARCHITECT(S) SCOPE OF WORK INCLUDES PREEXISTING CONSTRUCTION INSPECTION DUTIES, DIRECT ALL QUESTIONS AND CORRESPONDENCE TO THE ARCHITECT. ALL SHOP DRAWINGS AND RELATED DRAWINGS TO BE REVIEWED AND APPROVED BY GB PREVIOUS TO SENDING TO THE ARCHITECT.

2. THE GENERAL METHOD OF CONSTRUCTION ARE LEFT TO THE GENERAL CONTRACTOR, HIS SUBCONTRACTORS AND VENDORS TO FURNISH AND INSTALL AS NECESSARY FOR A COMPLETED PROJECT. ANY QUESTIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

3. IN CASE OF A BID PROJECT - THE GENERAL CONTRACTOR SHALL FURNISH ALL MATERIALS & EQUIPMENT SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED OR AGREED UPON AMONG OWNER AND CONTRACTOR. WRITTEN BIDS FROM SUBCONTRACTORS AND VENDORS SHOULD SPELL OUT ALL LABOR/WORK/MATERIALS OR ANY SPECIAL ARRANGEMENTS TO BE PROVIDED BY OWNER OR OTHERS.

EXCEPTION: REFER TO LISTING OF ITEMS TO BE FURNISHED BY OWNER, AND ITEMS FURNISHED BY OWNER AND INSTALLED BY GC.

4. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING PERSONALLY AND CONDUCTING ANY RESEARCH OR INVESTIGATIONS THEY DEEM NECESSARY FOR THE PLANNING AND EXECUTION OF THEIR WORK. THE SUBMISSION OF A WRITTEN BID OR PROPOSAL WILL BE CONTRASTED AS EVIDENCE THAT THE CONTRACTOR/HIS FAMILIARIZED HIMSELF WITH THE PLANS AND EXISTING CONDITIONS. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR THE MATERIAL AND/OR LABOR DUE TO DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED, UNLESS THESE DIFFICULTIES COULD NOT HAVE BEEN FORESEEN EVEN THOUGH PROPER EXAMINATION HAD BEEN MADE.

5. THE GENERAL CONTRACTOR AND OWNER AGREE THAT ANY UNFORESEEN CONDITION THAT IS DISCOVERED DURING THE BIDDING AND THE CONSTRUCTION PHASES WILL BE CALLED TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BY THE OWNER IMMEDIATELY FOR A SOLUTION, BEFORE PROCEEDING WITH THE WORK.

6. THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF THE LOCAL AND STATE BUILDING DEPARTMENT ARCHITECTURAL PLAN REVIEW FEES. THIS PAYMENT WILL BE MADE IN FULL BEFORE SUBMISSION FOR PLAN REVIEW.

7. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY BUILDING OR TRADE PERMITS, LICENSE, INSPECTIONS, ETC. AND CONTRACTING THE ARCHITECT FOR ANY REQUIRED PLAN REVISIONS FOR CODE REQUIREMENTS, UNLESS OTHERWISE AGREED UPON IN WRITING WITH THE OWNER.

8. BEFORE COMMENCING WORK, ALL SUBCONTRACTORS AS NECESSARY BY THEIR SCOPE OF WORK, AND AS DIRECTED BY THE GENERAL CONTRACTOR, SHALL VERIFY THE LOCATION OF ALL ACTIVE UTILITIES, UNDERGROUND AND OVERHEAD, IN ORDER TO TAKE ALL PRECAUTIONS FOR THEIR PROTECTION AND PERSONAL SAFETY.

9. ALL SUBTERRANEANS ARE RESPONSIBLE FOR CLEANING UP ALL OF THEIR RELATED CONSTRUCTION DEBRIS DAILY AND REMOVING THEM FROM THE JOB SITE OR PUTTING THEM IN JOBS DUMPSTER. EACH SUBTERRAEE WILL BE CHARGED FOR ANY RELATED EXPENSE TO DO THIS FOR THEM.

10. ALL EQUIPMENT ROUGH-IN DIMENSIONS AND UTILITY REQUIREMENTS ARE NOT DETAILED ON THESE DRAWINGS. THIS INFORMATION WILL NEED VERIFIED BY GENERAL CONTRACTOR AND RELATED SUBTERRANEANS OR VENDORS WITH SUPPLIERS TO ENSURE A PROPER FIT AND CORRECT POWER CONNECTIONS. THIS INCLUDES ITEMS FURNISHED BY OTHER VENDORS AND THE OWNER. FAILURE TO DO SO SHALL PLACE ANY RELOCATION EXPENSE DIRECTLY UPON THAT CONTRACTOR.

11. THE STRUCTURAL INTEGRITY OF THE PROPOSED BUILDING SHALL BE MAINTAINED BY ALL TRADES AT ALL TIMES.

12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION, PROVIDING AND MAINTAINING SITE SANITARY FACILITIES.

TEMPORARY UTILITIES, CONSTRUCTION DEBRIS COLLECTION AND REMOVAL OF DUMPSTERS, AS COORDINATED WITH THE OWNER.

13. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL LABOR, TOOLS, EQUIPMENT, INCLUDING POWER LULLSCAFFS, SCAFFOLDING, MATERIALS, ETC. NECESSARY TO UNLOAD AND INSTALL THEIR RELATED SCOPE OF WORK ITEMS.

LEGAL

THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, ARE HEREBY PART OF THESE DRAWINGS AND SPECIFICATIONS (IF SPECIFICATIONS ARE APPLICABLE).

1. ALL CONTRACTORS (GENERAL AND SUBCONTRACTORS) SHALL COMPLY WITH THE REQUIREMENTS FOR INSURANCE, BONDS AND WAIVERS OF LIENS AS OUTLINED IN THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA 201 PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS. FURTHER, THE GENERAL CONTRACTOR AND SUBCONTRACTORS, SUB-SUBCONTRACTORS, VENDORS, SUPPLIERS, ETC. ARE RESPONSIBLE FOR OBTAINING AND MAINTAINING INSURANCE FOR GENERAL LIABILITY AND WORKMAN 532'S COMPENSATION IN THE MIN. AMOUNTS AS REQUIRED BY STATE STATUTES ON THIS PROJECT. THIS SHALL BE MAINTAINED THROUGHOUT THE PROJECT AND FOR 90 DAYS AFTER THE PROJECT IS COMPLETED.

2. BY BIDDING AND CONTRACTING ANY OF THIS PROJECT(S) WORK, ALL PARTIES AGREE TO NON-BINDING MEDIATION AS THE PRIMARY METHOD TO RESOLVE ANY DISPUTES/CLAIMS THAT MAY ARISE DURING THE PROJECT. IF MEDIATION FAILS, THE PARTIES SHALL AGREE TO RESOLVE ANY DISPUTES/CLAIMS THROUGH ARBITRATION. THE PARTIES INVOLVED MUTUALLY AGREE OTHERWISE, THE PARTIES FURTHER AGREE TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, ETC.

3. THE GENERAL CONTRACTOR, OWNER, SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, VENDORS AND EXISTING UTILITIES SHALL NOT MAKE ANY MODIFICATIONS TO THE DOCUMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL OF THE ABOVE AGREE TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEYS FEES AND DEFENSE COSTS, THAT MAY BE ASSERTED AGAINST THE ARCHITECT BY ANY PARTY, INCLUDING THE GENERAL CONTRACTOR, SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, ETC. ARISING FROM ANY MODIFICATIONS OF THE CONSTRUCTION DOCUMENTS BY THE CONTRACTORS, OWNER OR OTHER PERSONS.

4. ALL INSTRUCTIONS TO BIDDERS (IF APPLICABLE) TO BE AS COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. THIS WILL INCLUDE A WORK BY OWNER LIST AND WORK BY VENDORS LIST.

5. ALL CONTRACTS, AGREEMENT FORMS & RELATED CONTRACT SCOPE OF WORK, AGENDAS, AND ALLOWANCES SHALL BE AGREED UPON IN WRITING BY THE GENERAL CONTRACTOR AND SUBCONTRACTOR, THE GENERAL CONTRACTOR AND VENDOR, AND THE OWNER AND GENERAL CONTRACTOR AND AUTHORIZED BY OWNERS SIGNATURE.

6. CERTIFICATES OF INSURANCE AND EACH SUBTERRAEE AND VENDOR, ETC. SHALL BE KEPT ON FILE BY GENERAL CONTRACTOR AND PRESENTED TO OWNER BEFORE FIRST WORK IS BEGIN.

7. ALL FEDERAL, STATE AND LOCAL SAFETY STANDARDS ARE TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUB-SUBCONTRACTORS UNTIL FINAL COMPLETION AND CERTIFICATE OF OCCUPANCY ISSUED BY GOVERNMENTAL AGENCIES.

8. IF APPLICABLE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSIGNING ALL RELATED WORK AREAS AS PER HIS COMPANY'S PROJECT BUOYOUT POLICES SO AS TO PROVIDE A FINISHED, OPERATIONAL SITE AND BUILDING WITH COMPLETE AND FUNCTIONING SYSTEMS. THE TRADE 502'S WORK AREAS AS OUTLINED IN PLANS, NOTES AND SPECIFICATIONS DO NOT HAVE TO REMAIN AS ASSIGNED HEREIN, BUT ALL NEED TO BE ADDRESSED IN THE FINAL CONSTRUCTION BID PACK AS DETERMINED BY THE GC/CM.

CONTRACTOR STANDARD OF CARE

1. CONTRACTORS ARE TO EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK.

2. CONTRACTORS ARE RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. ANY SUCH ERROR WILL NOT BE CONSIDERED AS A BASIS FOR A CHANGE ORDER OR EXTRA COMPENSATION.

3. GENERAL CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF ALL WORK AND IS RESPONSIBLE FOR ALL LINES AND MEASUREMENTS (WITHIN REASONABLE TOLERANCES) OF THE BUILDING, UTILITIES AND OTHER WORK EXECUTED UNDER THIS CONTRACT.

4. DIMENSIONS ARE TYPICALLY MEASURED FROM STUD TO STUD, UNLESS NOTED OTHERWISE. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

5. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

6. DIMENSIONS OR ITEMS MARKED AS "FIELD VERIFY" OR "VF" (VERIFY IN FIELD) SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. SHOULD ANY PROBLEMS ARISE IN THE FIELD, OR IF THE CONTRACTOR IS UNABLE TO DEDUCE DESIGN INTENT - IT IS THE RESPONSIBILITY OF SAID CONTRACTOR TO NOTIFY THE ARCHITECT FOR REMEDY.

7. WORK THAT IS NOT PARTICULARLY DETAILED/DETAILED, NOTED OR SPECIFIED, SHALL BE CONSTRUCTED IN LIKE FASHION AS SIMILAR WORK THAT IS DETAILED. SHOULD ANY QUESTION ARISE IN THE FIELD OR IF DRAWINGS LACK A CLARITY THAT IS ACCEPTABLE TO THE GENERAL CONTRACTOR, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDY.

8. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR INTERPRETATION. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR THE RESULTS FROM INTERPRETATIONS OF OTHERS.

9. THE GENERAL CHARTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL VARIOUS OR LARGE SCALE/PLAT-SIZE DETAILS. SHOULD SUCH CLARIFICATIONS BE MADE BY REQUEST OF THE GENERAL CONTRACTOR OR OWNER, THESE DETAILS SHALL BECOME BINDING ELEMENTS OF THE CONTRACT DOCUMENTS AND SHALL BE TREATED AS SUCH.

10. DRAWINGS AND DIAGRAMS FOR MECHANICAL, ELECTRICAL, OR PLUMBING WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY. S/D DRAWINGS ARE NOT TO BE USED FOR ANY STRUCTURAL, GUARDRAIL OR PHYSICAL LAYOUT UNLESS NOTED DISTINCTLY OTHERWISE. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECTURAL DRAWINGS SHOWING LOCATIONS FOR MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS AND ACCESSORIES SHALL TAKE PRECEDENCE.

11. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL, PLUMBING, AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED. ALL COSTS FOR THIS ARE TO BE INCLUDED IN THE CONTRACTOR'S PROPOSAL.

12. ALL CONTRACTORS SHALL VERIFY DIMENSIONS AS RELATED TO THEIR SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS, EQUIPMENT, ETC.

13. THE CONTRACTOR SHALL REMOVE, REPAIR, RESTORE AND REPLACE ANY WORK NECESSARY OR INDICATED ON THE DRAWINGS - CUT ALL NECESSARY OPENINGS AND REPAIR AFTER CUTTING WHERE NECESSARY. ALL PROTRUSIONS, MARKS, CRACKS, OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY ITEMS WHICH ARE SPILT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING, OUT OF ALIGNMENT, MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR DAMAGED IN ANY MANNER SHALL BE REMOVED, REPLACED, RESTORED OR SATISFACTORILY REPAIRED AS DIRECTED BY THE OWNERS REPRESENTATIVE AND/OR ARCHITECT.

14. UPON NOTIFICATION, THE GENERAL CONTRACTOR SHALL ATTEND AND ENTERTAIN A PUNCH-LIST INSPECTION AND MAKE GOOD ON ALL PUNCH-LIST ITEMS (WITHIN REASONABLE LIMITS) TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE PRIOR TO FINAL PAYMENT.

15. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TRASH REMOVAL, INCLUDING TRASH MADE BY ALL OTHER TRADES, AND SHALL KEEP THE SPACE CLEAN AND CLEAR OF REFUSE AT ALL TIMES.

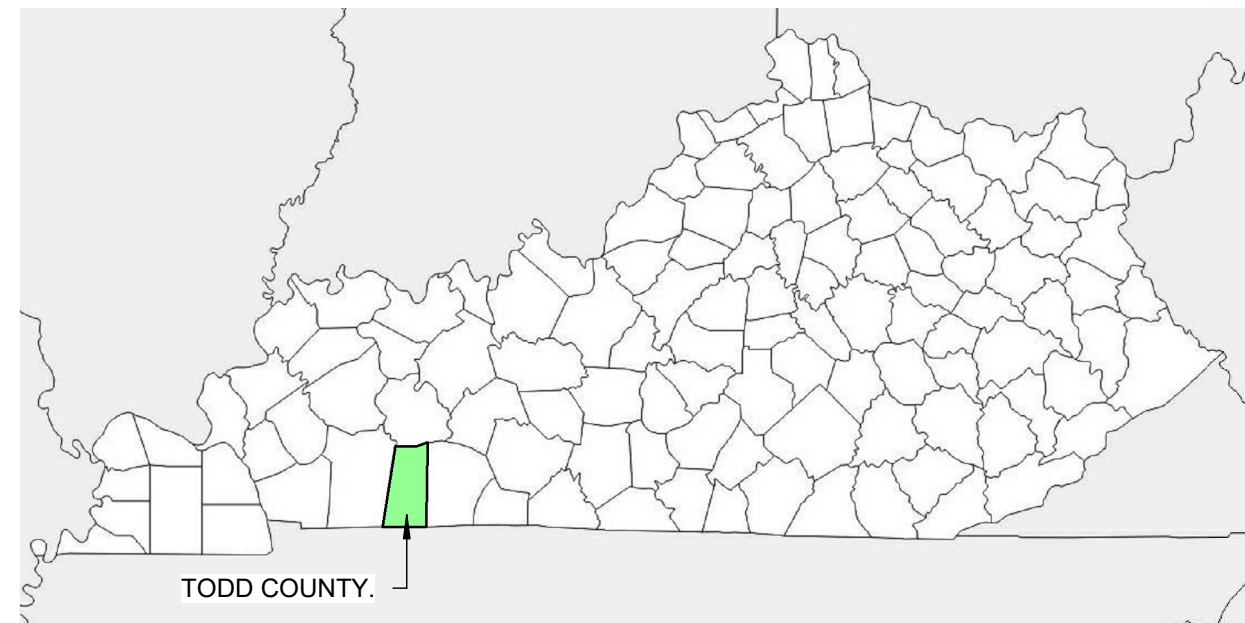
16. THE GENERAL CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE PROJECT AT THE COMPLETION OF CONSTRUCTION, AND BEFORE TURNING THE PROJECT OVER TO THE OWNER/OWNERS REPRESENTATIVE. WORK IS TO INCLUDE, BUT IS NOT LIMITED TO, ALL CEILING, FLOOR AND WALL SURFACES AND FIXTURES.

17. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT PER MANUFACTURERS INSTRUCTIONS. SHOULD A CONFLICT BETWEEN THE MANUFACTURERS INSTRUCTIONS AND THE CONTRACT DOCUMENTS BE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT BEFORE PROCEEDING.

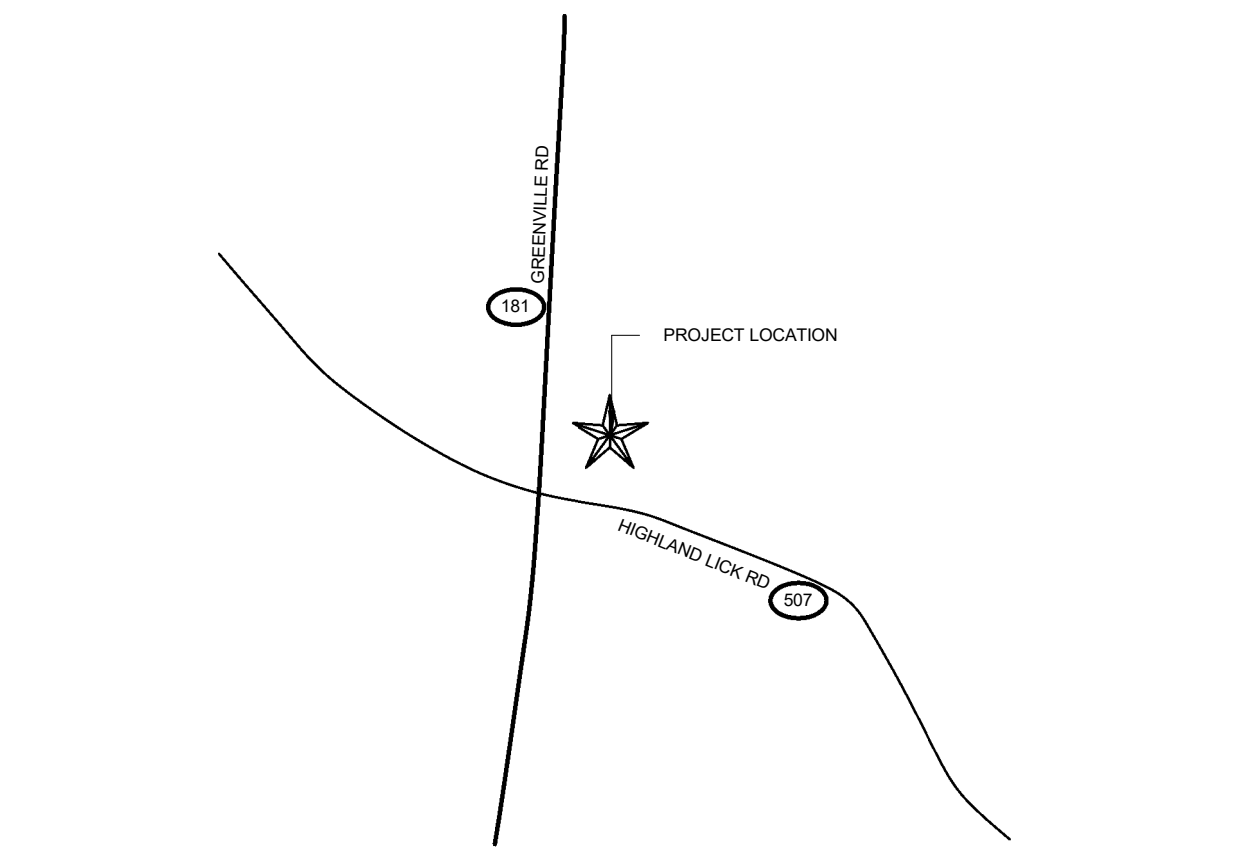
18. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS, INCLUDING BUT NOT LIMITED TO, THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK.

4. ALL CONSTRUCTION SHALL ADHERE FULLY TO APPLICABLE STATE AND LOCAL BUILDING CODES. IF ANY QUESTION AS TO SAID COMPLIANCE ARISE IN THE FIELD, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.

COUNTY MAP



COUNTY MAP



VICINITY MAP

USE OF PREMISES

1. CONSTRUCTION OPERATIONS ARE TO BE LIMITED TO AREAS DESIGNATED ON DRAWINGS.

2. VERIFY TIME RESTRICTIONS WITH OWNER AND GOVERNING BODIES. THIS OFFICE WILL WORK DILIGENTLY TO ASSIST THE GENERAL CONTRACTOR AND OWNER IN MEETING SAID TIME RESTRAINTS - BUT WILL NOT BE HELD RESPONSIBLE FOR ANY FAILURE TO DO SO. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO SET ATTAINABLE TIME RESTRAINTS FOR A SUCCESSFUL JOB.

3. ANY UTILITY CUTTERS SHALL BE COORDINATED WITH THE OWNER AND/OR OWNER.

4. GENERAL CONTRACTOR AND SUB CONTRACTORS ARE TO INSURE THAT CONVENIENCE TO THE GENERAL PUBLIC IS HELD AT AN ABSOLUTE MINIMUM. COMPLY WITH APPLICABLE CODES AND SAFETY ORDINANCES.

5. GENERAL CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.

6. ANY WORK THAT CAUSES EXCESSIVE NOISE, DUST OR ODORS IS TO BE CONDUCTED IN A MANNER THAT IS APPROVED BY THE OWNER AND/OR LANDLORD. IF APPLICABLE, THESE DUTIES ARE TO BE PERFORMED AFTER TENANT BUSINESS HOURS.

7. COORDINATE USE OF PREMISES FOR WORK WITH THE LANDLORD AND/OR OWNER PRIOR TO COMMENCEMENT OF WORK.

8. LIMIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPECIFIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE OWNER AND/OR LANDLORD.

9. TEMPORARY SANITARY FACILITIES FOR WORKERS OF ALL TRADES SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE GENERAL CONTRACTOR. IF "CONTRACTOR-USE" FACILITIES DO NOT EXIST ON SITE, PERMANENT TOILETS INSTALLED ON THE PROJECT SHALL NOT BE USED DURING THE CONSTRUCTION OF THIS PROJECT. ALL FACILITIES AND SERVICES SHALL BE FURNISHED IN STRICT ACCORDANCE WITH THE CONTRACTOR'S EXPENSE.

10. ARRANGE WITH THE LANDLORD/OWNER A CONVENIENCE TIME TO PERFORM ALL WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND BUILDING MANAGEMENT REQUIREMENTS.

HAZARDOUS MATERIALS

1. NO PROJECT ENVIRONMENTAL REPORT FOR ANY HAZARDOUS MATERIALS, INCLUDING RADON, SPILLED CHEMICALS, U.S.T.'S, ETC. WAS PROVIDED BY THE OWNER TO ARCHITECT. THEREFORE, THIS ARCHITECT ASSUMES NO LIABILITY SHOULD ANY CONDITION ARISE THAT COULD HAVE BEEN DISCOVERED OR PREVENTED HAD SUCH INVESTIGATIONS BEEN CONDUCTED.

2. THIS ARCHITECT HAS NO PROFESSIONAL LIABILITY FOR ANY CLAIMS REGARDING HAZARDOUS MATERIALS OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES TO INVESTIGATE OR REMEDIATE THE PRESENCE OF SAID MATERIALS.

ARCHITECT'S DISCLAIMERS

1. IF DESIGN INDICATED HEREIN IS IN ANY WAY NOT FULLFILLED, THROUGH INTENTIONAL OR UNINTENTIONAL DEVIATION - THIS DRAWING SET WILL BE RENDERED NULL AND VOID AND ALL PROFESSIONAL RESPONSIBILITY AND LIABILITY OF THIS ARCHITECT WILL BE IMMEDIATELY TERMINATED.

2. IF IT IS THE LEGAL AND PROFESSIONAL RESPONSIBILITY OF THE CLIENT AND ALL CONTRACTORS TO ADHERE FULLY TO THE SPECIFICATIONS HEREIN. IF ANY DISCREPANCIES OR ISSUES ARE DISCOVERED IN THE FIELD - THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR MEDIATED. SAID DISCREPANCIES/ISSUES ARE NOT TO BE ADDRESSED WITHOUT WRITTEN APPROVAL FROM THIS ARCHITECT.

3. THIS ARCHITECT IS IN NO WAY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE WORK SITE ADHERES TO ALL GUIDELINES AND SPECIFICATIONS OF OSHA AND OTHER APPLICABLE GOVERNING BODIES. FURTHER, THE ARCHITECT AND HIS CONSULTANTS WILL NOT HAVE CONTROL, OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACTS, OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK.

4. ALL CONSTRUCTION SHALL ADHERE FULLY TO APPLICABLE STATE AND LOCAL BUILDING CODES. IF ANY QUESTION AS TO SAID COMPLIANCE ARISE IN THE FIELD, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.

QUALITY OF WORK

1. GENERAL CONTRACTOR TO ENSURE THAT CONSTRUCTION AND FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. SHOULD A CONTRACTOR WORK IN SEQUENCE AFTER ANOTHER CONTRACTOR (FOR EXAMPLE, A DRYWALL CREW BEGINS WORK AFTER A FRAMING CREW), COMMENCEMENT OF WORK SHALL INDICATE THE LATER CONTRACTORS ACCEPTANCE OF PREDECESSORS WORK AS SATISFACTORY.

2. REPAIR AND PREPARE EXISTING SURFACES (IF APPLICABLE) PRIOR TO APPLICATION OF NEW FINISH.

3. ALL CODE-REQUIRED LABELS (SUCH AS "1L" - FACTORY MUTUAL, OR ANY EQUIPMENT IDENTIFICATION PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES) SHALL REMAIN READABLE AND NOT PAINTED.

4. COORDINATE WITH OWNERS DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG EQUIPMENT.

5. PAINT AND OTHER FINISHES ARE TO BE APPLIED TO CREATE A SOLID, ACCEPTABLE FINISH. ALL FINISHES SHALL ADHERE TO A CONSISTENT PROFESSIONAL QUALITY.

CONTRACT DOCUMENTS

1. DRAWINGS AND SPECIFICATIONS (IF APPLICABLE) ARE INTENDED TO BE COMPLEMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH. SHOULD A DISCREPANCY BE DISCOVERED, ONE DOES NOT AUTOMATICALLY TAKE PRECEDENCE OVER THE OTHER. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BRING SAID DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.

2. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED, AS A CONDITION OF THE CONTRACT, TO ACQUAINT HIMMSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND HOLD THEM TO, ITS CONDITIONS.

3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS, IN CASE OF CONFLICT, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THIS ARCHITECT FOR REMEDY.

4. THE DESIGNER/ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY APPARENT CONFLICTS, ERRORS OR OMISSIONS IN THE CONSTRUCTION DRAWINGS OR ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE. OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION, AND IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. FAILURE TO NOTIFY THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK WILL RESULT IN THE CONTRACTOR CORRECTING SUCH ITEMS AT THE CONTRACTORS EXPENSE.

5. THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, WHICH ATTEMPT TO CONVEY A DESIGN INTENT. SAID DRAWINGS DO NOT INDICATE OR SPECIFY IN DETAIL EVERY CONDITION AND COMPONENT OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT, FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIAL, AND EQUIPMENT MANUFACTURERS REQUIREMENTS, INDUSTRY STANDARDS AND FEDERAL, STATE AND LOCAL LAWS, CODES AND REGULATIONS.

GENERAL NOTES

- DO NOT SCALE DRAWING. REFER TO DIMENSIONS AND VERIFY ANY DISCREPANCIES WITH THIS ARCHITECT.

- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY OWNER AND GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

- ALL EXTERIOR FINISHES (COLOR, STYLE, ETC.) AS PER OWNERS SELECTION & APPROVAL. CONTRACTOR VERIFY PRIOR TO CONSTRUCTION.

- LANDSCAPING AS PER OWNER - INSTALLED BY OTHERS.

- PROVIDE GUTTERING & DOWNSPOUTS AS PER CLIMATE. RAINFALL CONDITIONS, ETC. DIENT RUN TO APPROVED STORM WATER COLLECTION AREA. CONTRACTOR VERIFY PRIOR TO CONSTRUCTION. REFER SITE IMPROVEMENT PLAN PREPARED BY OTHERS.





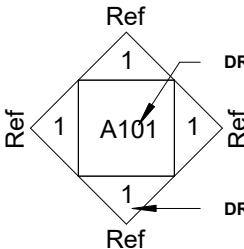



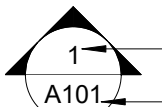



- ALL EXPOSED CONCRETE SURFACES AT EXTERIOR TO BE CONDITIONED W/ MANUFACTURERS DIRECTED APPLICATION OF CONCRETE SEALER BY KURE-N-SEAL, 9000 BY SONOSOURCE OR EQUAL.

- CONTRACTOR SHALL DETERMINE FINISH FLOOR FINISH PAYEMENT, FINISH GRADE, ELEVATIONS, DOOR & WINDOW HEAD HEIGHTS PRIOR TO CONSTRUCTION TO ENSURE POWERS IS PROVIDED TO DESIGNATED LOCATIONS.

- SITE DEVELOPMENT BY OTHERS. DETAILS HEREIN TO BE REFERENCES AS CALLED UPON BY SITE DEVELOPMENT PLANS FOR A COMPLETE JOB.

- THIS OFFICE IS IN NO WAY RESPONSIBLE FOR CONSTRUCTION STAGING AND/OR JOB SITE SAFETY. STAGING DETAILS (IF APPLICABLE) ARE FOR GENERAL REFERENCE ONLY AND PROVIDED AS A COURTESY. SAID DETAILS ARE TO BE USED AT THE DISCRETION OF THE OWNER/GENERAL CONTRACTOR.

SYMBOL LEGEND

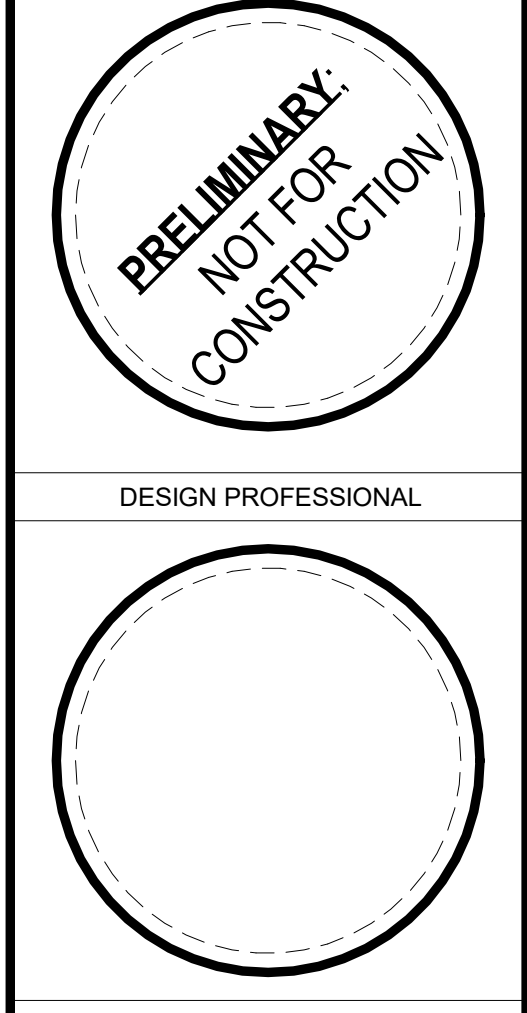
CALLOUT HEAD	
	DRAWING NUMBER DRAWING SHEET
INDICATES LOCATION OF CALLOUT	
CENTERLINE	
	INDICATES THE CENTER OF DOOR AND WINDOW DIMENSIONS
DOOR TAG	
	INDICATES DOOR TYPE
ELEVATION MATERIAL TAG	
	INDICATES EXTERIOR MATERIALS
EXTERIOR ELEVATION TAG	
	DRAWING SHEET DRAWING NUMBER
INDICATES ORIENTATION OF ELEVATIONS IN RELATION TO PLAN VIEW	
FIRE RATING SYMBOL	
	INDICATES REQUIRED FIRE RATING OF A BUILDING ELEMENT
FLOOR FINISH ELEVATION	
	INDICATES HEIGHT OF FINISH FLOOR
LEVEL MARKER	
Name Elevation	
INDICATES ELEVATION HEIGHTS	
ROOM TAG	
Room name 101 150 SF	ROOM NUMBER SQUARE FOOTAGE
INDICATES ROOM NAME AND SQUARE FOOTAGE	
SECTION HEAD	
	DRAWING NUMBER DRAWING SHEET
INDICATES LOCATION OF SECTION DRAWINGS	
SHEET NOTE TAG	
	INDICATES RELATION OF ELEMENT WITH PROVIDED SHEET NOTE
WALL TAG	
	INDICATES WALL TYPE
WINDOW TAG	
	INDICATES WINDOW TYPE

ABBREVIATIONS

#	POUND OR NUMBER	IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
@	AT	LO	IN LIEU OF
ACT	ACOUSTIC CEILING TILE	INSUL	INSULATED OR INSULATION
AD	AREA DRAIN	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	LO	LOW
ALUM	ALUMINUM	MAX	MAXIMUM
ANOD	ANODIZED	MO	MASONRY OPENING
BSMT	BASEMENT	MECH	MECHANICAL
BYND	BEYOND	MEMB	MEMBRANE
BOT	BOTTOM	MIN	MINIMUM
CIP	CAST IN PLACE	MRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD
CHNL	CHANNEL	MTL	METAL
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CLG	CEILING	NO	NUMBER
CLR	CLEAR	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OH	OVERHANG OR OPPOSITE HAND
COMP	COMPRESSIBLE	OPP	OPPOSITE OR OPPOSITE HAND
CONC	CONCRETE	OZ	OUNCE
CONT	CONTINUOUS	PCC	PRE-CAST CONCRETE
CPT	CARPET	PLUMB	PLUMBING
CT	CERAMIC TILE	PLYD	PLYWOOD
CTYD	COURTYARD	PT	PRESSURE TREATED
DBL	DOUBLE	PNT	PAINT OR PAINTED
DEMO	DEMOLISH OR DEMOLITION	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	RBR	RUBBER
DIM	DIMENSION	RCF	REFLECTED CEILING PLAN
DMS	DIMENSIONS	RD	ROOF DRAIN
DN	DOWN	REQD	REQUIRED
DR	DOOR	RM	ROOM
DWG	DRAWING	SIM	SIMILAR
EA	EACH	SPEC	SPECIFIED OR SPECIFICATION
EJ	EXPANSION JOINT	SPK	SPRINKLER OR SPEAKER
EL	ELEVATION	SSTL	STAINLESS STEEL
ELEC	ELECTRICAL	STC	SOUND TRANSMISSION COEFFICIENT
ELEV	ELEVATOR OR ELEVATION	STU	STEEL STRUCTURE OR STRUCTURAL
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	T&G	TONGUE AND GROOVE
EQ	EQUAL	TELE	TELEPHONE
EXIST	EXISTING	TOILET	TOILET
EXP JT	EXPANSION JOINT	TME	TO MATCH EXISTING
EXT	EXTERIOR	TOF	TO TOP OF
FD	FLOOR DRAIN OR FIRE DEPARTMENT	TOC	TOP OF CONCRETE
FEC	FIRE EXTINGUISHER CABINET	TOS	TOP OF STEEL
FIXT	FIXTURE	TPD	TOILET PAPER DISPENSER
FLR	FLOOR	T/D	TELEPHONE/DATA
FM	FILLED METAL	TYP	TYPICAL
FO	FACE OF	UNO	UNLESS NOTED OTHERWISE
FND	FOUNDATION	U/S	UNDERSIDE
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	VP	VISION PANEL
GWB	GYPSUM WALL BOARD	W/	WITH
HC	HOLLOW CORE	WD	WOOD
HI	HIGH		
HM	HOLLOW METAL		
HR	HIGH POINT		
HR	HOUR		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		

VICINITY MAP

SITE MAP



PLAN REVIEWER

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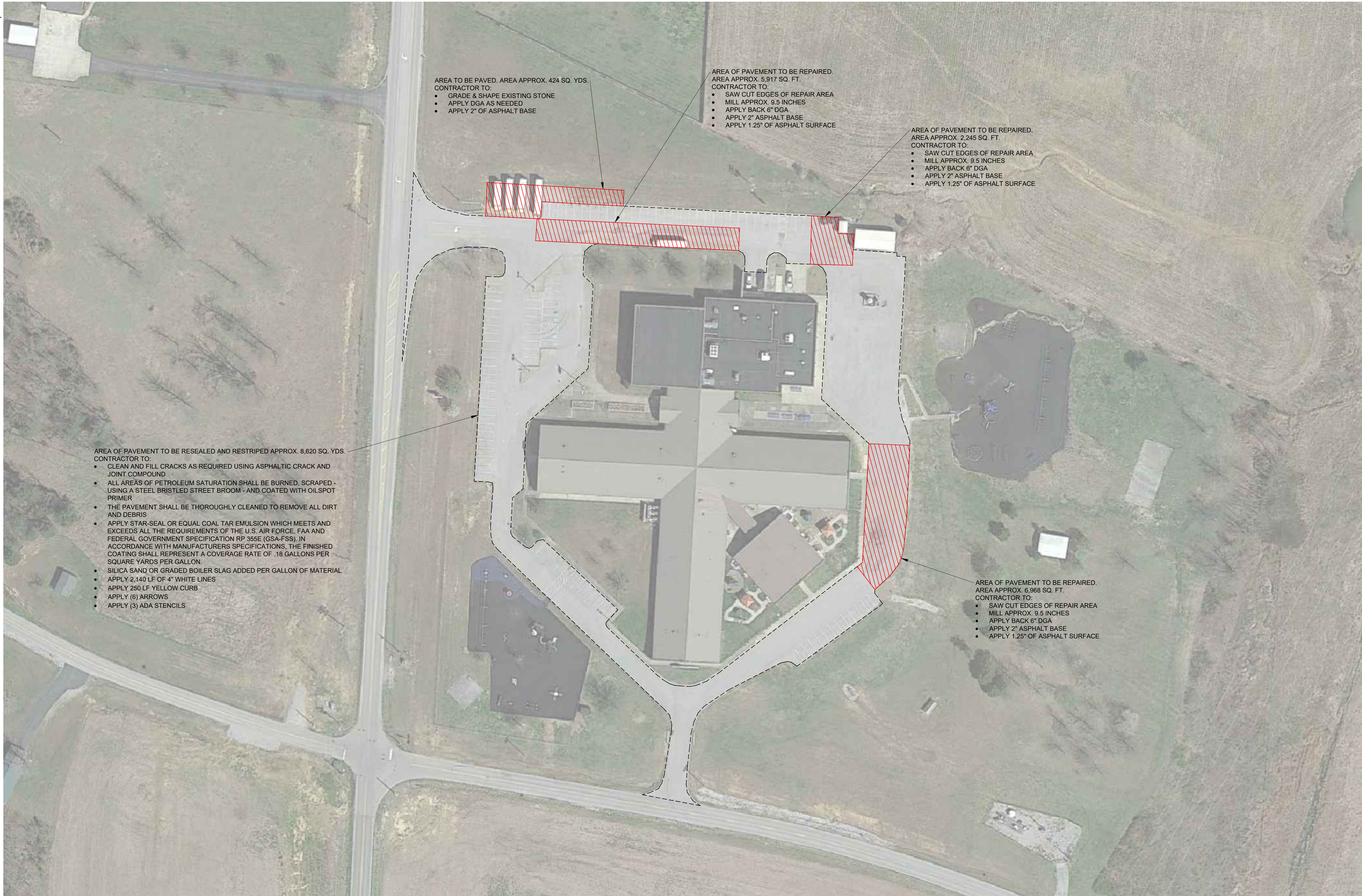
BY	FAB,CLP
DATE	02/17/2021
SET	CLIENT REVIEW
<div><div>SD</div><div>DD</div><div>CD</div></div>	

REVISION	DESCRIPTION
	DDMMYYYY REVISION DESCRIPTION



**NORTH TODD COUNTY
ELEMENTARY
RENOVATION 2021**

73



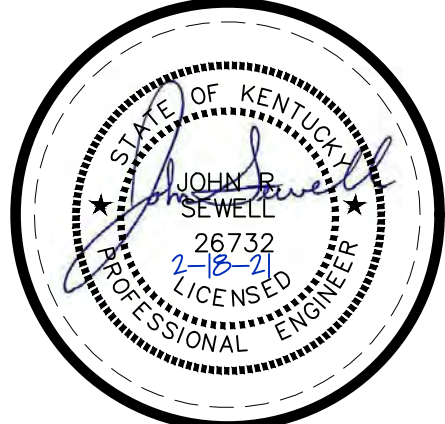
AREA TO BE PAVED. AREA APPROX. 424 SQ. YDS.
CONTRACTOR TO:
• GRADE & SHAPE EXISTING STONE
• APPLY DGA AS NEEDED
• APPLY 2" OF ASPHALT BASE

AREA OF PAVEMENT TO BE REPAIRED.
AREA APPROX. 5,917 SQ. FT.
CONTRACTOR TO:
• SAW CUT EDGES OF REPAIR AREA
• MILL APPROX. 9.5 INCHES
• APPLY BACK 6" DGA
• APPLY 2" ASPHALT BASE
• APPLY 1.25" OF ASPHALT SURFACE

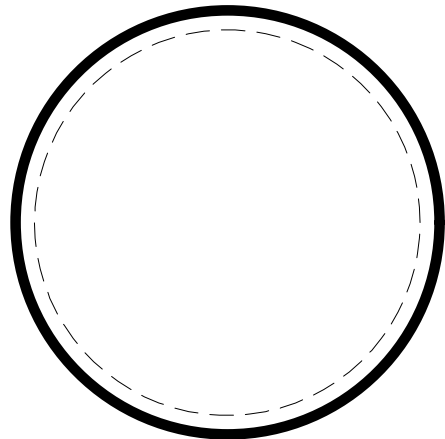
AREA OF PAVEMENT TO BE REPAIRED.
AREA APPROX. 2,245 SQ. FT.
CONTRACTOR TO:
• SAW CUT EDGES OF REPAIR AREA
• MILL APPROX. 9.5 INCHES
• APPLY BACK 6" DGA
• APPLY 2" ASPHALT BASE
• APPLY 1.25" OF ASPHALT SURFACE

AREA OF PAVEMENT TO BE RESEALED AND RESTRIPED APPROX. 8,620 SQ. YDS.
CONTRACTOR TO:
• CLEAN AND FILL CRACKS AS REQUIRED USING ASPHALTIC CRACK AND JOINT COMPOUND
• ALL AREAS OF PETROLEUM SATURATION SHALL BE BURNED, SCRAPPED - USING A STEEL BRISTLED STREET BROOM - AND COATED WITH OILSPOT PRIMER
• THE PAVEMENT SHALL BE THOROUGHLY CLEANED TO REMOVE ALL DIRT AND DEBRIS
• APPLY STAR-SEAL OR EQUAL COAL TAR EMULSION WHICH MEETS AND EXCEEDS ALL THE REQUIREMENTS OF THE U.S. AIR FORCE, FAA AND FEDERAL GOVERNMENT SPECIFICATION RP 355E (GSA-FSS), IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, THE FINISHED COATING SHALL REPRESENT A COVERAGE RATE OF .18 GALLONS PER SQUARE YARDS PER GALLON.
• SILICA SAND OR GRADED BOILER SLAG ADDED PER GALLON OF MATERIAL
• APPLY 2,140 LF OF 4" WHITE LINES
• APPLY 250 LF YELLOW CURB
• APPLY (6) ARROWS
• APPLY (3) ADA STENCILS

AREA OF PAVEMENT TO BE REPAIRED.
AREA APPROX. 6,968 SQ. FT.
CONTRACTOR TO:
• SAW CUT EDGES OF REPAIR AREA
• MILL APPROX. 9.5 INCHES
• APPLY BACK 6" DGA
• APPLY 2" ASPHALT BASE
• APPLY 1.25" OF ASPHALT SURFACE



DESIGN PROFESSIONAL



PLAN REVIEWER

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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
ENSURE THAT ALL PERMITS AND APPROVALS ARE
OBTAINED PRIOR TO COMMENCING WORK.

BY I. SEWELL

DATE 02/18/2021

SET CONSTRUCTION DOCUMENTS



REVISION DESCRIPTION

X DDDMMYYYY REVISION DESCRIPTION

SITE
SEWELL INSPECTIONS
TESTING AND ENGINEERING
NASHVILLE, TN 37202
PHONE (270) 779-3161

NORTH TODD COUNTY
ELEMENTARY
RENOVATION 2020
7300 GREENVILLE RD
ELKTON, KENTUCKY 42220
CONTRACT 20200821

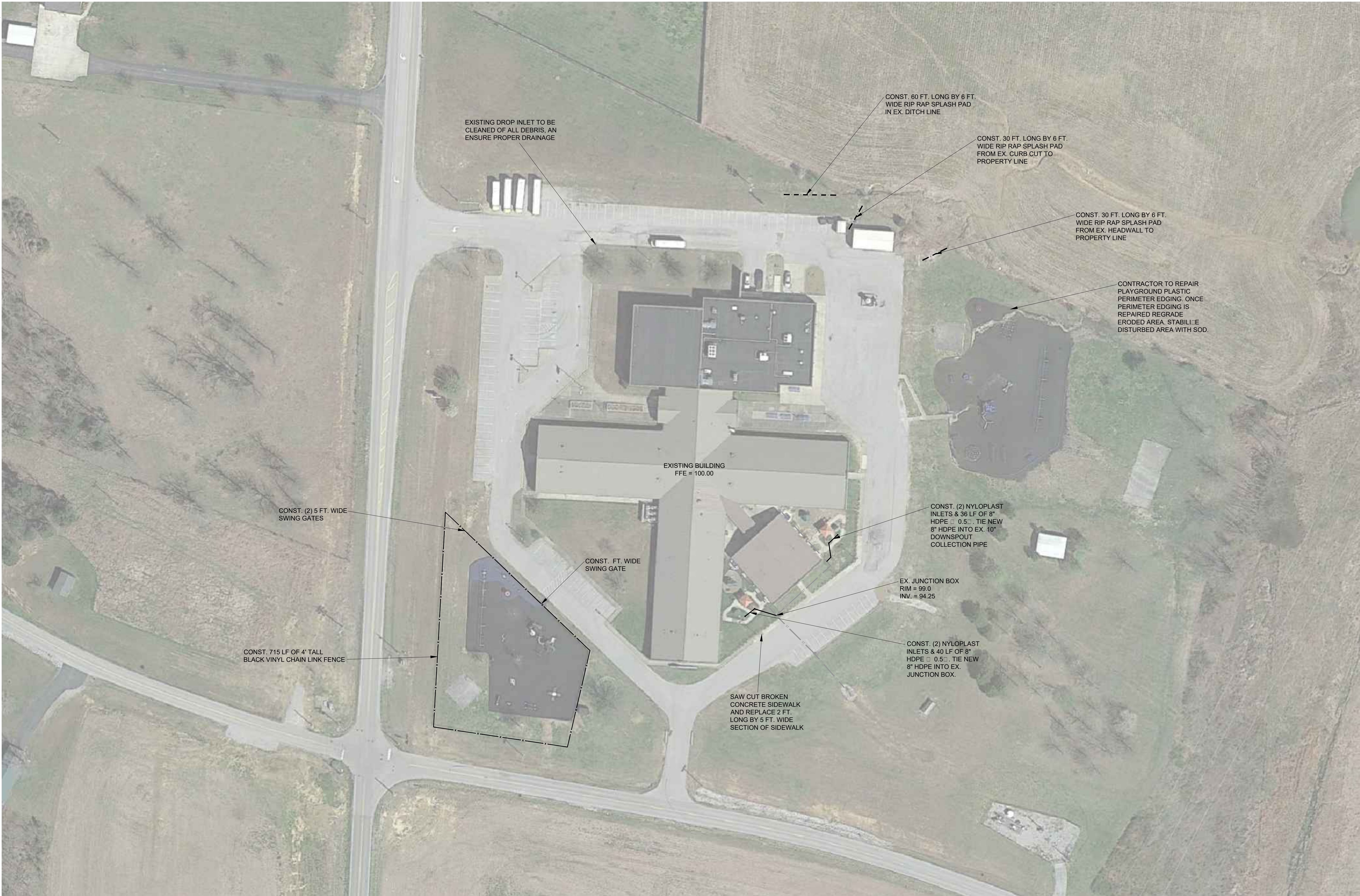
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SET OF CONSTRUCTION DOCUMENTS.

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OF 1990. ALL ORIGINAL WORK HEREIN REMAINS THE
SOLE PROPERTY OF DECO ARCHITECTS UNLESS
EXPRESSLY TRANSFERRED THROUGH WRITTEN
CONTRACT.

PAVEMENT
REPAIRS &
IMPROVEMENTS

C-7.00

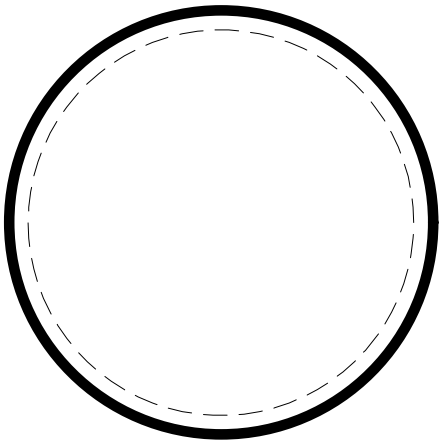
CIVIL



GRAPHIC SCALE: 1" = 50'



DESIGN PROFESSIONAL



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BY J. SEWELL
DATE 02/18/2021
SET CONSTRUCTION DOCUMENTS



REVISION	DESCRIPTION
X	DDMM/YYYY REVISION DESCRIPTION

SITE
SEWELL INSPECTIONS
TESTING AND ENGINEERING
NASHVILLE, TN 37202
PHONE (270) 779-3161

NORTH TODD COUNTY
ELEMENTARY
RENOVATION 2020
7300 GREENVILLE RD
ELKTON, KENTUCKY 42220
CONTRACT 20200821

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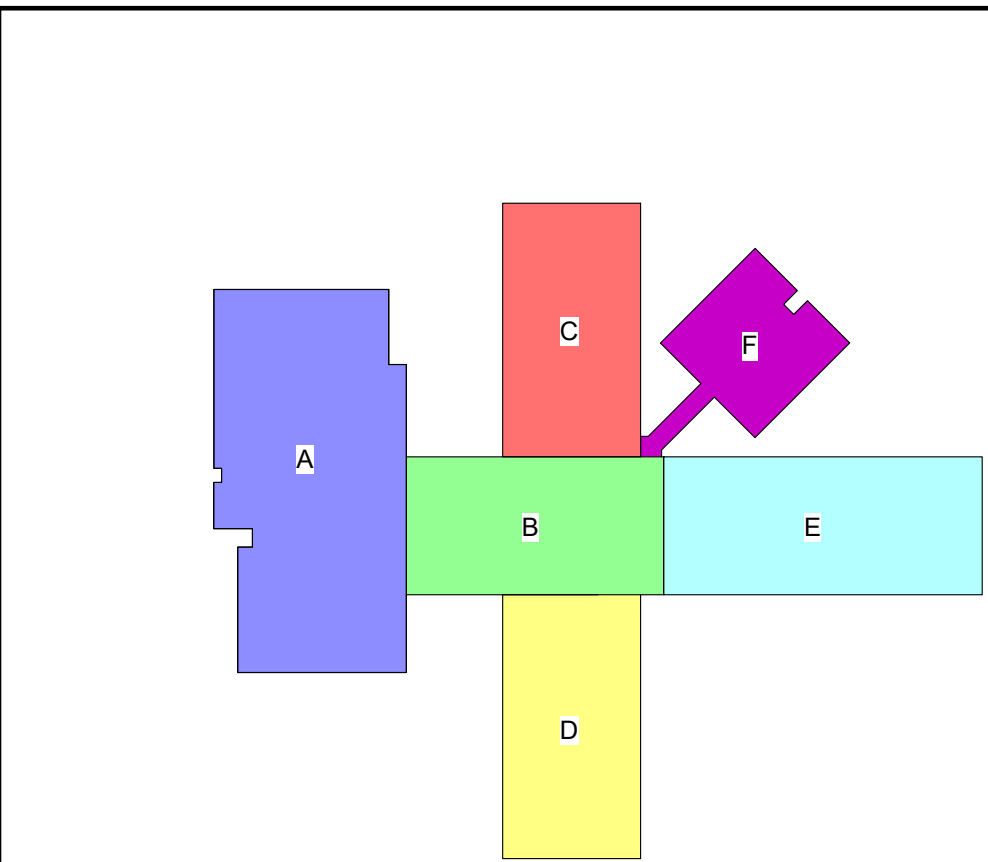
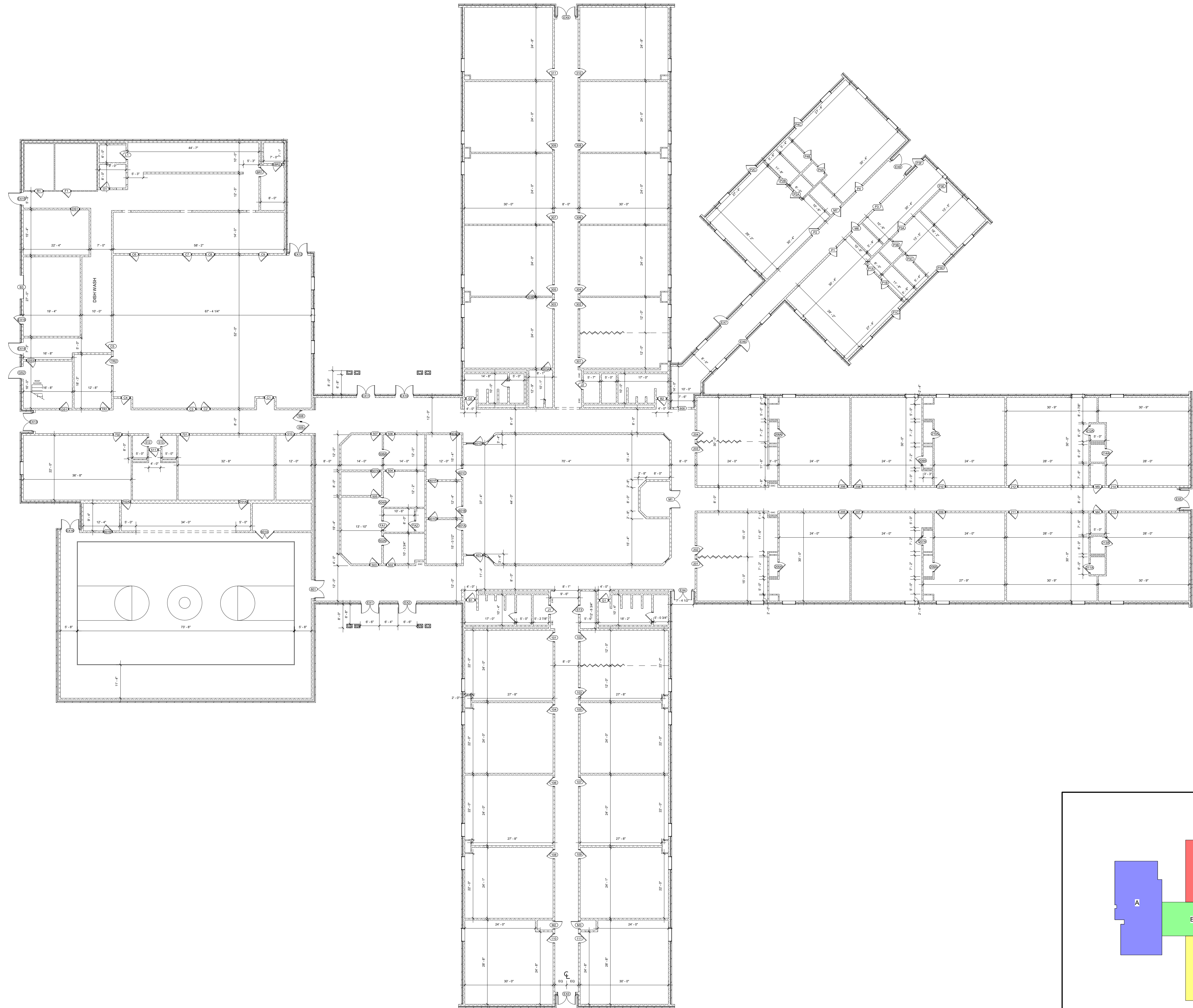
COPYING THESE DOCUMENTS FOR DISTRIBUTION TO BUILDING OFFICIALS AND CONTRACTORS WITH THE INTENT OF CONSTRUCTING NAMED PROJECT IS PERMITTED, PROVIDED THAT EACH PARTY IS ISSUED A FULL SET OF DOCUMENTS. THIS ARCHITECT IS NOT RESPONSIBLE FOR WORK THAT DOES NOT ADHERE TO THE DESIGN INTENT ESTABLISHED BY THE COMPLETE SET OF CONSTRUCTION DOCUMENTS.

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SITE & DRAINAGE
IMPROVEMENTS

C-8.00

CIVIL



1

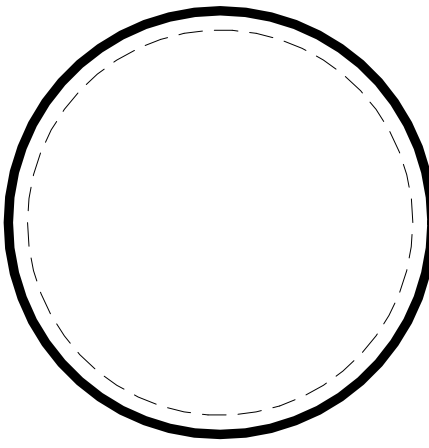
DEMOLITION FIRST FLOOR PLAN

1/16" = 1'-0"

KEY PLAN



DESIGN PROFESSIONAL



PLAN REVIEWER

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OBTAINED PRIOR TO COMMENCING WORK.

BY	FAB,CLP
DATE	02/17/2021
SET	CLIENT REVIEW



REVISION	DESCRIPTION
X	DDMMYYYY REVISION DESCRIPTION



**NORTH TODD COUNTY
ELEMENTARY
RENOVATION 2021**

7300 GREENVILLE RD
ELKTON, KENTUCKY 42220
CONTRACT 20200821

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FROM THE DRAWING BORDER.

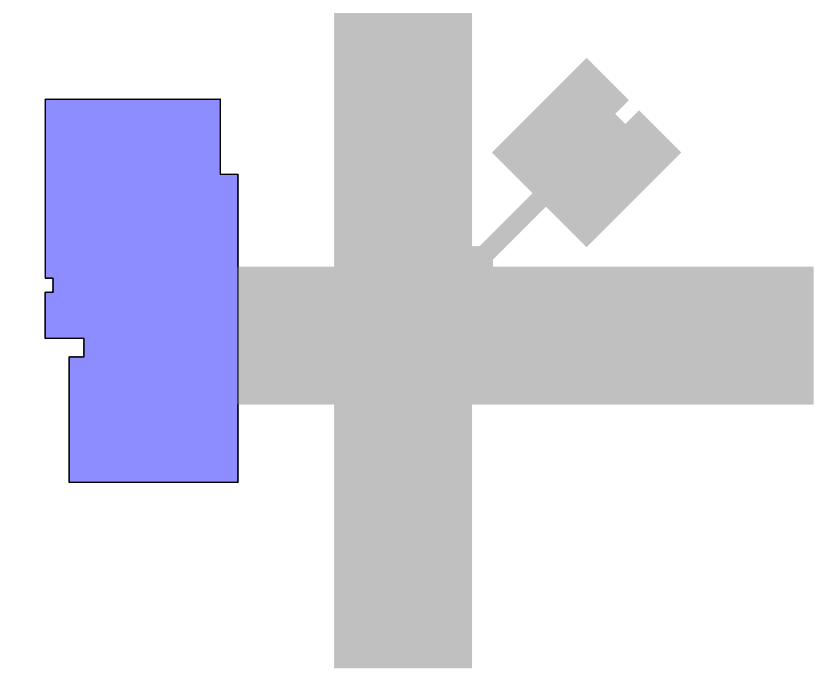
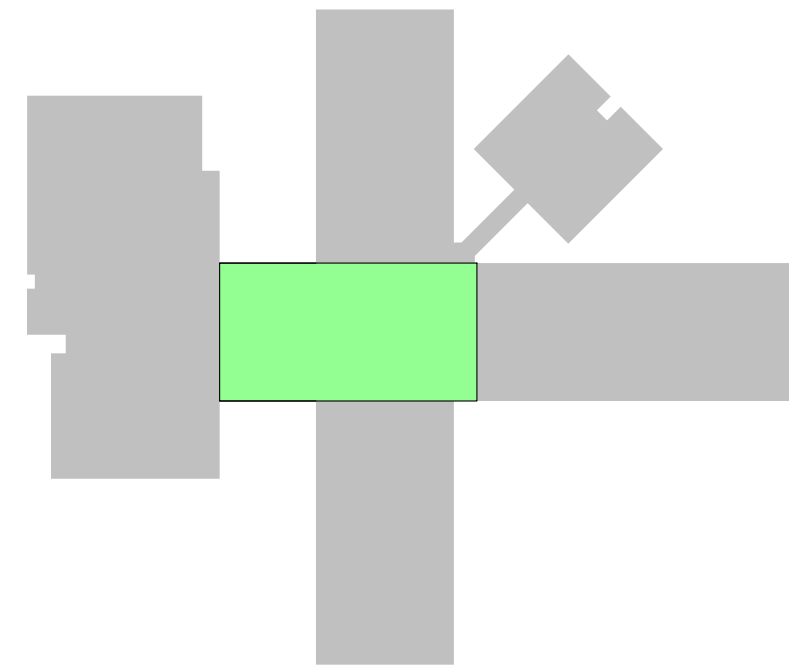
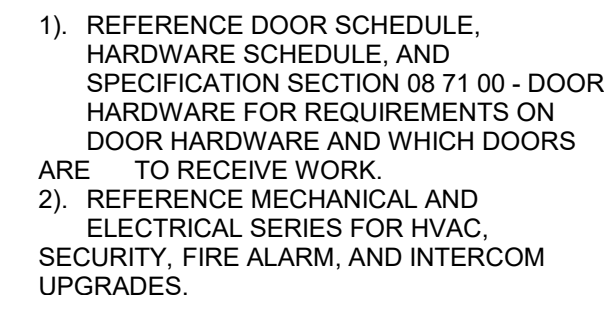
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DEMOLITION FIRST
FLOOR PLAN

D1.00

ARCHITECTURAL



KEY

ROOMS AND DIMENSIONS:

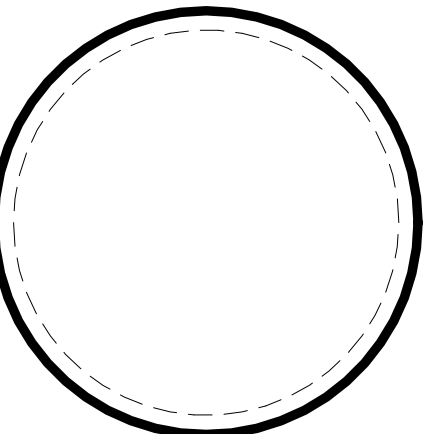
- REF: 10' - 1 3/8" x 14' - 2"
- FZR: 14' - 2" x 9' - 0"
- WASH/DRY: 9' - 0" x 5' - 3"
- OFFICE: 9' - 0" x 5' - 3"
- FOOD PREP: 5' - 3" x 12' - 5"
- SERVING LINES: 58' - 2" x 14' - 0"
- RR: 7' - 0" x 7' - 1"
- BREAK: 8' - 0" x 5' - 3"
- DRY STORAGE: 22' - 4" x 15' - 4"
- Room 117: 19' - 4" x 27' - 0"
- DISH WASH: 10' - 0" x 5' - 0"
- TRASH OUT: 16' - 8" x 7' - 5"
- SUPPLY: 16' - 8" x 16' - 0"
- TEACHERS ROOM: 12' - 8" x 18' - 3"
- CAFETERIA: 67' - 4 1/4" x 52' - 0"
- ART 702: 36' - 8" x 22' - 0"
- MENS 108: 5' - 0" x 4' - 0"
- WOMENS 109: 5' - 0" x 4' - 0"
- LOUNGE 510: 32' - 8" x 12' - 0"
- MUSIC 701: 32' - 8" x 12' - 0"
- WK ROOM 508: 12' - 0" x 12' - 0"
- OFFICE 601B: 12' - 4" x 9' - 4"
- ALCOVE 102: 34' - 0" x 5' - 0"
- PE STOR 601A: 5' - 0" x 5' - 0"
- GYMNASIUM 601: 85' - 4" x 56' - 4"

EXITS: EX13, EX14, EX15, EX16, EX17, EX18, EX19, EX20, EX21, EX22, EX23, EX24, EX25, EX26, EX27, EX28, EX29, EX30, EX31, EX32, EX33, EX34, EX35, EX36, EX37, EX38, EX39, EX40, EX41, EX42, EX43, EX44, EX45, EX46, EX47, EX48, EX49, EX50, EX51, EX52, EX53, EX54, EX55, EX56, EX57, EX58, EX59, EX60, EX61, EX62, EX63, EX64, EX65, EX66, EX67, EX68, EX69, EX70, EX71, EX72, EX73, EX74, EX75, EX76, EX77, EX78, EX79, EX80, EX81, EX82, EX83, EX84, EX85, EX86, EX87, EX88, EX89, EX90, EX91, EX92, EX93, EX94, EX95, EX96, EX97, EX98, EX99, EX100.

1	DEMOLITION ENLARGED PLAN - AREA A 1" = 10'-0"
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DESIGN PROFESSIONAL



LAN REVIEWER

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BY	FAB,CLP
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DATE	02/17/2021
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SET	CLIENT REVIEW
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[illegible]

NORTH TODD COUNTY
ELEMENTARY
RENOVATION 2021

7300 GREENVILLE RD
ELKTON, KENTUCKY 42221
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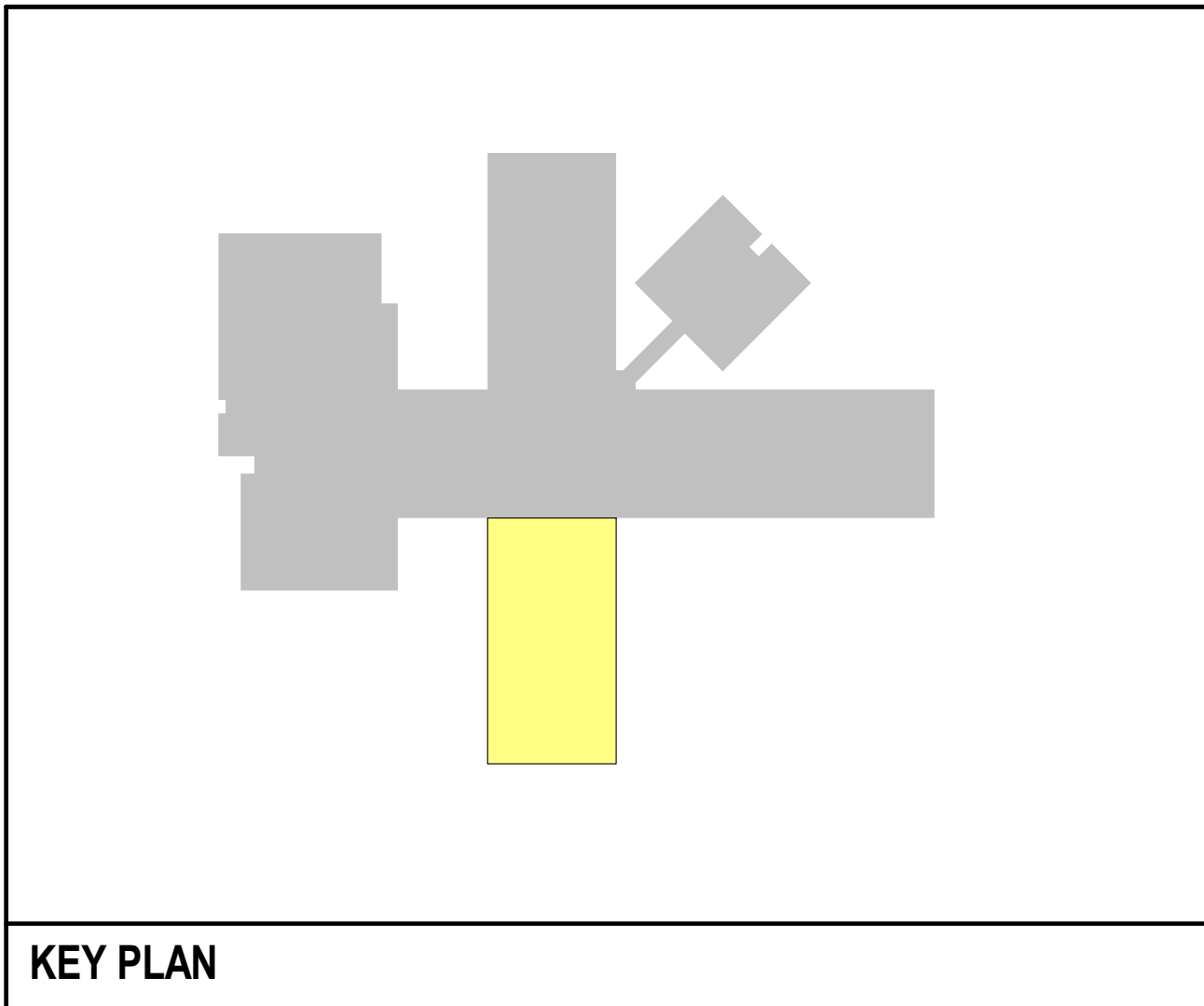
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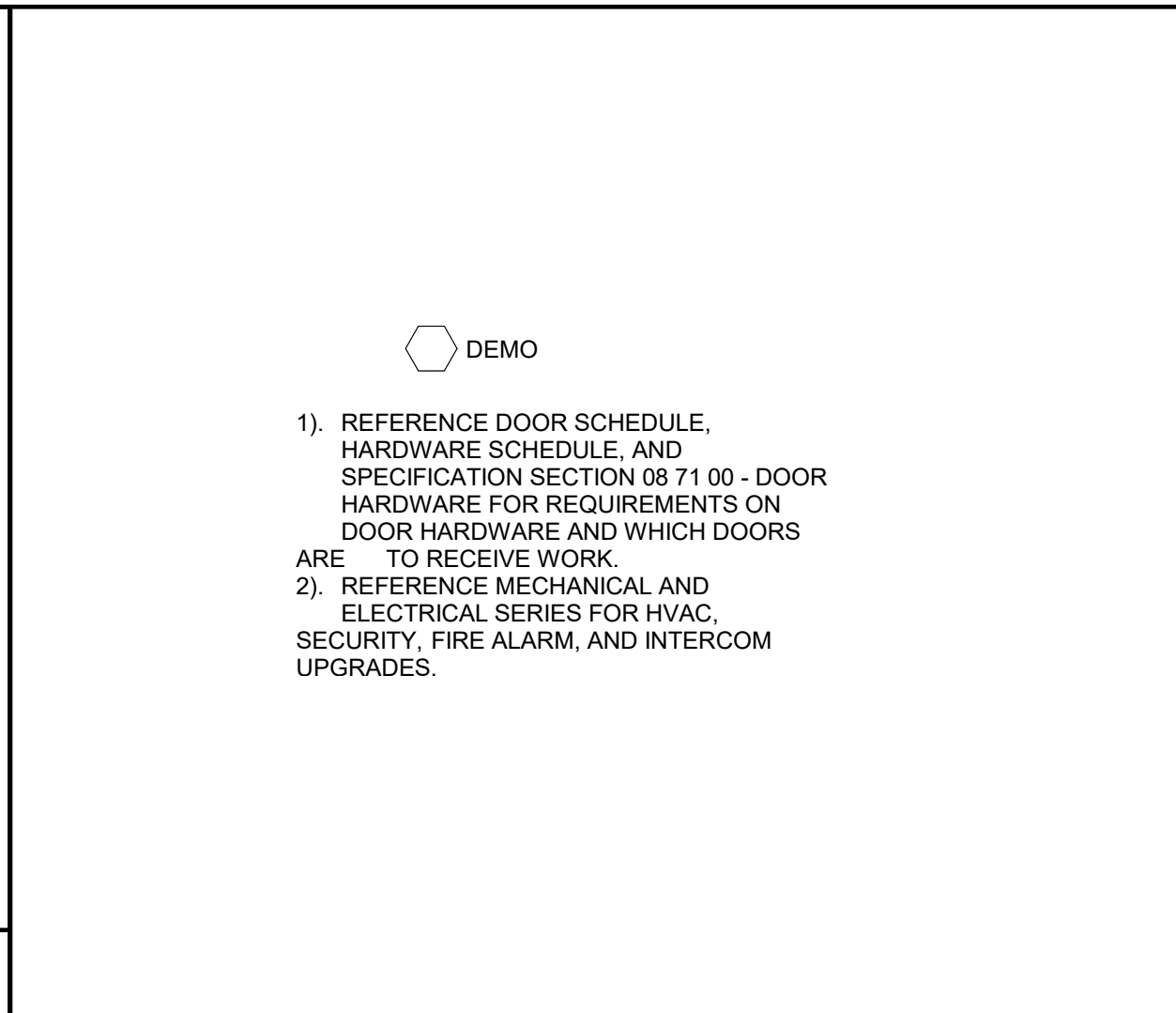
DEMOLITION ENLARGED
AREA A & B

D1.01

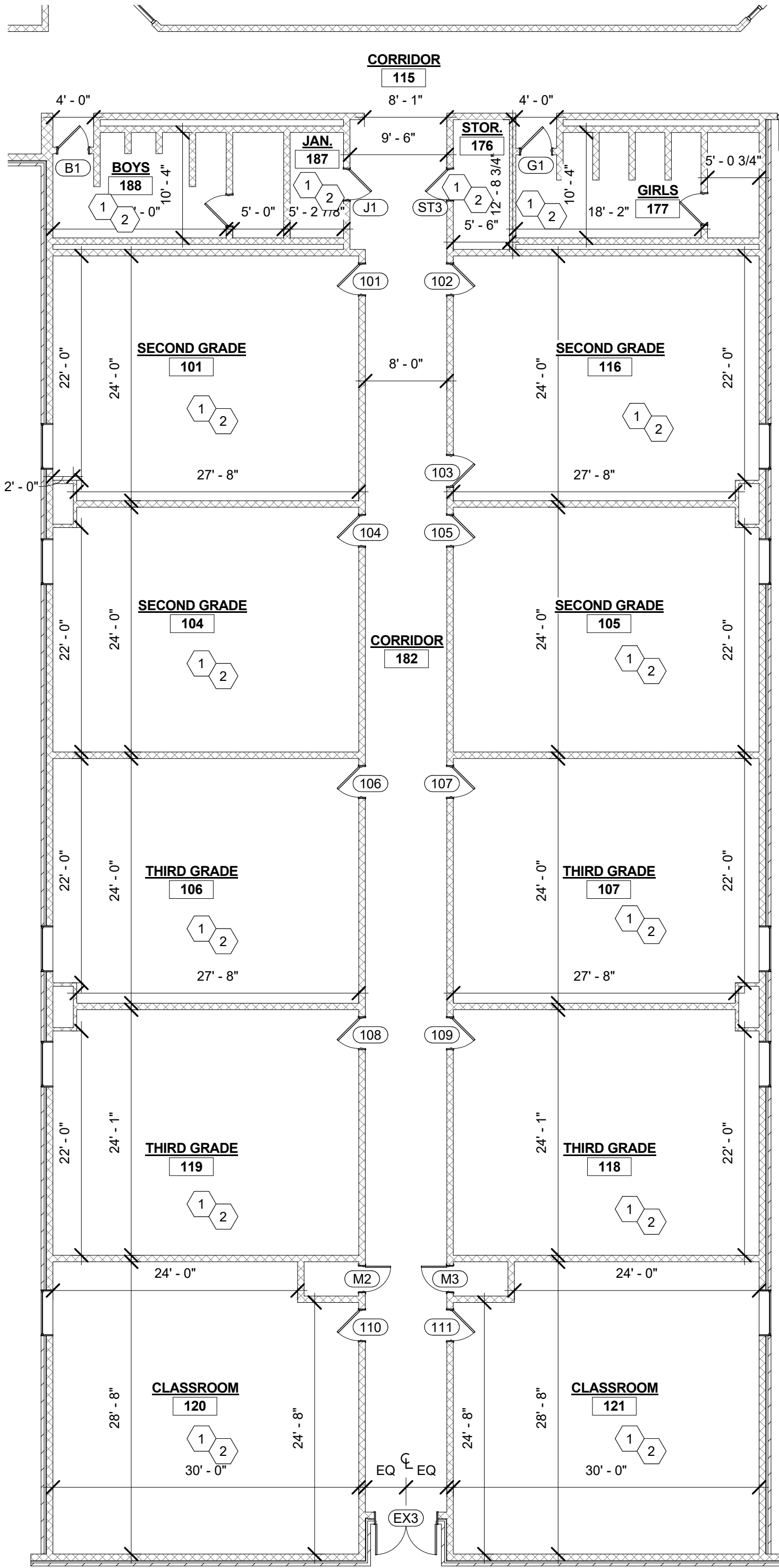
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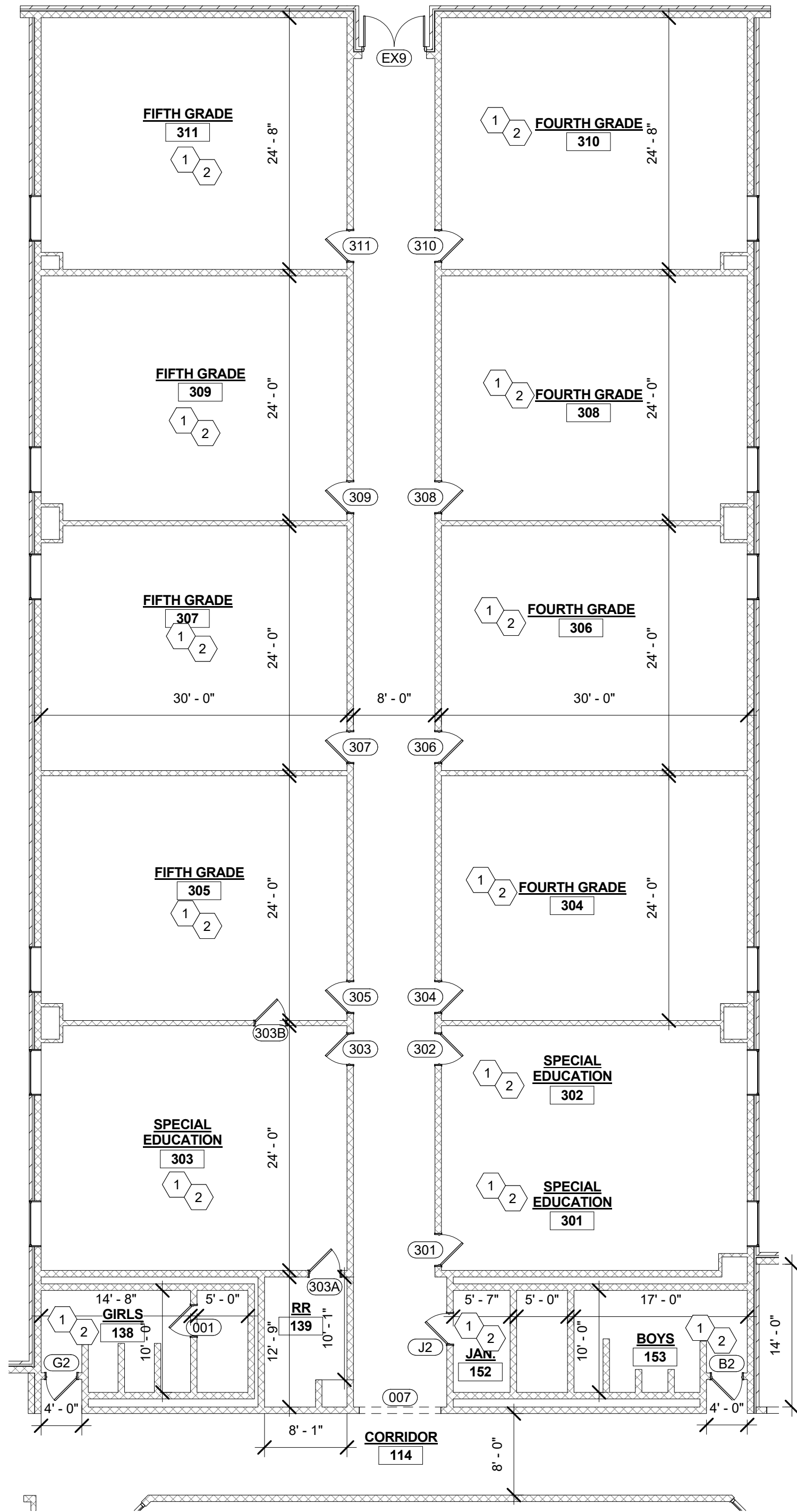
KEY PLAN



KEY PLAN



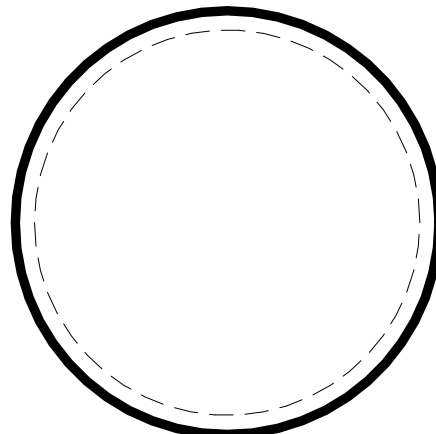
2 DEMOLITION ENLARGED PLAN - AREA D
1" = 10'-0"



1 DEMOLITION ENLARGED PLAN - AREA C
1" = 10'-0"



DESIGN PROFESSIONAL



PLAN REVIEWER

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DEMOLITION ENLARGED
AREA C & D

D1.02

ARCHITECTURAL

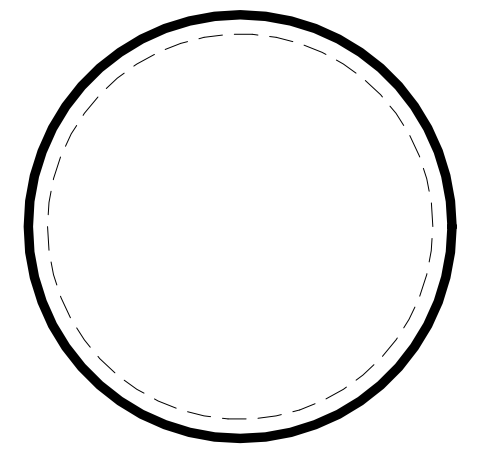


1 FLOOR PLAN - FIRST FLOOR
1/16" = 1'-0"

KEY PLAN

PRELIMINARY:
NOT FOR
CONSTRUCTION

DESIGN PROFESSIONAL



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DATE 02/17/2021

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REVISION DESCRIPTION

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REVISION	DESCRIPTION
X	DDMMYYYY REVISION DESCRIPTION

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FIRST FLOOR PLAN

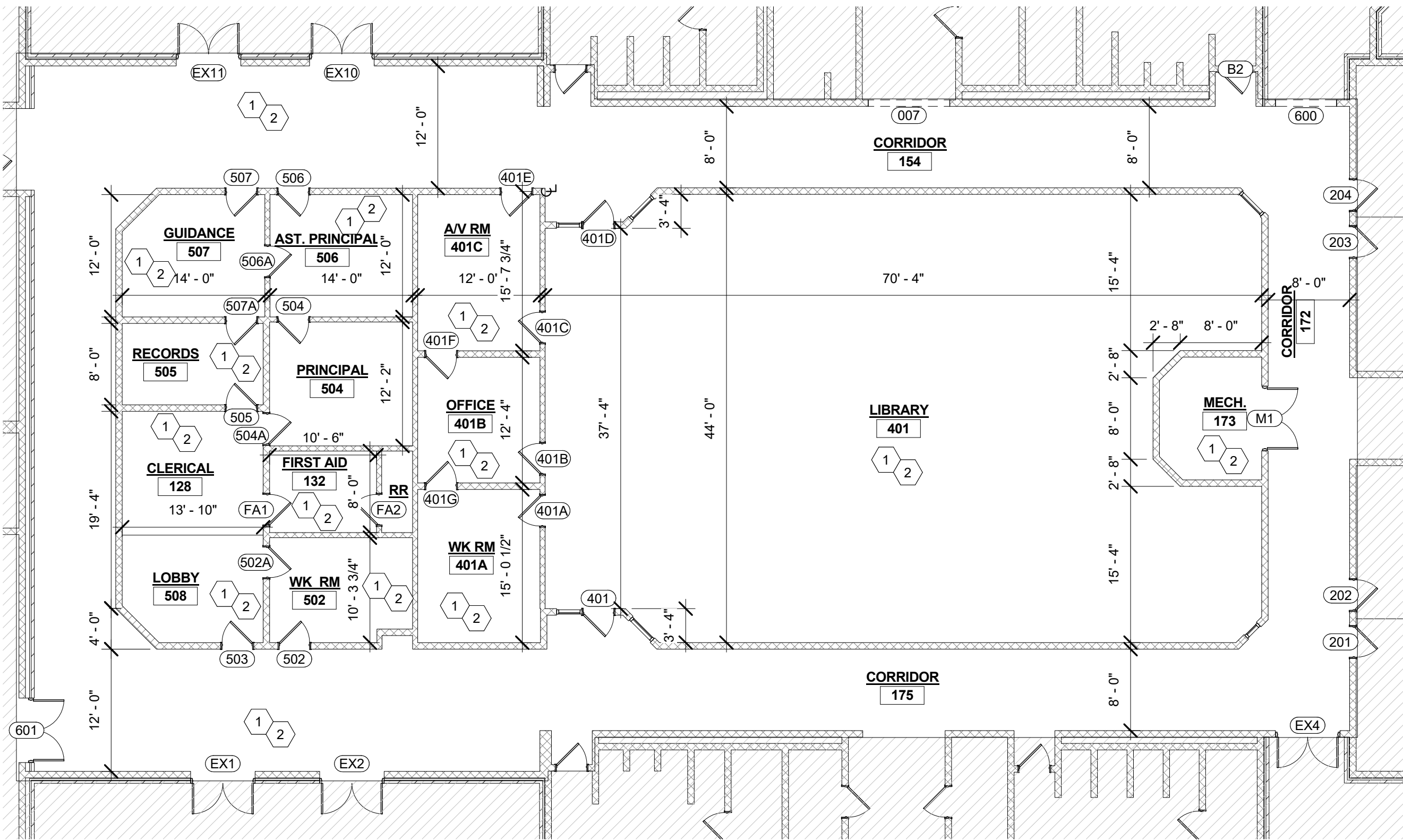
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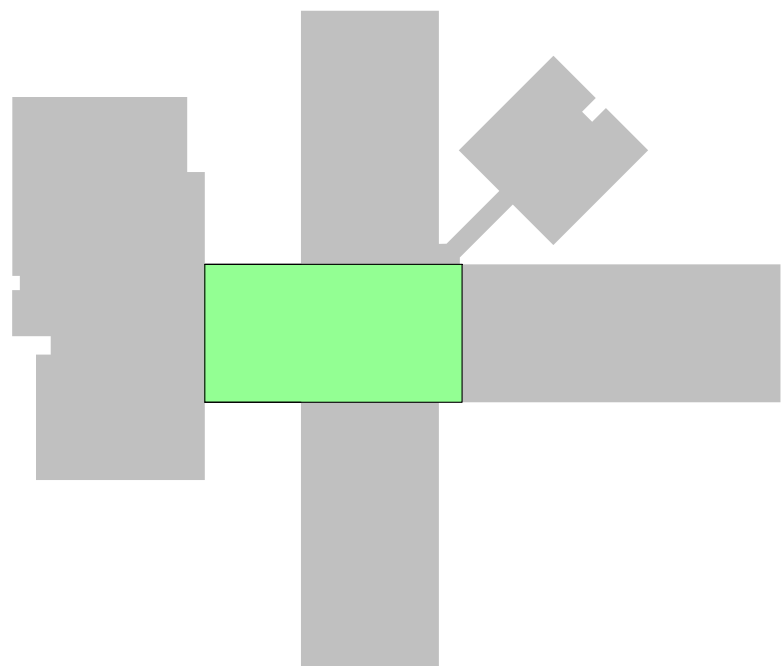
SHEET

- 1). REFERENCE DOOR SCHEDULE, HARDWARE SCHEDULE, AND SPECIFICATION SECTION 08 71 00 - DOOR HARDWARE FOR REQUIREMENTS ON DOOR HARDWARE AND WHICH DOORS ARE TO RECEIVE WORK.
- 2). REFERENCE MECHANICAL AND ELECTRICAL SERIES FOR HVAC, SECURITY, FIRE ALARM, AND INTERCOM UPGRADES.

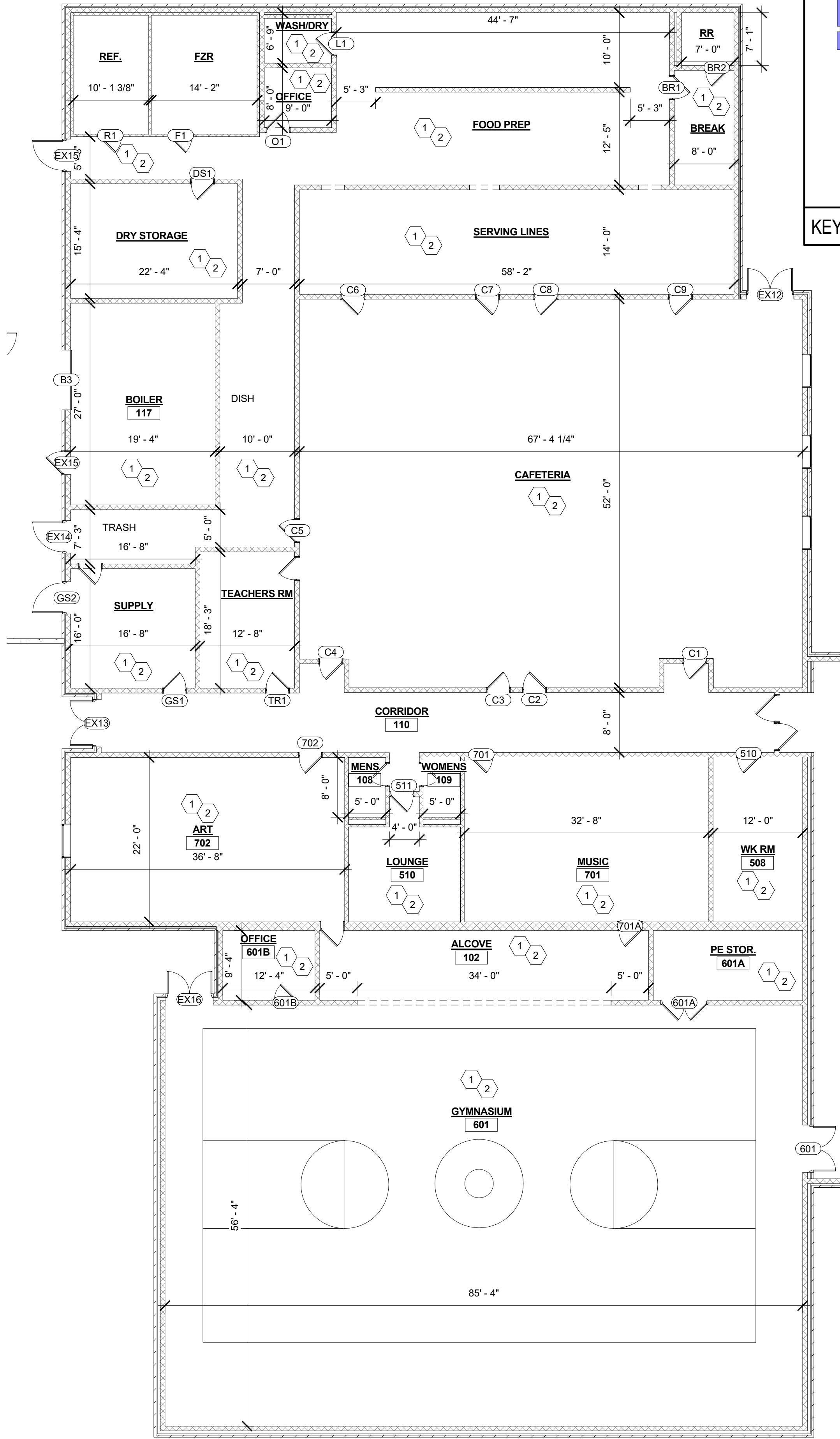
KEY PLAN



2 ENLARGED PLAN - AREA B
1" = 10'-0"

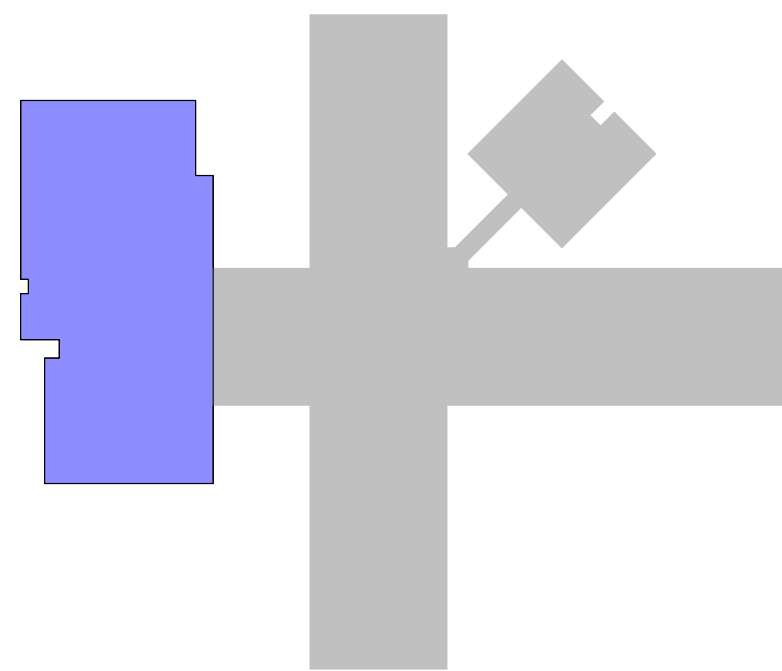


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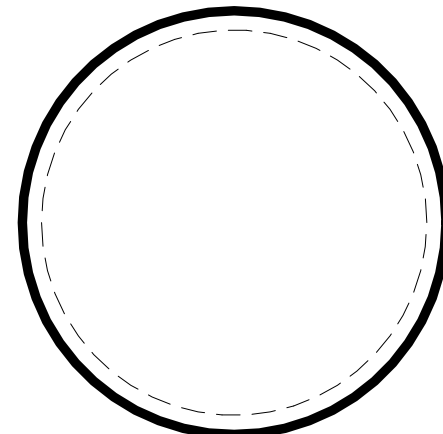


1 ENLARGED PLAN - AREA A
1" = 10'-0"

KEY PLAN



DESIGN PROFESSIONAL



PLAN REVIEWER

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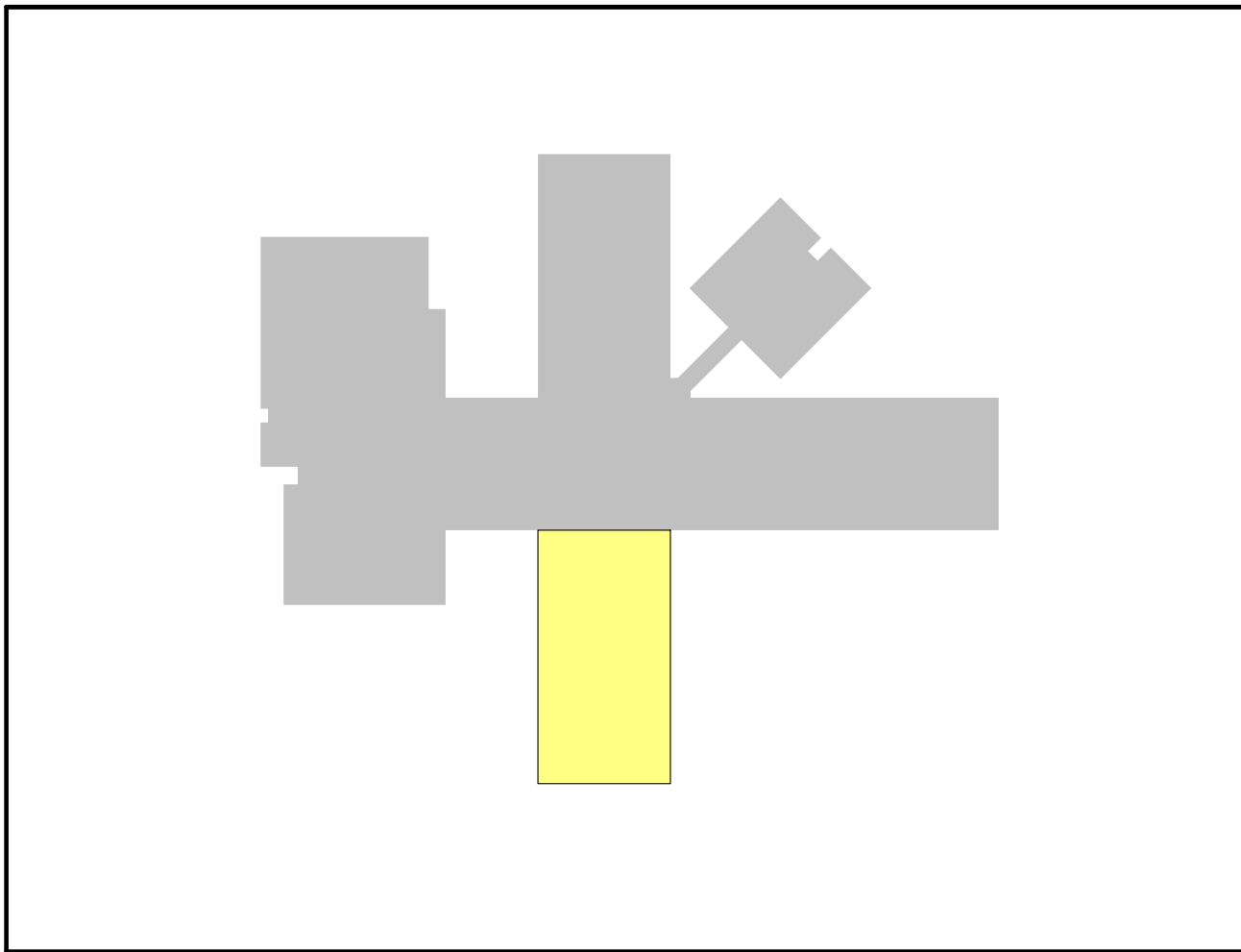
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ENLARGED AREA A & B

A1.01

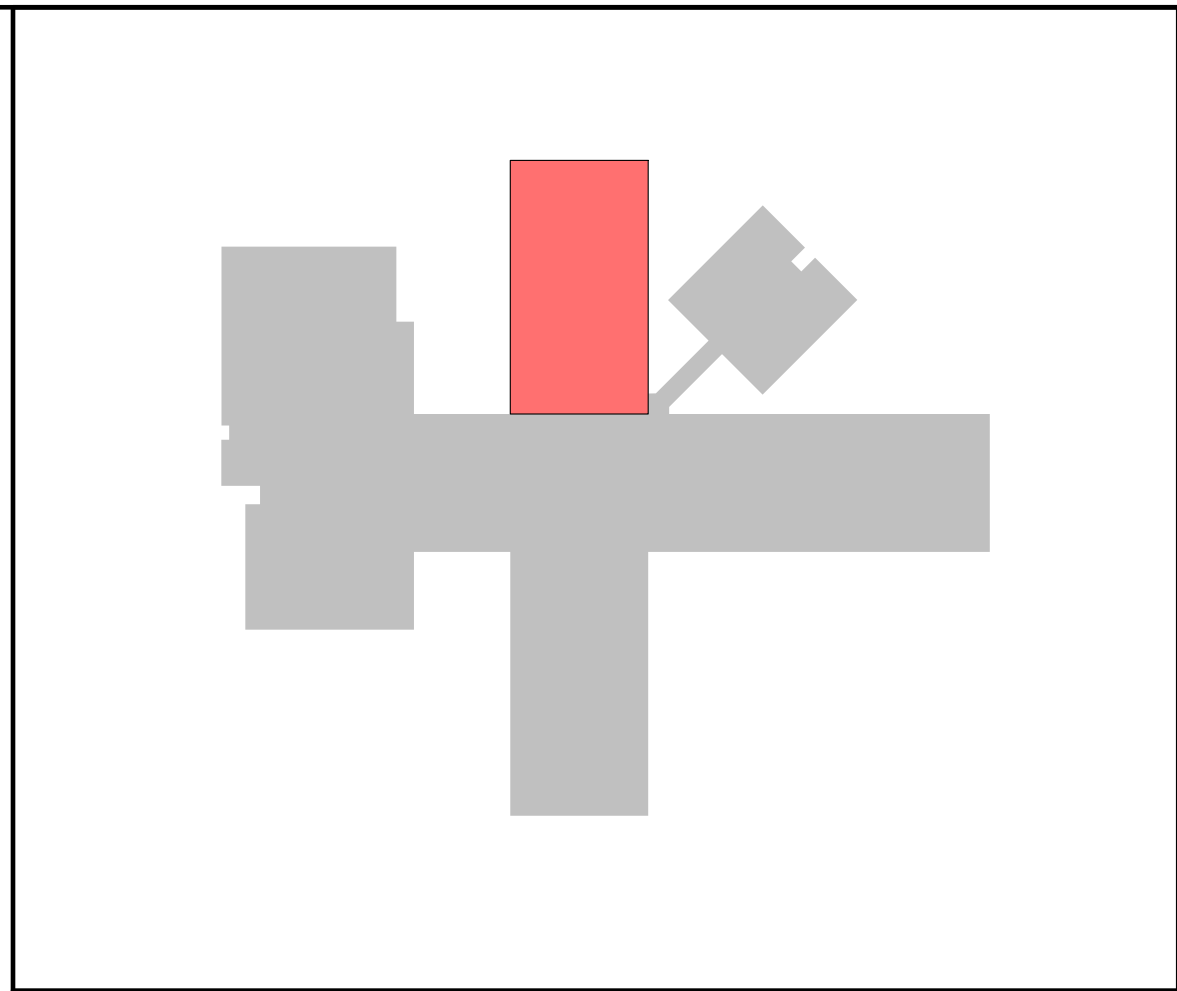
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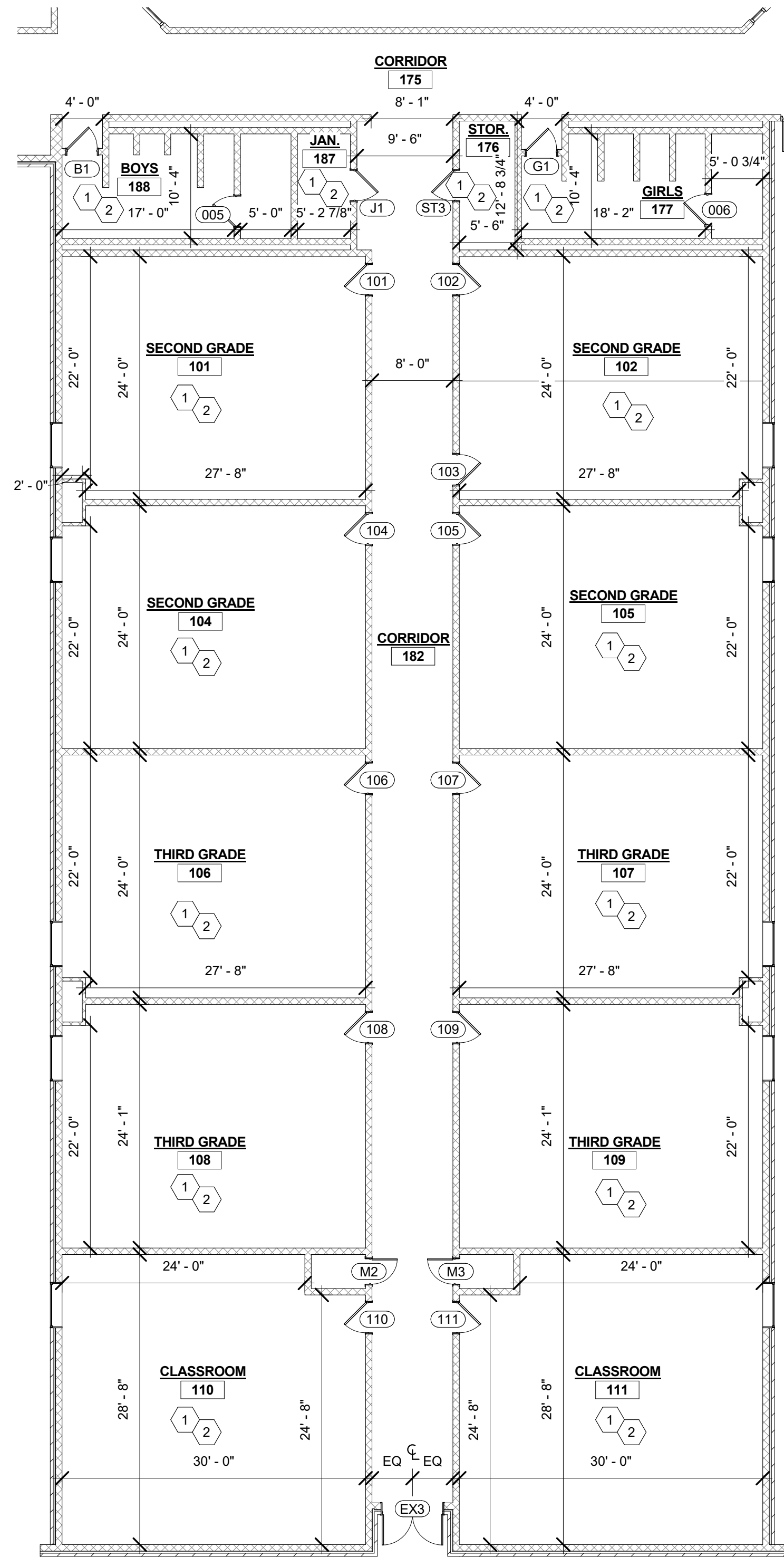
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SHEET

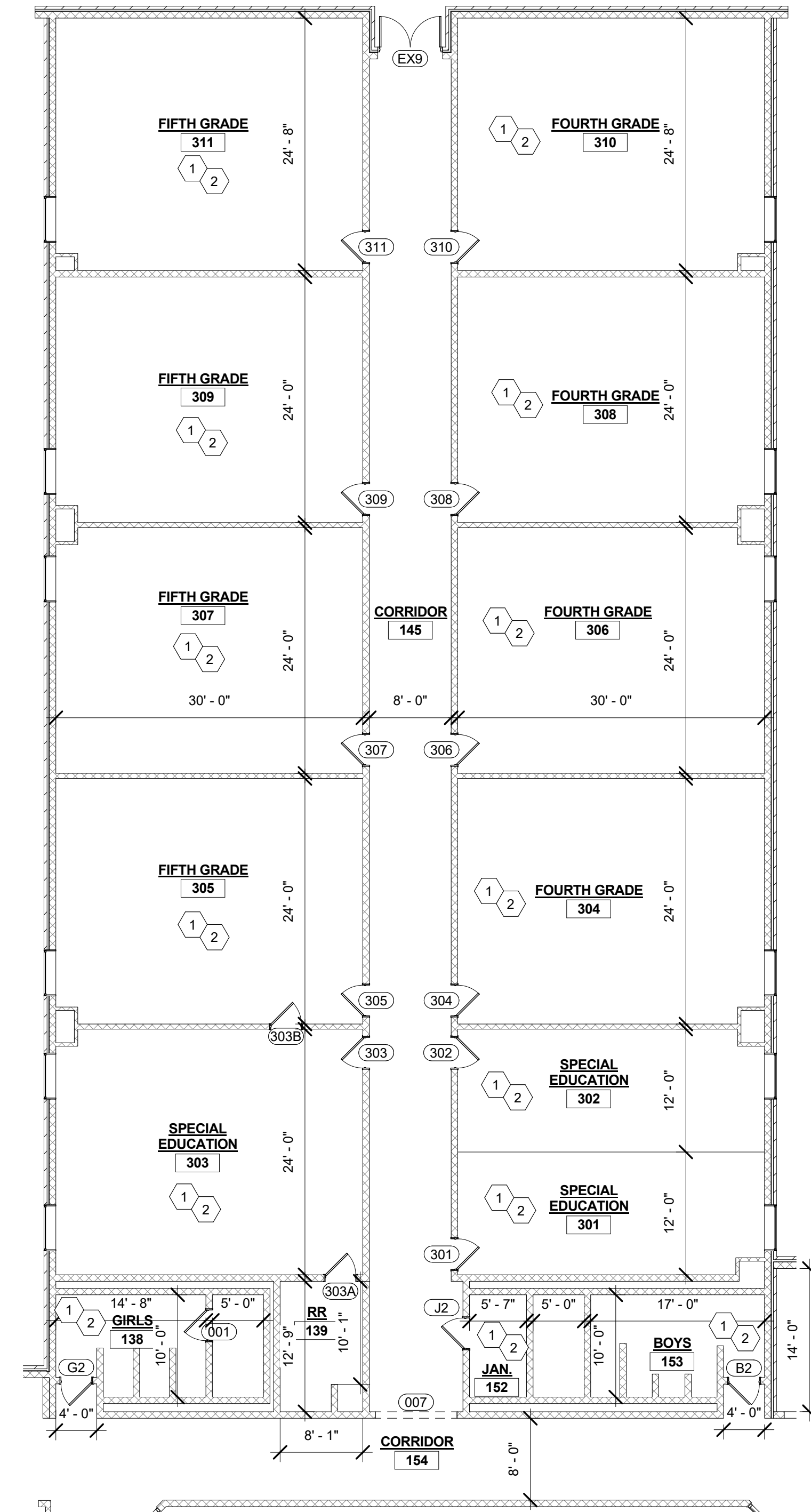
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KEY PLAN



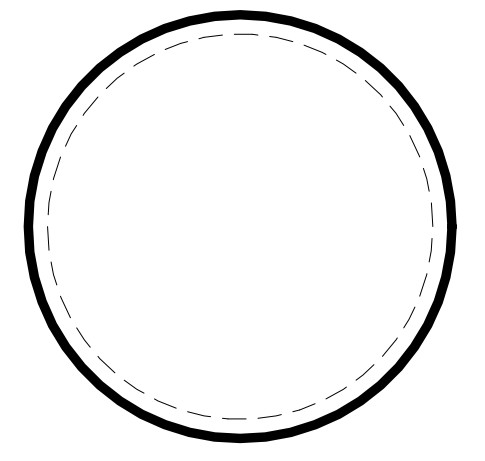
2 ENLARGED PLAN - AREA D
1" = 10'-0"



1 ENLARGED PLAN - AREA C
1" = 10'-0"



DESIGN PROFESSIONAL



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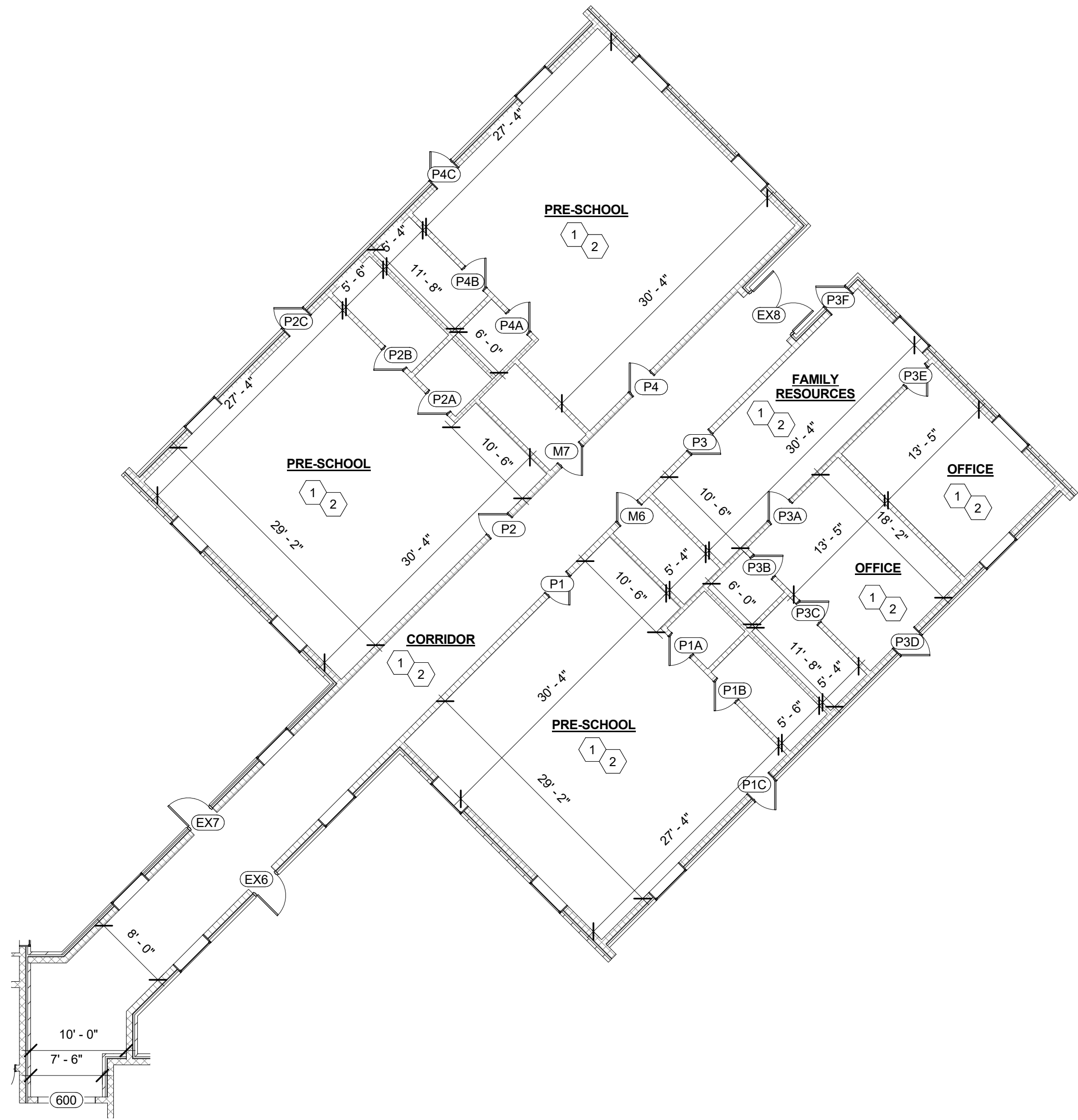
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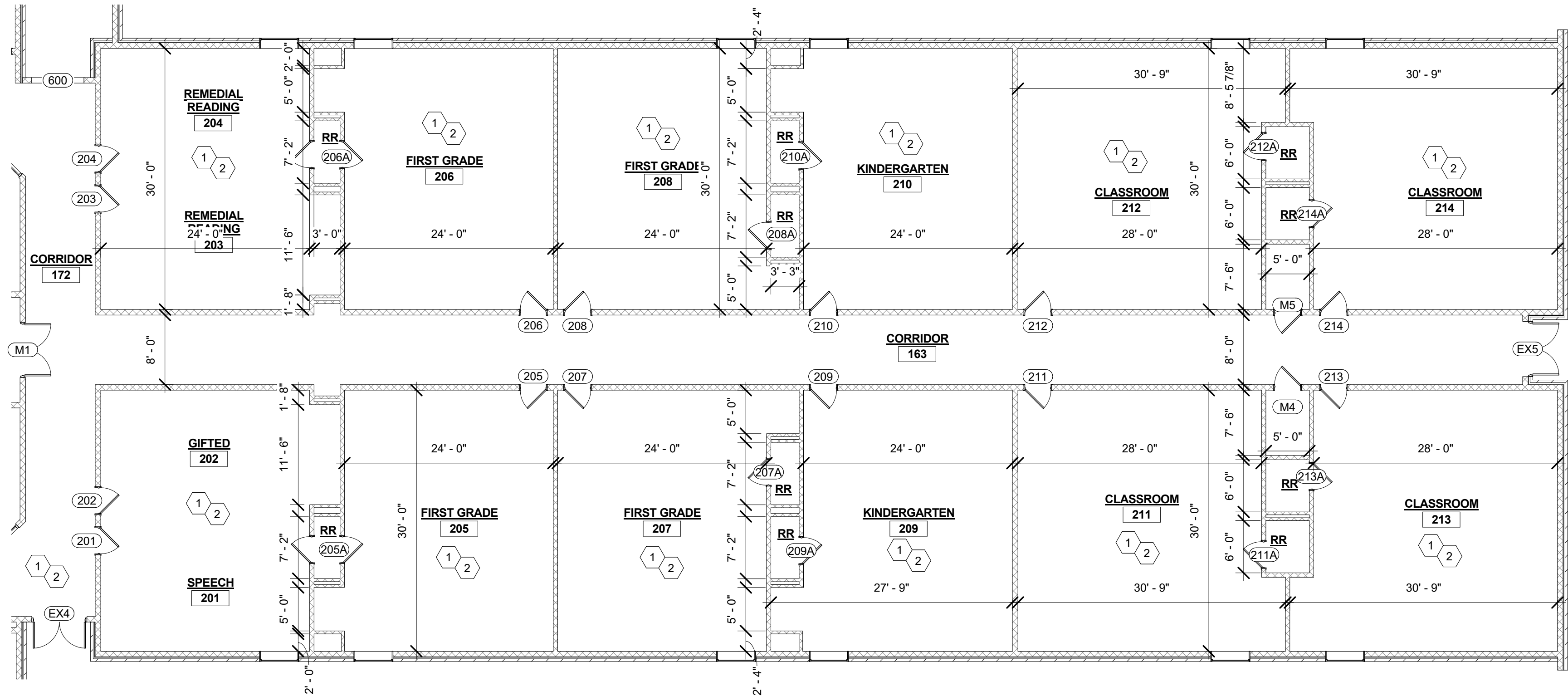
ENLARGED AREA C & D

A1.02

ARCHITECTURAL



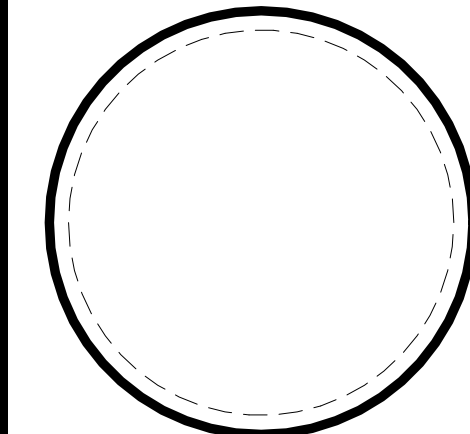
2 ENLARGED PLAN - AREA F
1" = 10'-0"



1 ENLARGED PLAN - AREA E
1" = 10'-0"



DESIGN PROFESSIONAL



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
















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ENLARGED AREA E & F




A1.03

ARCHITECTURAL



















ELECTRICAL LEGEND - LIGHTING

SYMBOL	DESCRIPTION
	CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.
	CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.
	CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.
	REMOTE HEAD, CONTROLLED BY EXIT LIGHT.
	CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.
	WALL OUTLET AND LIGHTING FIXTURE AS SCHEDULED.
	WALL MOUNTED EMERGENCY LIGHT AS SCHEDULED.
	WALL OUTLET AND LIGHTING FIXTURE AS SCHEDULED.
	SYMBOL INDICATES FIXTURE TYPE WHEN SHOWN ON LIGHTING PLANS ADJACENT TO FIXTURE SYMBOL. REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE REQUIREMENTS.
	OUTLET BOX AND 20-AMP, SINGLE-POLE SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.
	OUTLET BOX AND 20-AMP, THREE-WAY SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.
	OUTLET BOX AND 20-AMP, FOUR-WAY SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.
	OUTLET BOX AND 20-AMP, SINGLE-POLE DIMMER SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.
	OUTLET BOX AND 20-AMP, THREE-WAY DIMMER SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.
	OUTLET BOX AND 20-AMP, COMBINATION SWITCH AND OCCUPANCY SENSOR. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. OTHER TEXT INDICATES SWITCH CONFIGURATION AND CIRCUIT SWITCHED AS OTHER NON-OCCUPANCY SENSOR SWITCHES.
	OUTLET BOX AND 10-AMP, COMBINATION SWITCH AND LOW-VOLTAGE (0-10V) DIMMER. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. OTHER TEXT INDICATES SWITCH CONFIGURATION AND CIRCUIT SWITCHED AS OTHER NON-DIMMER SWITCHES.
	CEILING-MOUNT OCCUPANCY SENSOR. THE LETTER(S) DESIGNATION ADJACENT TO THE SYMBOL (IF SHOWN) INDICATE SWITCHING ZONES TO BE CONTROLLED BY THE SENSOR. IF A LETTER DESIGNATION IS NOT SHOWN, THE SENSOR SHALL CONTROL ALL LIGHTING FIXTURES WITHIN THE ROOM.
	WALL-MOUNT OCCUPANCY SENSOR. THE LETTER(S) DESIGNATION ADJACENT TO THE SYMBOL (IF SHOWN) INDICATE SWITCHING ZONES TO BE CONTROLLED BY THE SENSOR. IF A LETTER DESIGNATION IS NOT SHOWN, THE SENSOR SHALL CONTROL ALL LIGHTING FIXTURES WITHIN THE ROOM.














ELECTRICAL LEGEND - TELCOM

SYMBOL	DESCRIPTION
	VOICE/DATA OUTLET. MOUNT OUTLET BOX AT 18 INCHES A.F.F. TO CENTER (EVEN WITH ADJACENT RECEPTACLE IF PRESENT) OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPASH TO CENTER, UNLESS NOTED OTHERWISE. PROVIDE 1 INCH CONDUIT WITH PULLSTRING FROM OUTLET BOX TO NEAREST ACCESSIBLE CEILING CAVITY. BUSH CONDUIT ENDS. OUTLET BOX SHALL BE 4 INCH SQUARE BY 2-3/4 INCH DEEP WITH A SINGLE GANG PLASTER RING, UNLESS NOTED OTHERWISE. "W" TEXT ADJACENT TO SYMBOL DENOTES WALL PHONE LOCATION (MOUNT AT 56 INCHES A.F.F. TO CENTER), WHERE SHOWN ADJACENT TO A POWER RECEPTACLE, INSTALL OUTLET AT SAME HEIGHT, WITHIN 6 INCHES OF RECEPTACLE, UNLESS OTHERWISE NOTED.
	VIDEO MONITOR OUTLET. MOUNT OUTLET BOX AT 18 INCHES A.F.F. TO CENTER (EVEN WITH ADJACENT RECEPTACLE). PROVIDE 1 INCH CONDUIT FROM OUTLET BOX TO NEAREST ACCESSIBLE ATTIC SPACE. BUSH CONDUIT ENDS. OUTLET BOX SHALL BE 4 INCH SQUARE BY 2-3/4 INCH DEEP WITH A SINGLE GANG PLASTER RING, UNLESS NOTED OTHERWISE.
	CEILING MOUNTED COMMUNICATIONS OUTLET BOX FOR WIRELESS ACCESS POINT. OUTLET BOX SHALL BE FOUR INCHES WITH A SINGLE GANG PLASTER RING.

ELECTRICAL LEGEND - POWER




SYMBOL	DESCRIPTION
	WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. MOUNT 18 INCHES ABOVE FINISHED FLOOR TO TO CENTER, UNLESS NOTED OTHERWISE.
	WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. MOUNT 48 INCHES ABOVE FINISHED FLOOR TO TO CENTER, OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPASH TO CENTER, UNLESS NOTED OTHERWISE.
	CEILING MOUNTED OUTLET WITH 20A, 125V DUPLEX RECEPTACLE.
	WALL OUTLET WITH 20A, 125V DOUBLE-DUPLEX RECEPTACLE. MOUNT 18 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE.
	WALL OUTLET WITH 20A, 125V DOUBLE-DUPLEX RECEPTACLE. MOUNT 48 INCHES ABOVE FINISHED FLOOR TO TO CENTER, OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPASH TO CENTER, UNLESS NOTED OTHERWISE.
	WALL OUTLET WITH SIMPLEX RECEPTACLE AS NOTED ON POWER PLANS.
	FLOOR OUTLET WITH DUPLEX RECEPTACLE AND 2 PORT DATA OUTLET.
	FLOOR OUTLET WITH DOUBLE-DUPLEX RECEPTACLE AND 2 PORT DATA OUTLET.
GFCI	SYMBOL INDICATES GROUND FAULT CIRCUIT INTERRUPTER TYPE RECEPTACLE WHEN SHOWN ADJACENT TO RECEPTACLE SYMBOL ON PLANS.
WP	SYMBOL INDICATES WESTHER-PROOF WHILE-IN-USE TYPE ENCLOSURE WHEN SHOWN ADJACENT TO RECEPTACLE SYMBOL ON PLANS.
1,3,5,...	NUMBER TEXT INDICATES CIRCUIT NUMBERS WHEN SHOWN ADJACENT TO SYMBOLS ON PLAN.
a,b,c,...	LOWER-CASE LETTER TEXT INDICATES CIRCUIT SWITCHING ARRANGEMENT WHEN SHOWN WITHIN OR ADJACENT TO SYMBOLS ON PLAN.
+48"	NUMBER TEXT INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR TO CENTER OF OUTLET BOX WHEN SHOWN ADJACENT TO SYMBOLS ON PLAN.
	WALL-MOUNT JUNCTION BOX AS NOTED ON PLANS.
	CEILING-MOUNT JUNCTION BOX AS NOTED ON PLANS.
	JUNCTION BOX WITH PHOTO EYE.
	WALL-MOUNT PUSH BUTTON FOR ADA DOORS. MOUNTED AT ADA REQUIRED HEIGHTS.
30A/3 NEMA 3R	 NON-FUSIBLE DISCONNECT SWITCH. TEXT INDICATES AMP AND ENCLOSURE RATINGS.
30A/3 NEMA 3R	 FUSIBLE DISCONNECT SWITCH. TEXT INDICATES AMP AND ENCLOSURE RATINGS.
30A/3 NEMA 3R	 COMBINATION MOTOR STARTER AND DISCONNECT WITH THERMAL OVERLOADS.
PHASE CONDUCTOR	 CIRCUIT. NUMBER OF CROSSBARS INDICATE QUANTITY OF CONDUCTORS REQUIRED. MINIMUM CONDUIT SIZE SHALL BE 3/4 INCH TRADE SIZE. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG.
GROUND NEUTRAL	
LP1-1,3,5	 HOME RUN TO PANEL. NUMBER OF ARROW HEADS INDICATES NUMBER OF CIRCUITS. PREFIX INDICATES PANEL NOMENCLATURE. NUMBERS INDICATE CIRCUIT NUMBERS.

FIRE ALARM LEGEND









TAG	DESCRIPTION	MOUNTING
	PHOTO ELECTRIC SMOKE DETECTOR	REPLACE CURRENT
	AUDIO VISUAL NOTIFICATION DEVICE	REPLACE CURRENT
	VISUAL NOTIFICATION DEVICE	REPLACE CURRENT
	HEAT DETECTOR ROR AND FIXED	REPLACE CURRENT
	MANUAL PULL STATION	REPLACE CURRENT
	ADDRESSABLE FIRE ALARM CONTROL PANEL	REPLACE CURRENT
	NOTIFICATION DEVICE POWER SUPPLY	REPLACE CURRENT
	ANNUNCIATOR PANEL	REPLACE CURRENT
	AUDIO-VISUAL NOTIFICATION DEVICE	SINGLE GANG 80-96" TO BOTTOM AFF
	NEW LOCATION - VISUAL NOTIFICATION DEVICE	SINGLE GANG 80-96" TO BOTTOM AFF
	NEW LOCATION - MANUAL PULL STATION	SINGLE GANG 42" TO BOTTOM AFF
	SPRINKLER WATERFLOW MONITOR	REPLACE CURRENT
	SPRINKLER TAMPER VALVE MONITOR	REPLACE CURRENT

1. Existing fire alarm device location. Remove device and wiring. Install blank cover plate.





PA SYSTEM LEGEND

TAG	DESCRIPTION	MOUNTING
INT	INTERCOM HEADEND - REPLACE WITH QUANTITY OF ZONES AND AMPLIFIERS TO ACCOMADATE SYSTEM MINIMUM 16 ROOM POINTS WITH CLASSROOM CALL IN.	RACK MOUNT
PH	INTERCOM SYSTEM PHONE - PERFORM FUNCTIONS OF NEW INTERCOM SYSTEM	DESK MOUNT
DP	DOOR PHONE - CALL IN STATION TO RING OFFICE INTERCOM PHONE	SURFACE MOUNT 44" TO BOTTOM AFF
	EXISTING INTERCOM SPEAKER, REUSE SPEAKER AND EXISTING CABLING.	CEILING
CB	CLASSROOM CALL IN BUTTON - NEW LOCATION	SINGLE GANG
	VANDAL RESITANT SURFACE MOUNT SPEAKER - NEW LOCATION	SURFACE
	2X2 LAY-IN CEILING SPEAKER - NEW LOCATION	CEILING
H	OUTDOOR HORN - NEW LOCATION	SURFACE

ACCESS CONTROL LEGEND

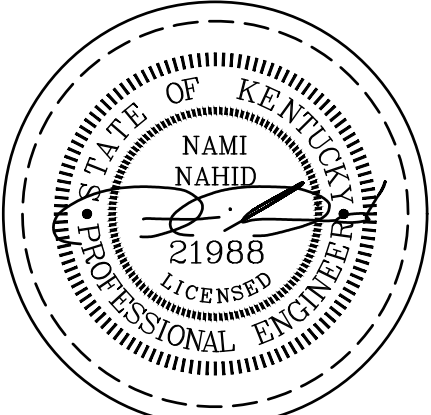
TAG	DESCRIPTION	MOUNTING
	WIRELESS LOCKSET	REPLACE CURRENT LOCKSET
	PANEL INERFACE MODULE	MOUNT ABOVE CEILING
	CARD READER	SINGLE GANG 44" TO BOTTOM AFF
	ELECTRONIC DOOR HARDWARE	NA
	REQUEST TO EXIT DEVICE	SINGLE GANG ABOVE DOOR HEADER
	DOOR POSITION SWITCH	3/4" HOLE IN FRAME AND DOOR
	DOOR POWER SUPPLY	SURFACE MOUNT 48" TO BOTTOM AFF
	ACCESS CNTRL HEADEND	MOUNT 48" TO BOTTOM AFF

CCTV LEGEND

TAG	DESCRIPTION	MOUNTING
	OUTDOOR BULLET CAMERA - SMP	SURFACE MOUNT BOX INCLUDED
	INDOOR DOME CAMERA - SMP	CEILING MOUNT
	FISHEYE CAMERA - 12MP	CEILING MOUNT
	VMS SERVER - HDD AND CHANNELS TO ACCOMADATE ALL CAMERAS	RACK MOUNT

GENERAL NOTES:

- ALL WORK SHALL BE DONE BY A LICENSED CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOBSITE SAFETY, INCLUDING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF BY THE CONTRACTOR, UNLESS NOTES OTHERWISE.
- THERE SHALL BE NOTHING ABANDONED IN PLACE, UNLESS SPECIFICALLY IDENTIFIED AS SUCH.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, INCLUDING ADDENDA, AND APPLICABLE CODES AND STANDARDS.
- ALL TRADES SHALL COORDINATE THE ROUTING AND INSTALLATION OF HIS WORK WITH THAT OF ALL OTHER TRADES THROUGH THE GENERAL CONTRACTOR.
- PROVIDE ALL EQUIPMENT, MATERIAL, LABOR, SUPERVISION, COST, AND SERVICES REQUIRED TO INSTALL COMPLETE AND WORKING SYSTEMS, INCLUDING ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLE, INCIDENTAL, OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFIED OR SHOWN.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES, INCLUDING THE NEC.
- SECURITY CONTRACTOR IS RESPONSIBLE FOR RACEWAYS, WIREWAYS, AND CONDUIT REQUIRED FOR THE INSTALLATION OF SECURITY DEVICES. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.



DESIGN PROFESSIONAL



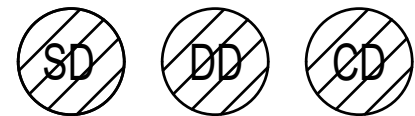
PLAN REVIEWER


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BY KEL - EJS

DATE 02/18/2021

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RENOVATION 2020

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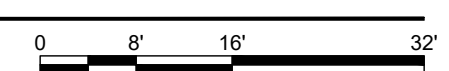
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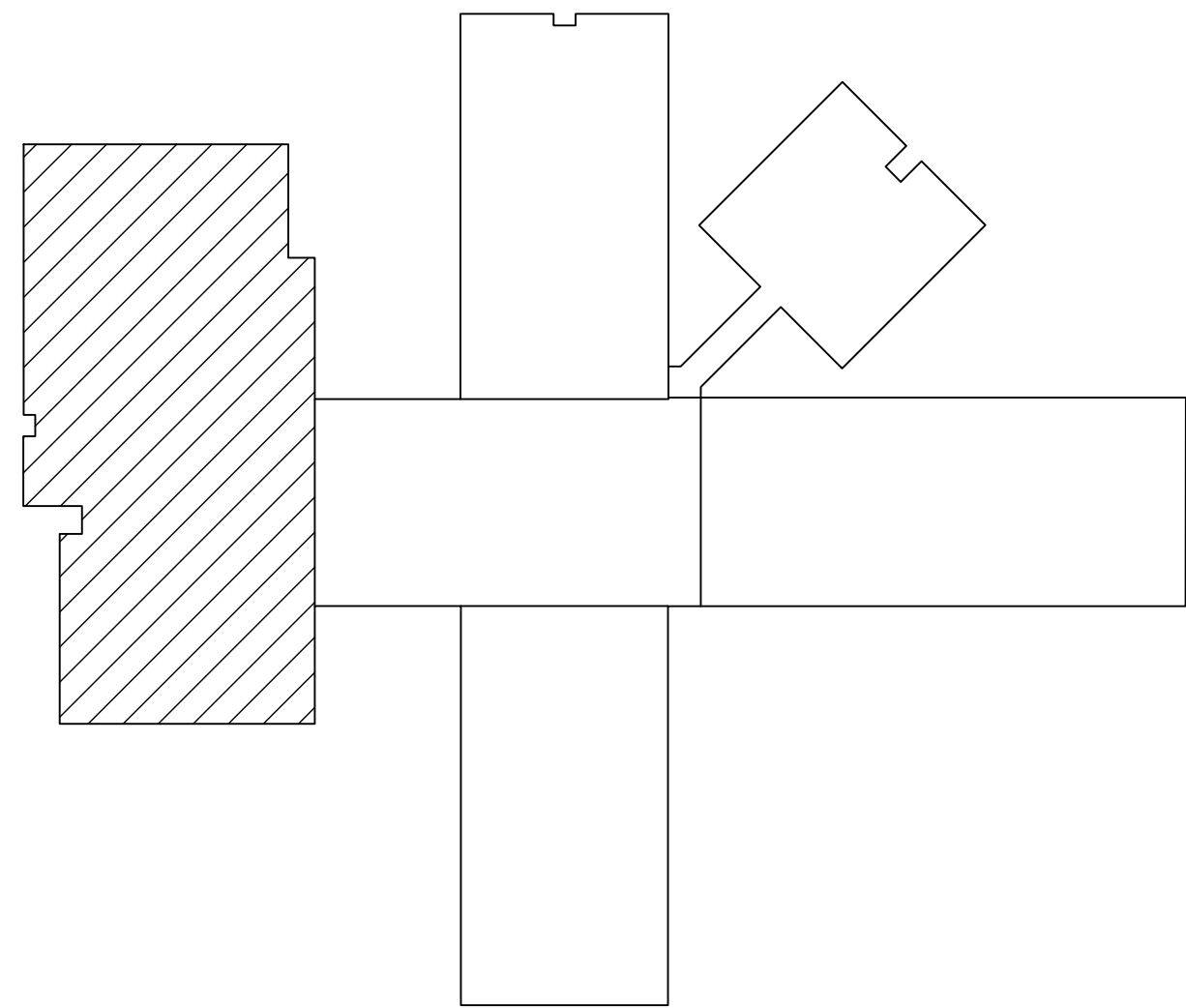
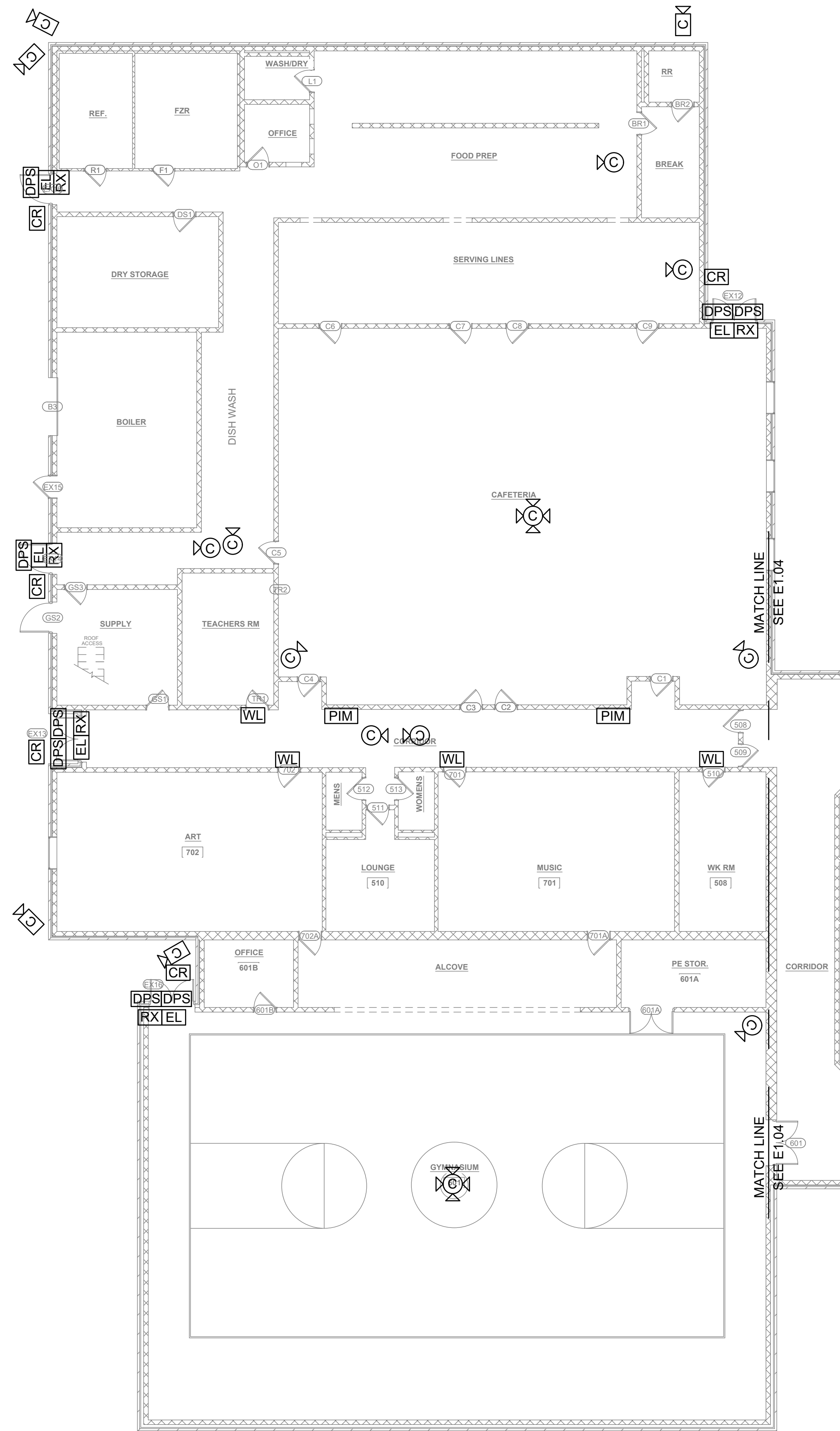
ELECTRICAL
LEGENDS

E0.01

ELECTRICAL

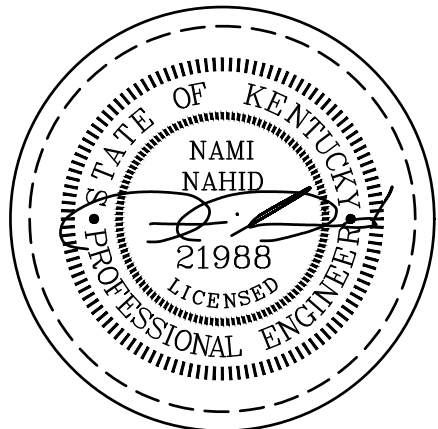






KEY PLAN - ENLARGED - AREA A

1 ENLARGED AREA - CCTV AND ACCESS CONTROL
SCALE: 3/32"=1'-0"



DESIGN PROFESSIONAL

SKY ENGINEERING
MECHANICAL - ELECTRICAL - PLUMBING
1000 S. MAIN ST. SUITE 103
BOWLING GREEN, KY 42304
270-999-0182

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DECO ARCHITECTS
Somerset, Kentucky
(606) 687 - 9233
www.decoarchitects.co

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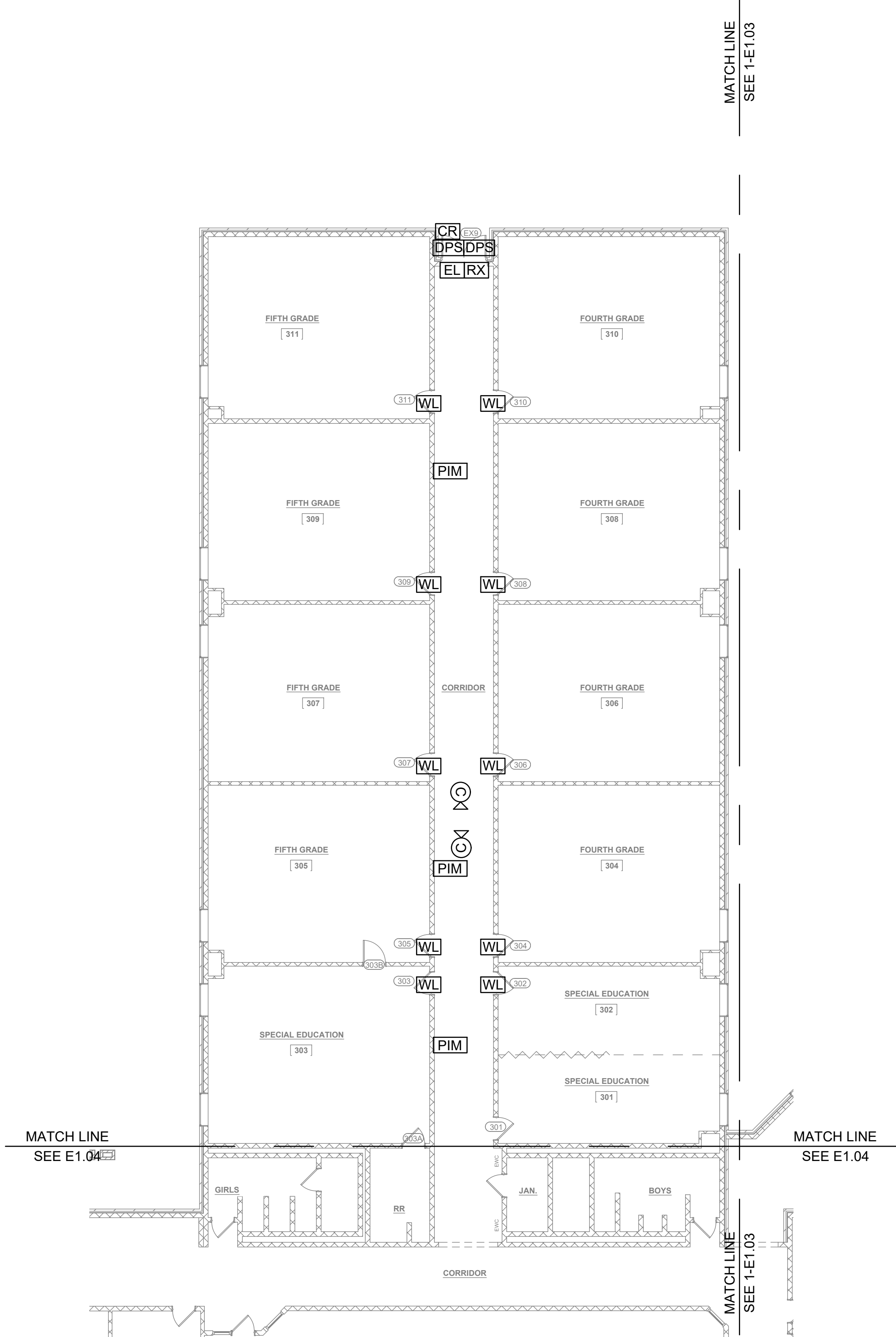
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CCTV AND ACCESS
CONTROL ENLARGED
AREA A

E1.01

ELECTRICAL



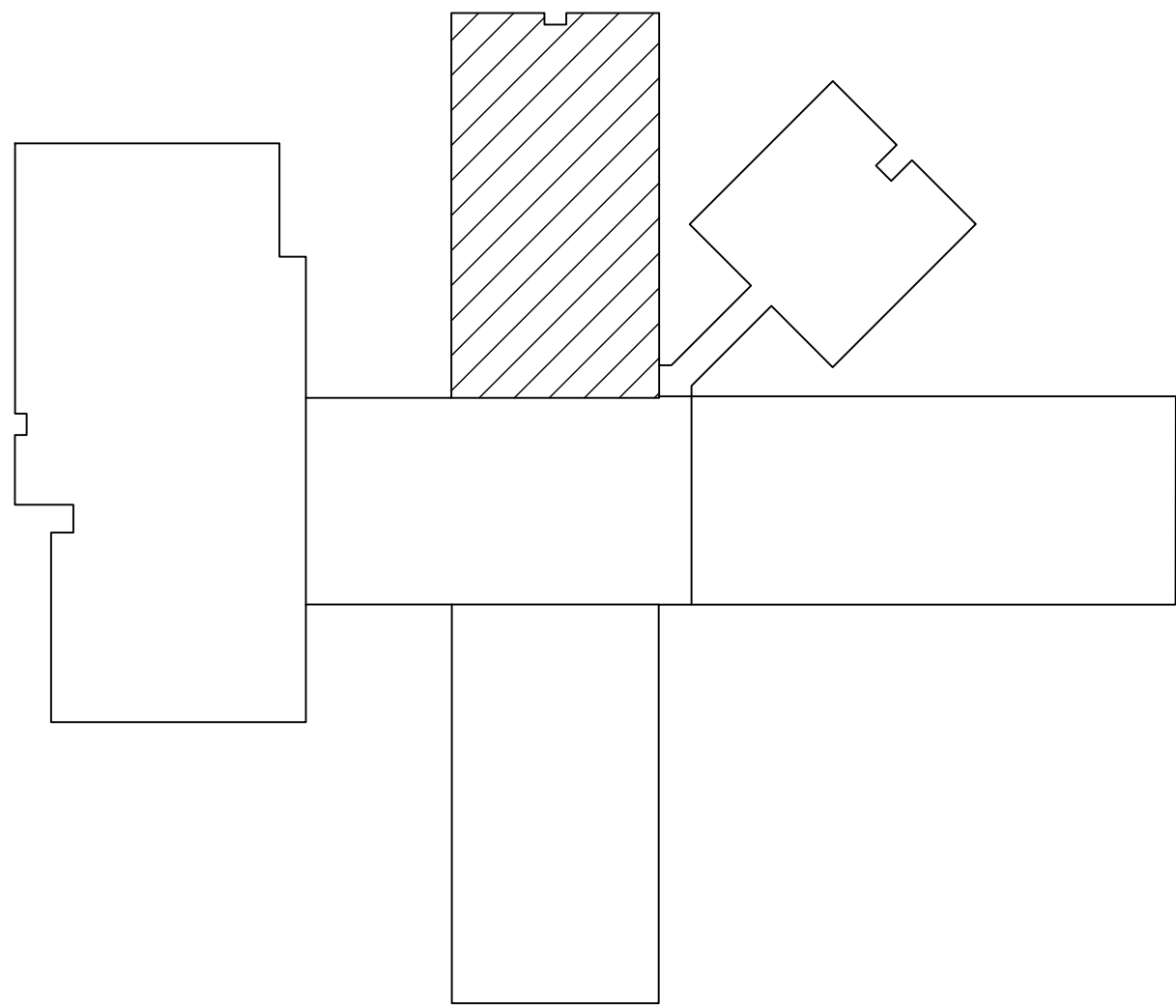
1 ENLARGED AREA - CCTV AND ACCESS CONTROL
SCALE: 3/32"=1'-0"

MATCH LINE
SEE 1-E1.03

MATCH LINE
SEE E1.04

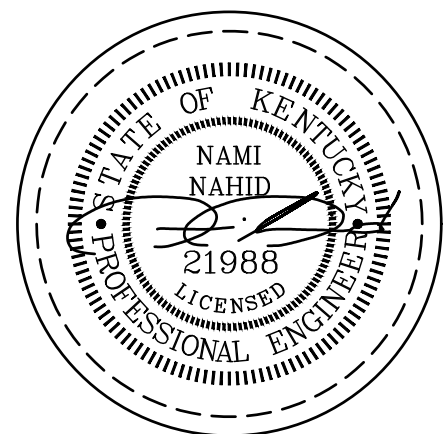
MATCH LINE
SEE E1.04

MATCH LINE
SEE 1-E1.03



KEY PLAN - ENLARGED - AREA B

NOT TO SCALE



DESIGN PROFESSIONAL



PLAN REVIEWER

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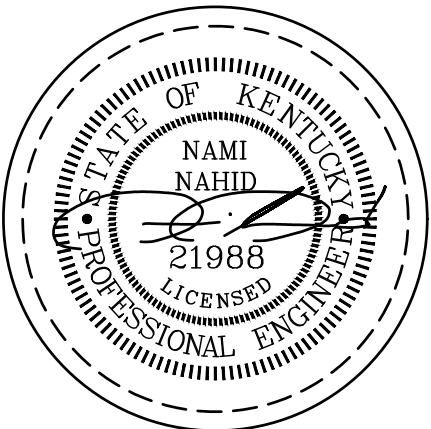
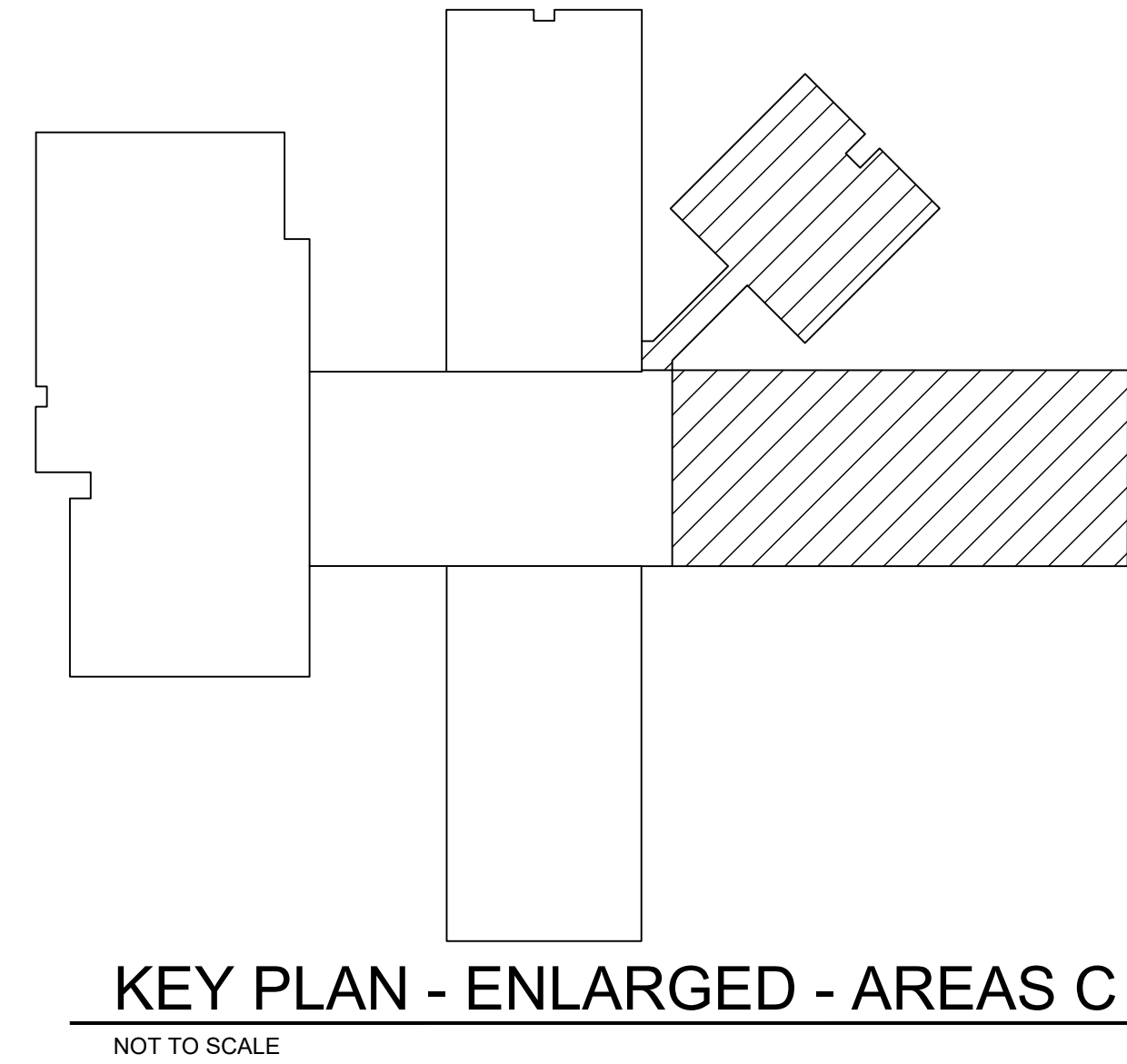
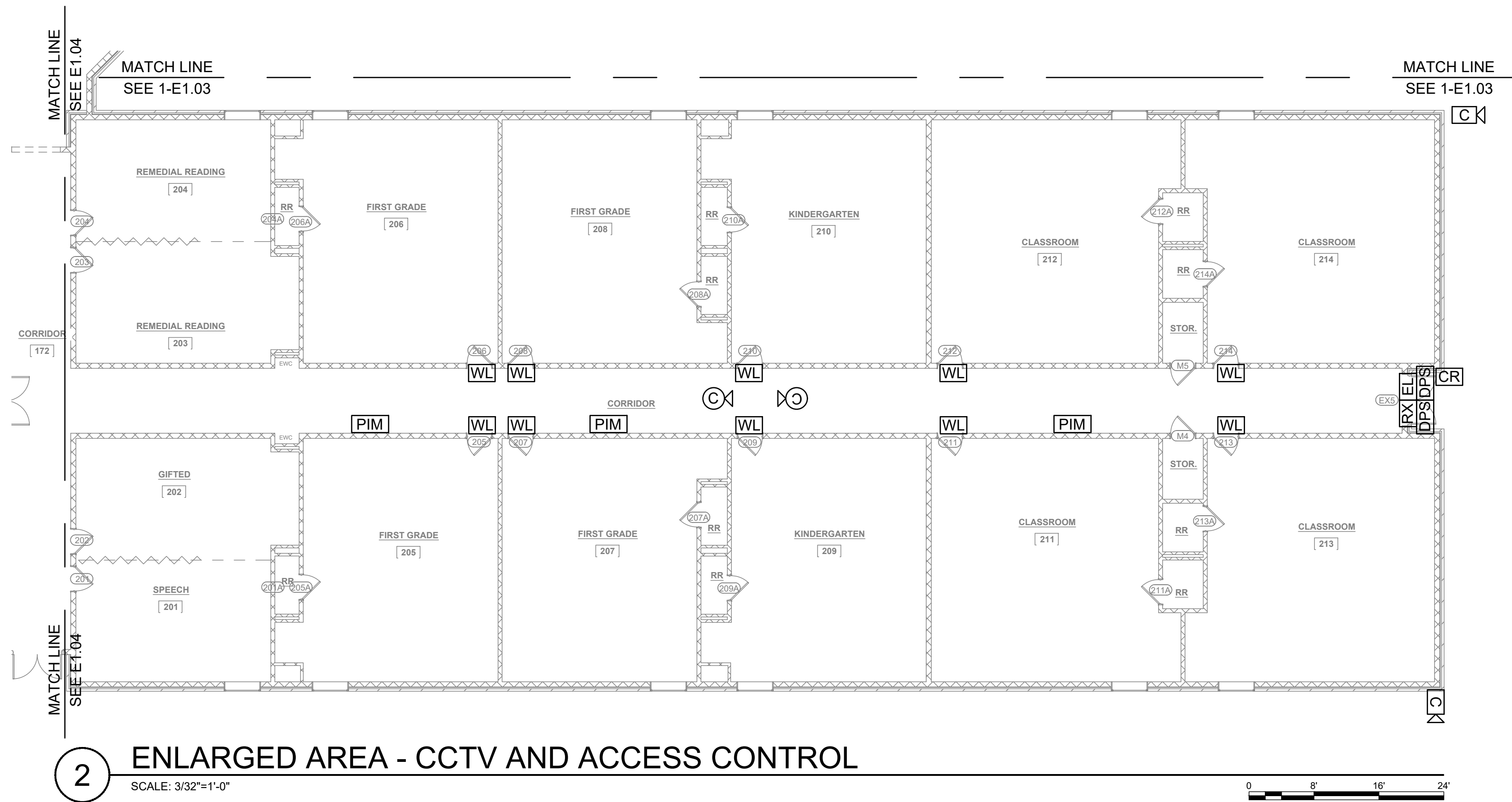
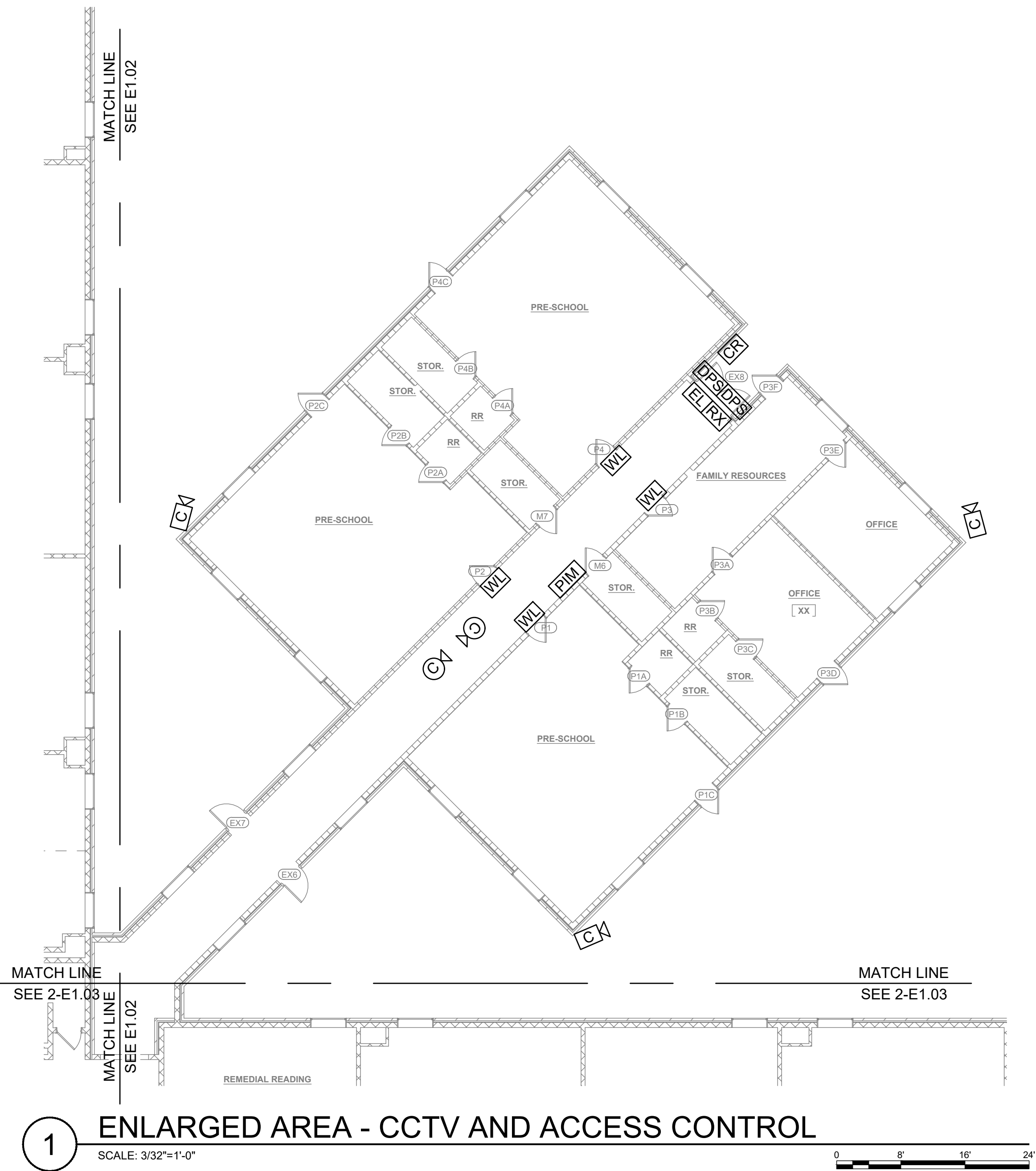
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CCTV AND ACCESS
CONTROL ENLARGED
AREA B

E1.02

ELECTRICAL





DESIGN PROFESSIONAL



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A	DDMMYYYY REVISION DESCRIPTION



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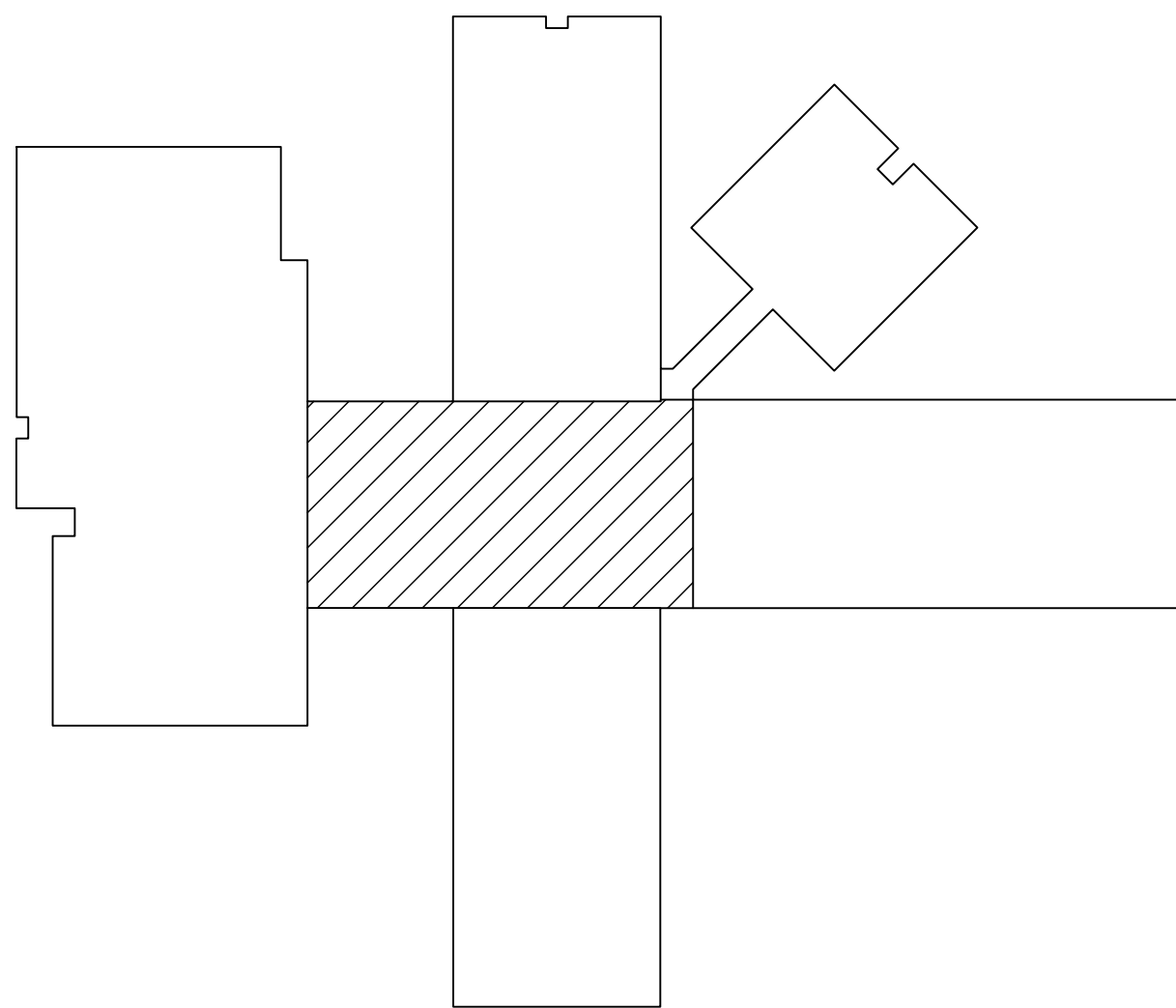
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CCTV AND ACCESS
CONTROL ENLARGED
AREAS C AND D

E1.03

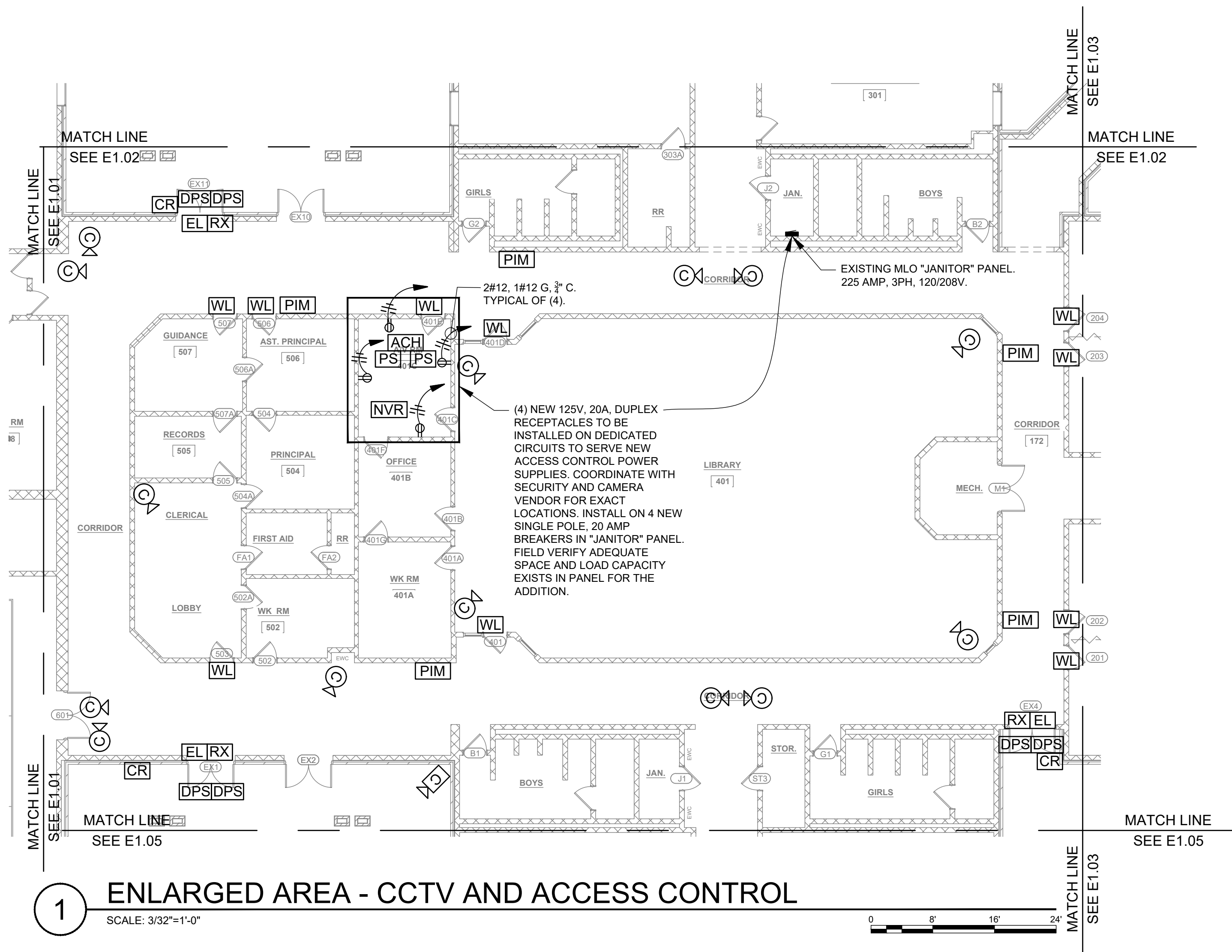
ELECTRICAL





KEY PLAN - ENLARGED - AREA E

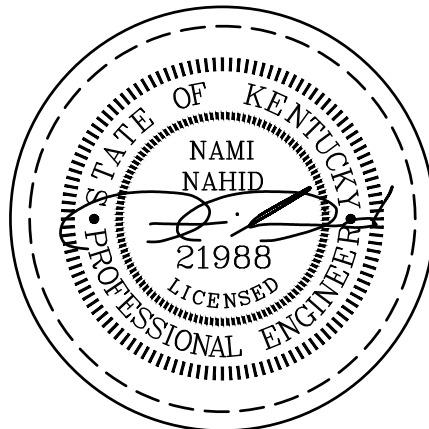
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1 ENLARGED AREA - CCTV AND ACCESS CONTROL

SCALE: 3/32"=1'-0"

0 8' 16' 24'



DESIGN PROFESSIONAL



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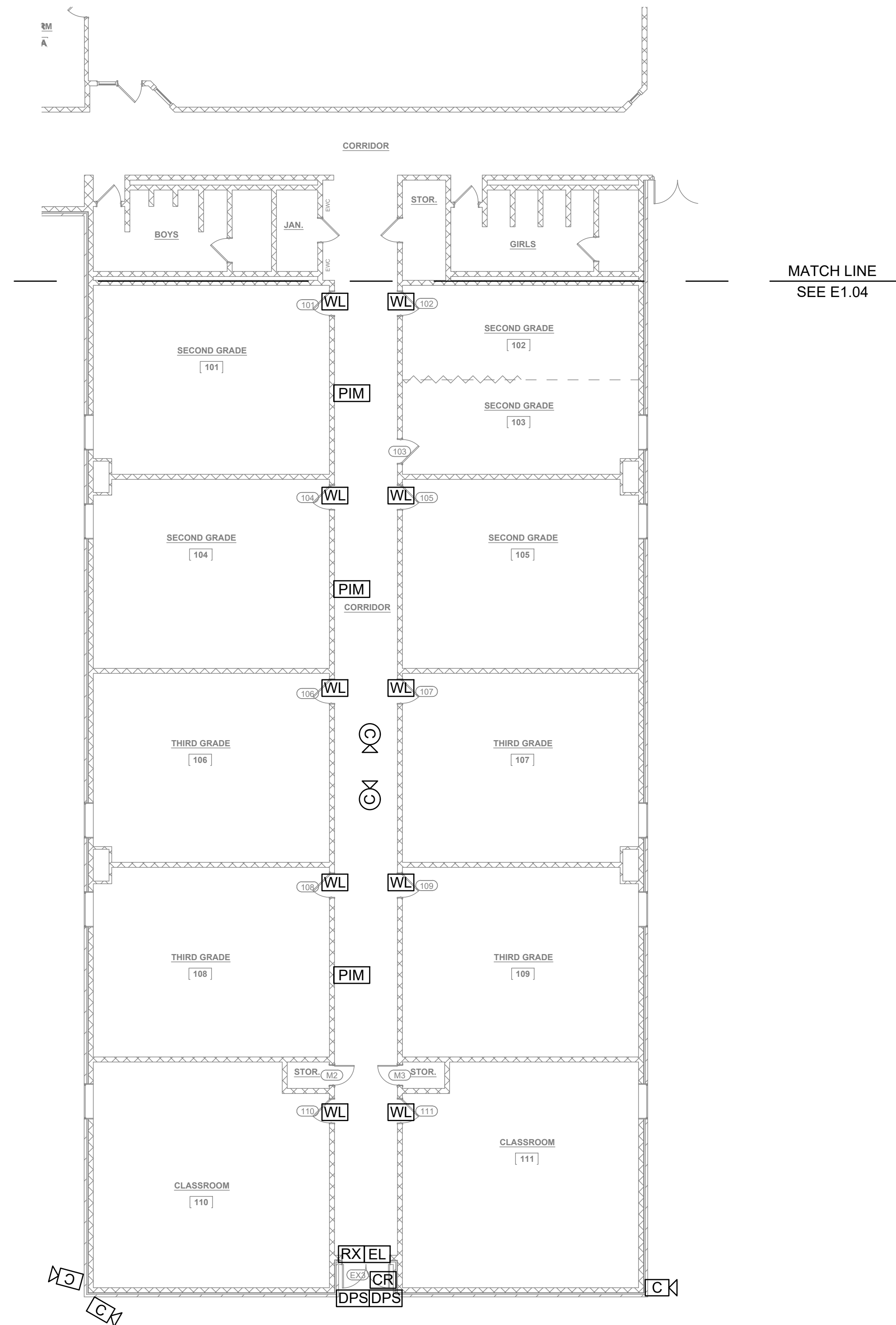
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CCTV AND ACCESS
CONTROL ENLARGED
AREA E

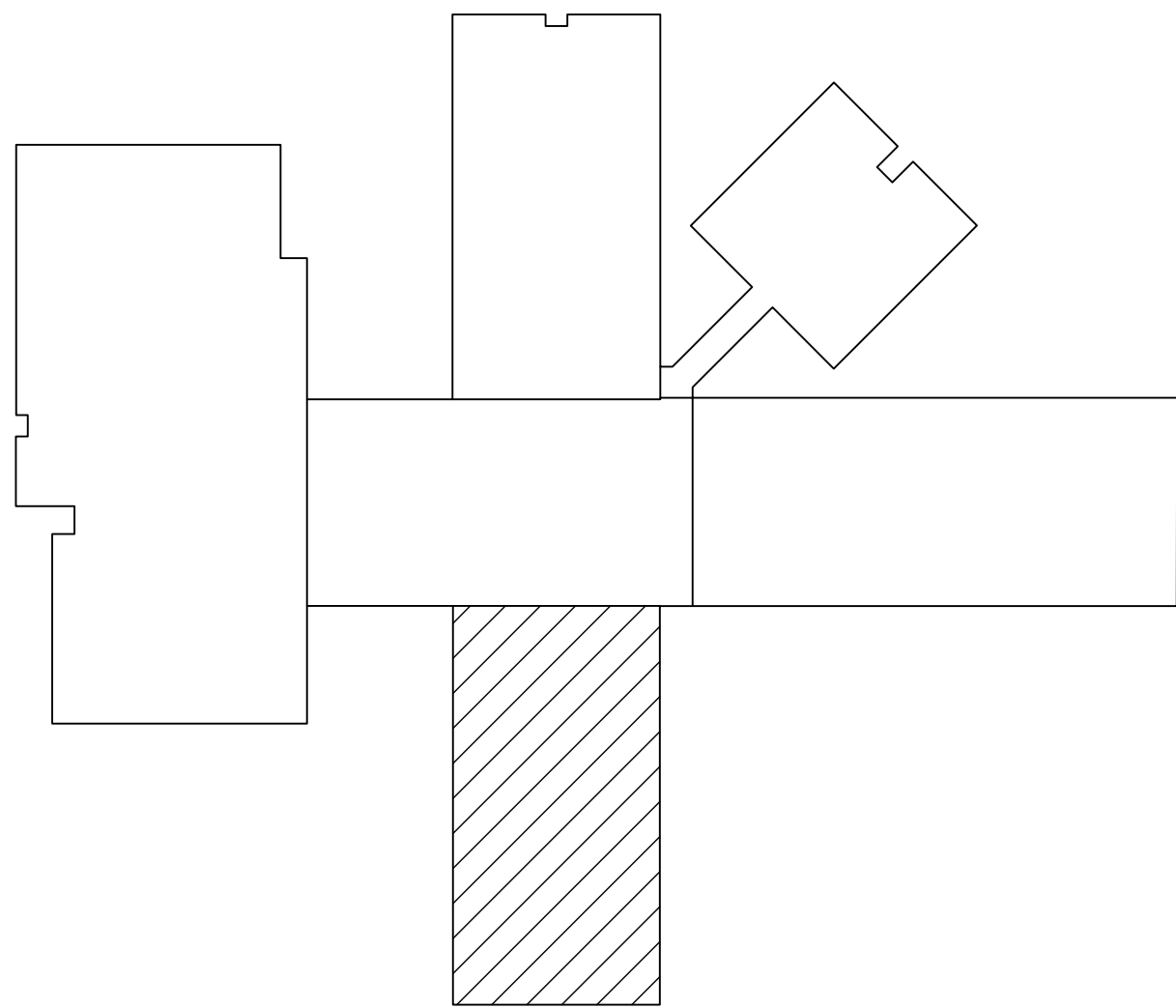
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ELECTRICAL



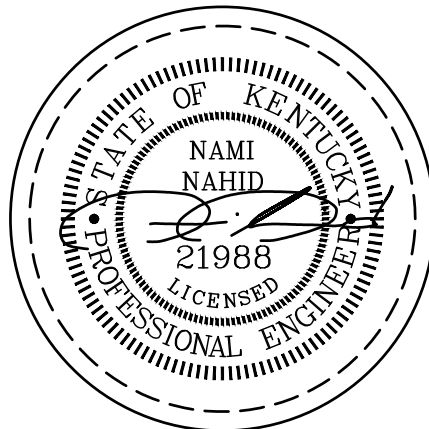


1 ENLARGED AREA - CCTV AND ACCESS CONTROL
SCALE: 3/32"=1'-0"



KEY PLAN - ENLARGED - AREA F

NOT TO SCALE



DESIGN PROFESSIONAL



PLAN REVIEWER

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BY KEL - EJS

DATE 02/18/2021

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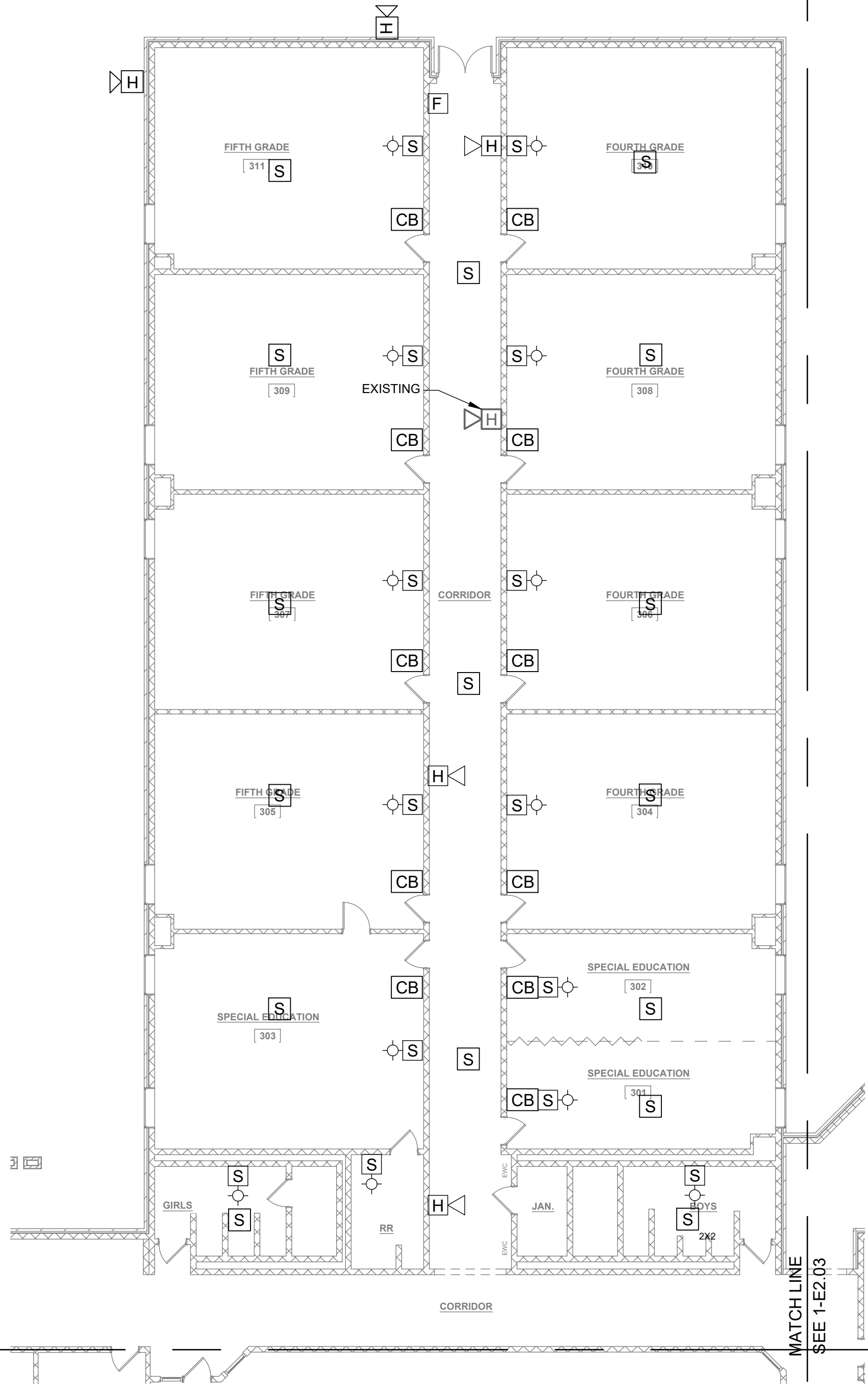


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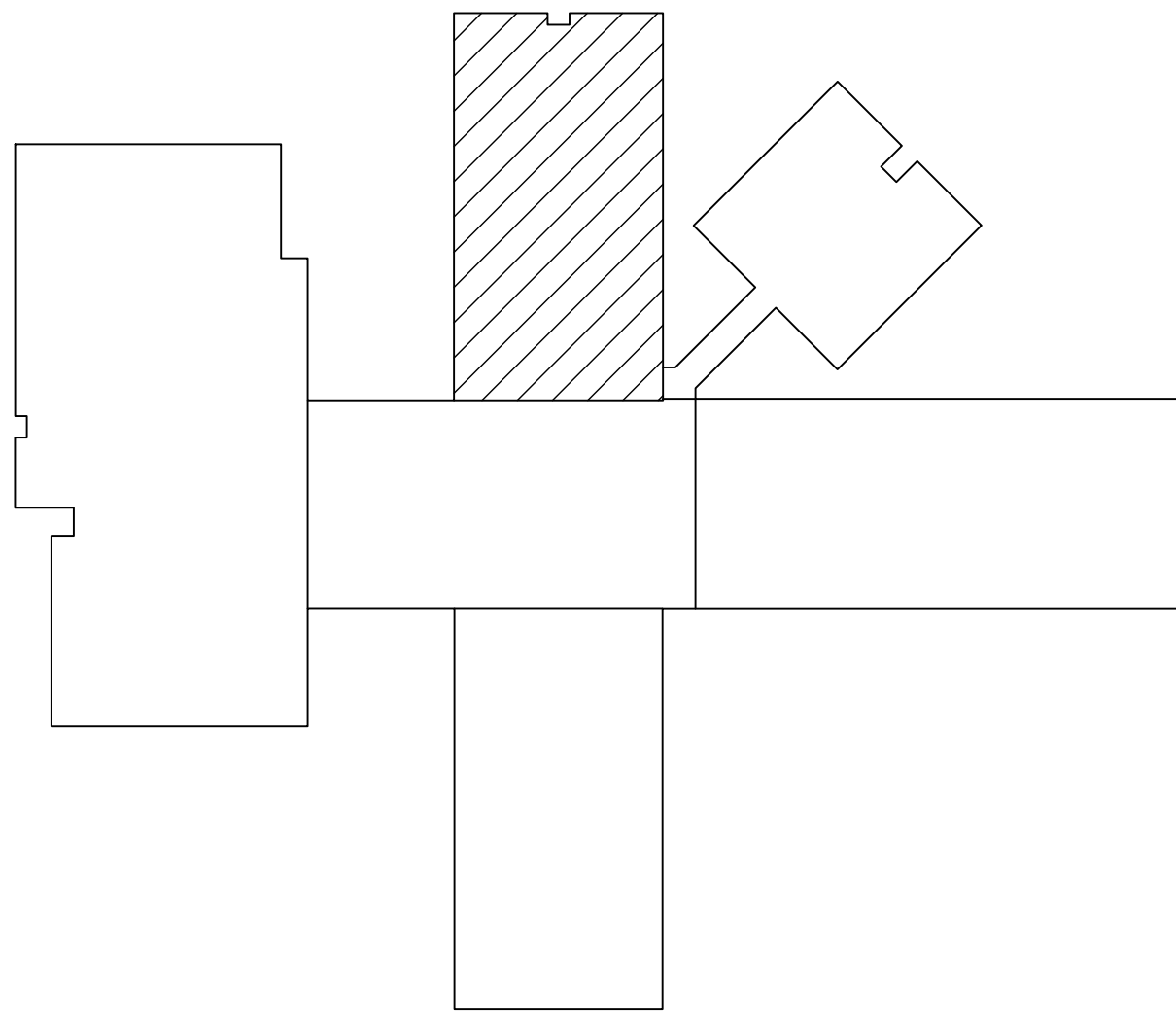
ELECTRICAL



1

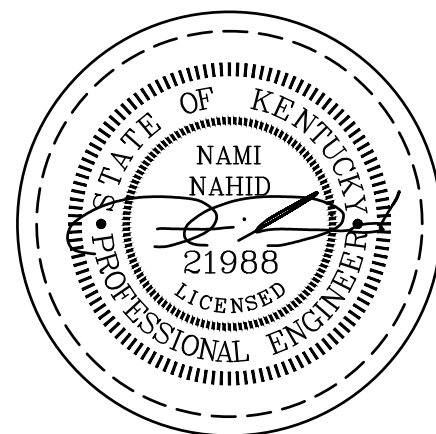
ENLARGED AREA - FIRE ALARM AND PA

SCALE: 3/32"=1'-0"



KEY PLAN - ENLARGED - AREA B

NOT TO SCALE



DESIGN PROFESSIONAL



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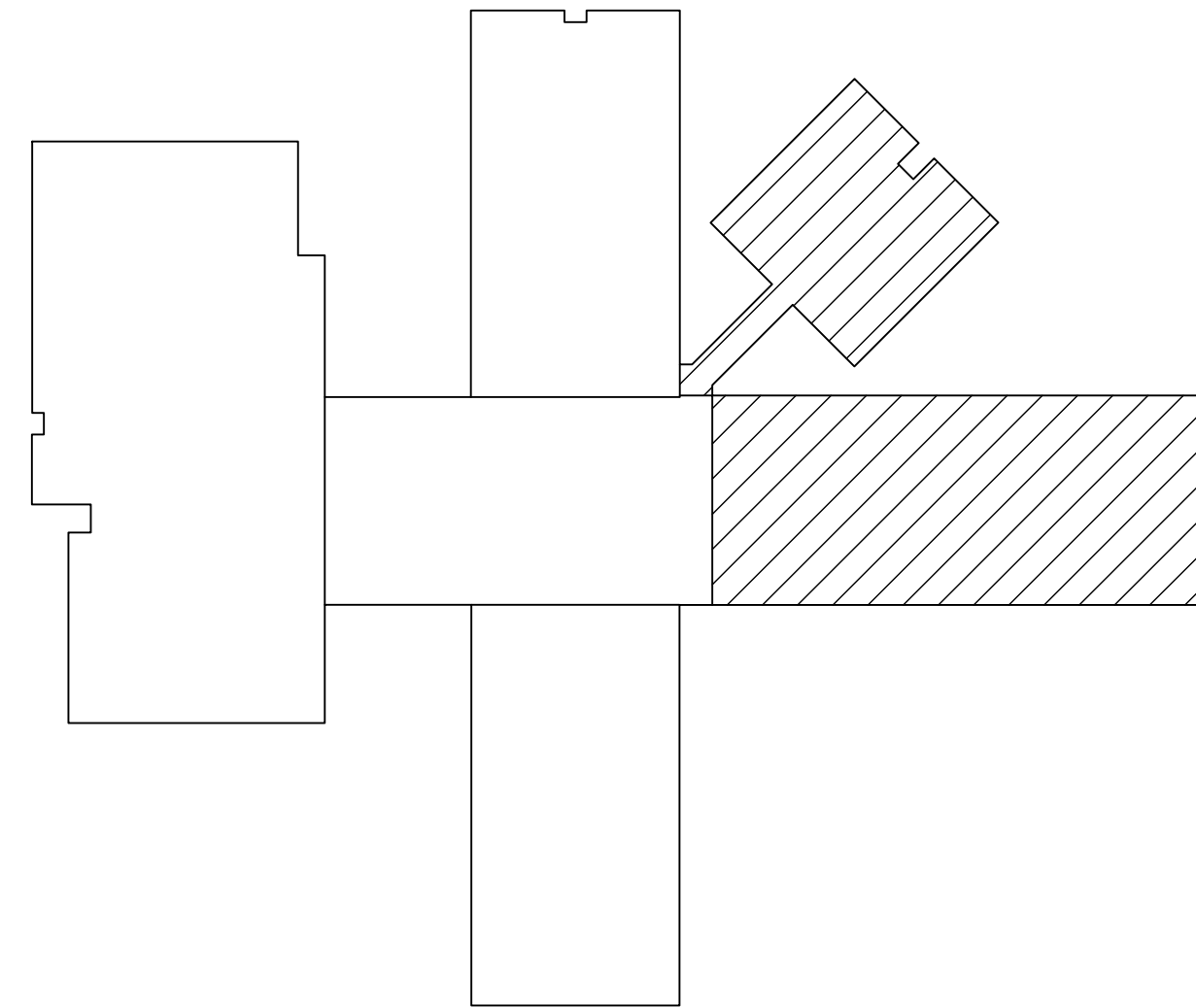
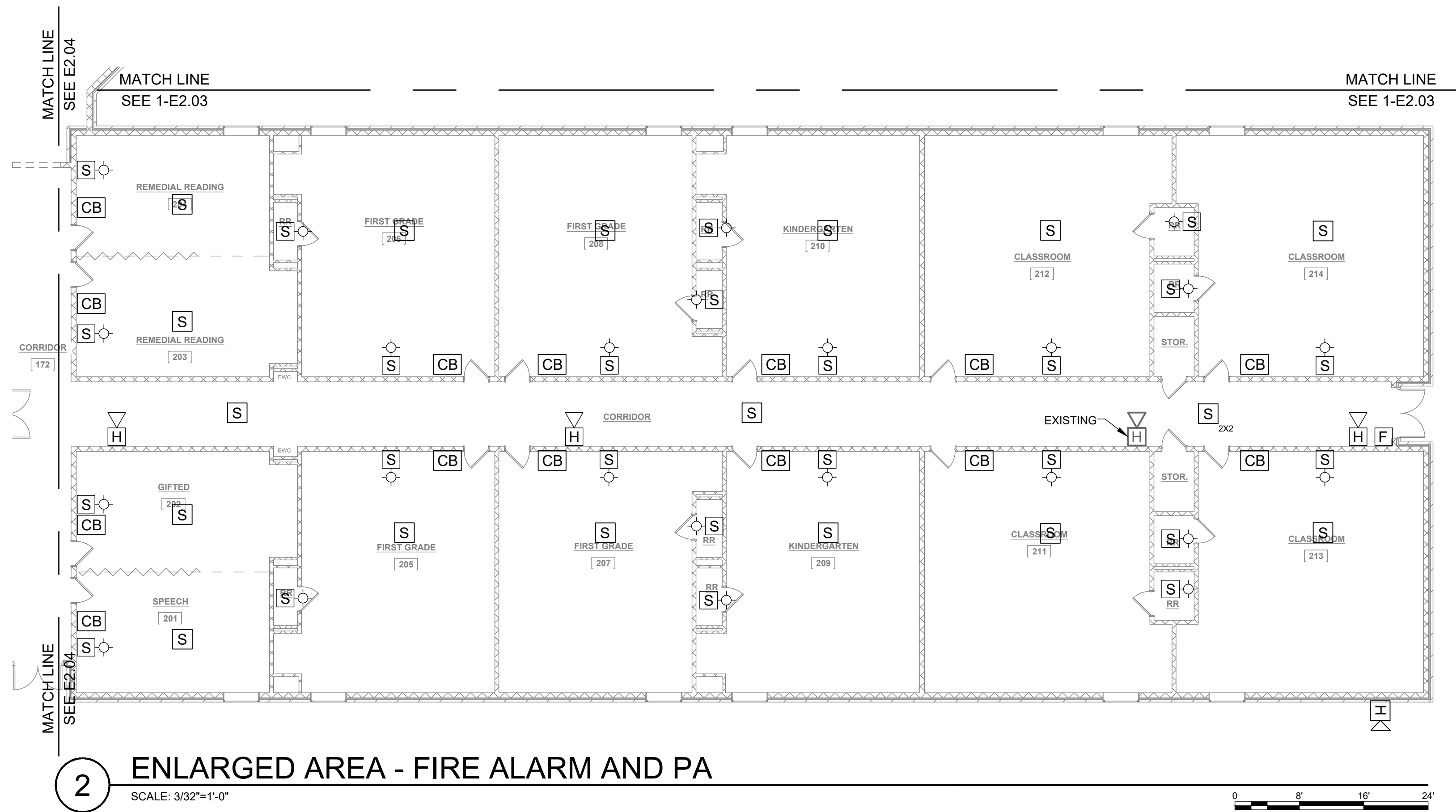
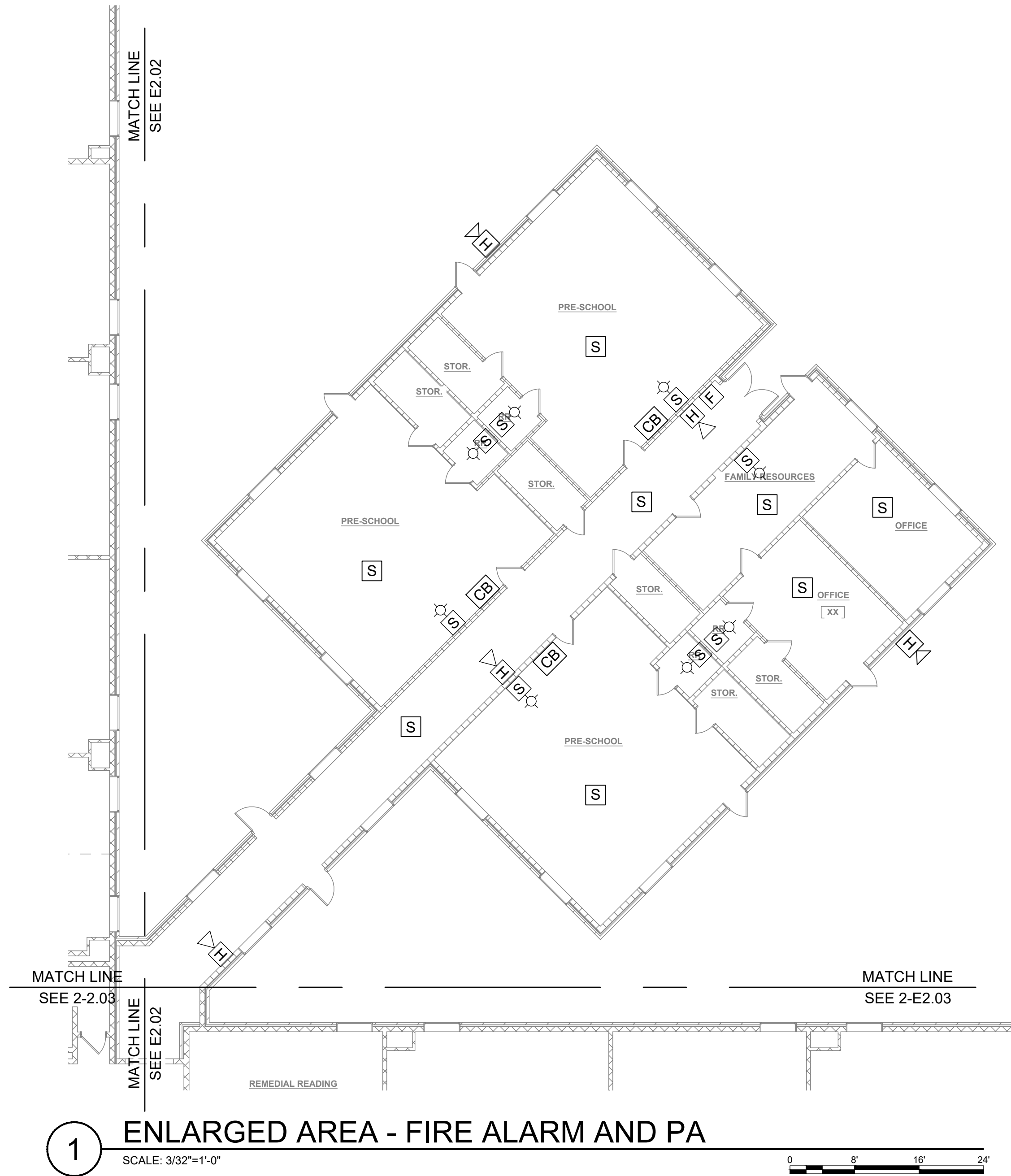
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FIRE ALARM AND PA
ENLARGED AREA B

E2.02

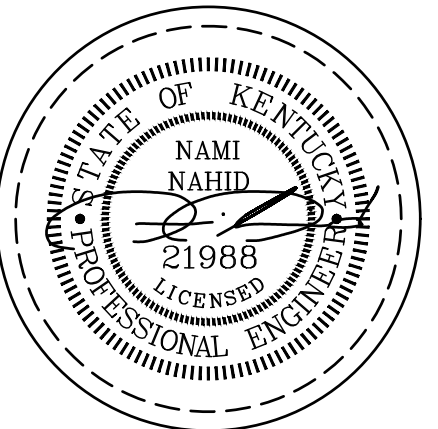
ELECTRICAL





KEY PLAN - ENLARGED - AREAS C & D

NOT TO SCALE



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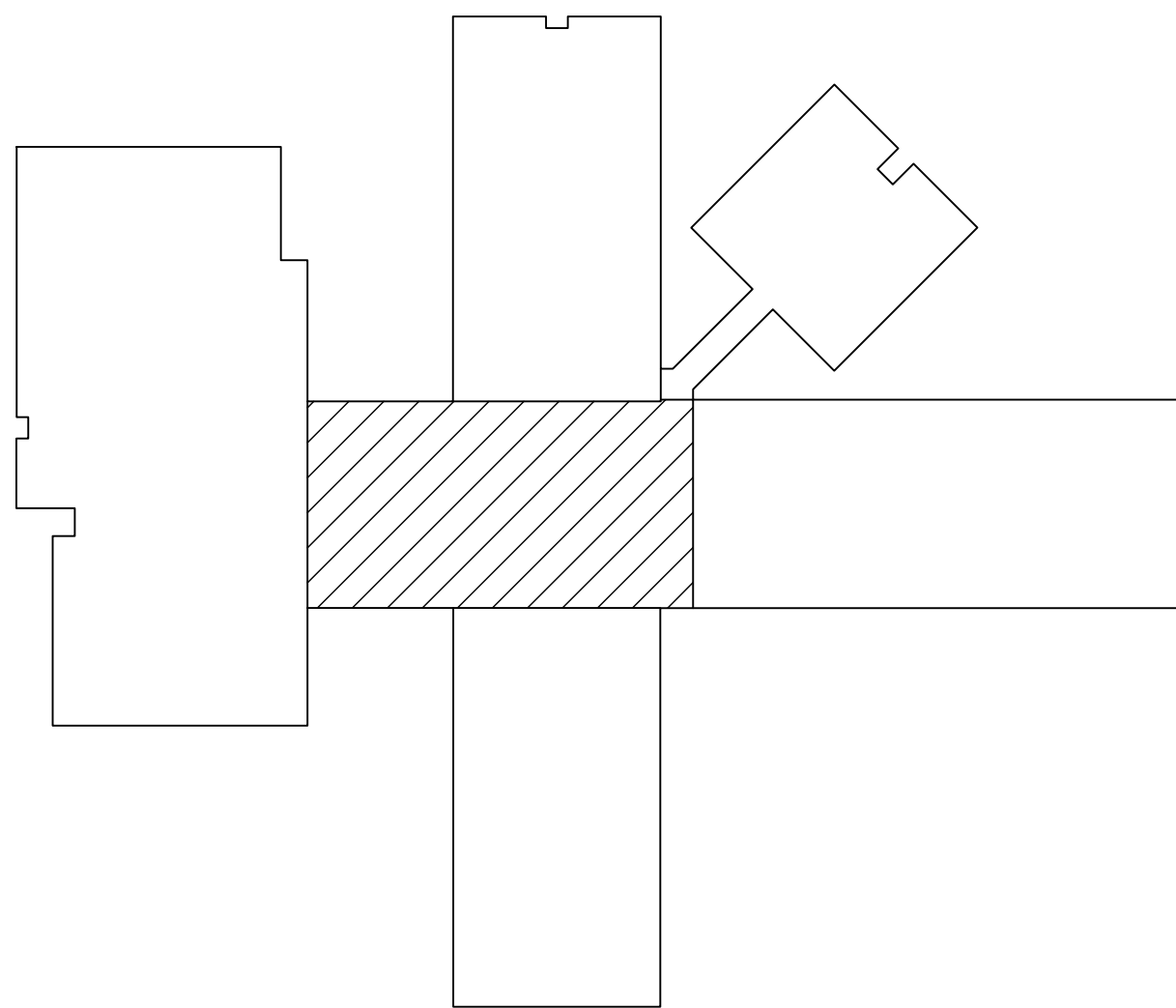
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FIRE ALARM AND PA
ENLARGED AREAS C & D

E2.03

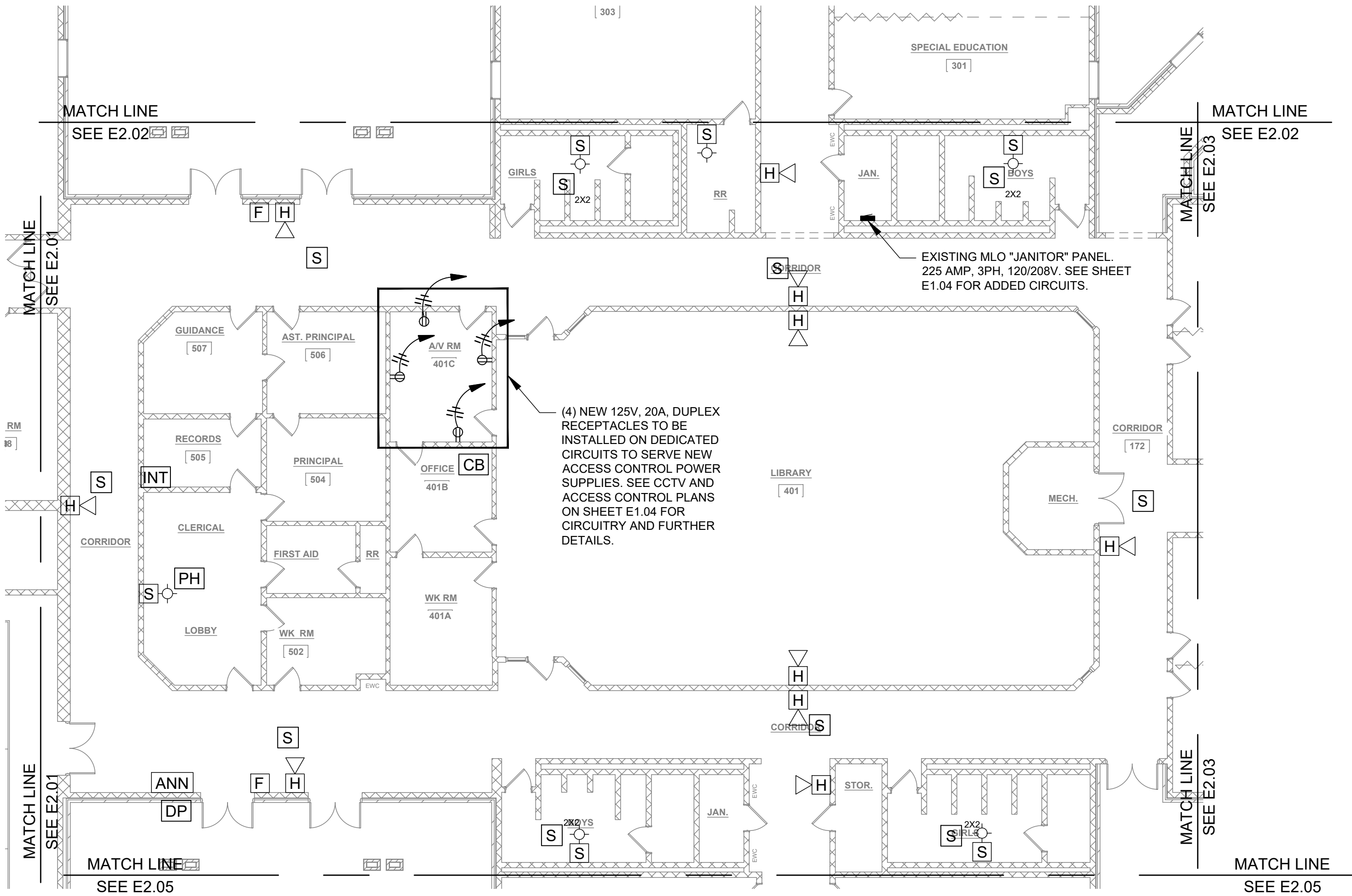
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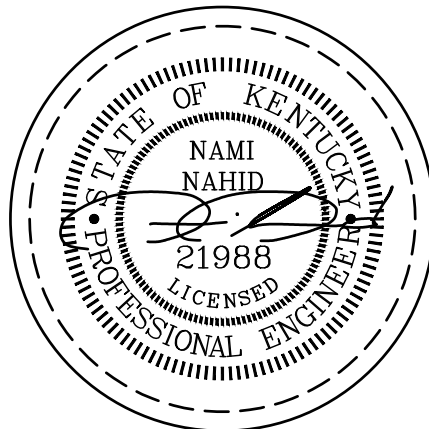
KEY PLAN - ENLARGED - AREA E

NOT TO SCALE



1 ENLARGED AREA - FIRE ALARM AND PA

SCALE: 3/32"=1'-0"



DESIGN PROFESSIONAL



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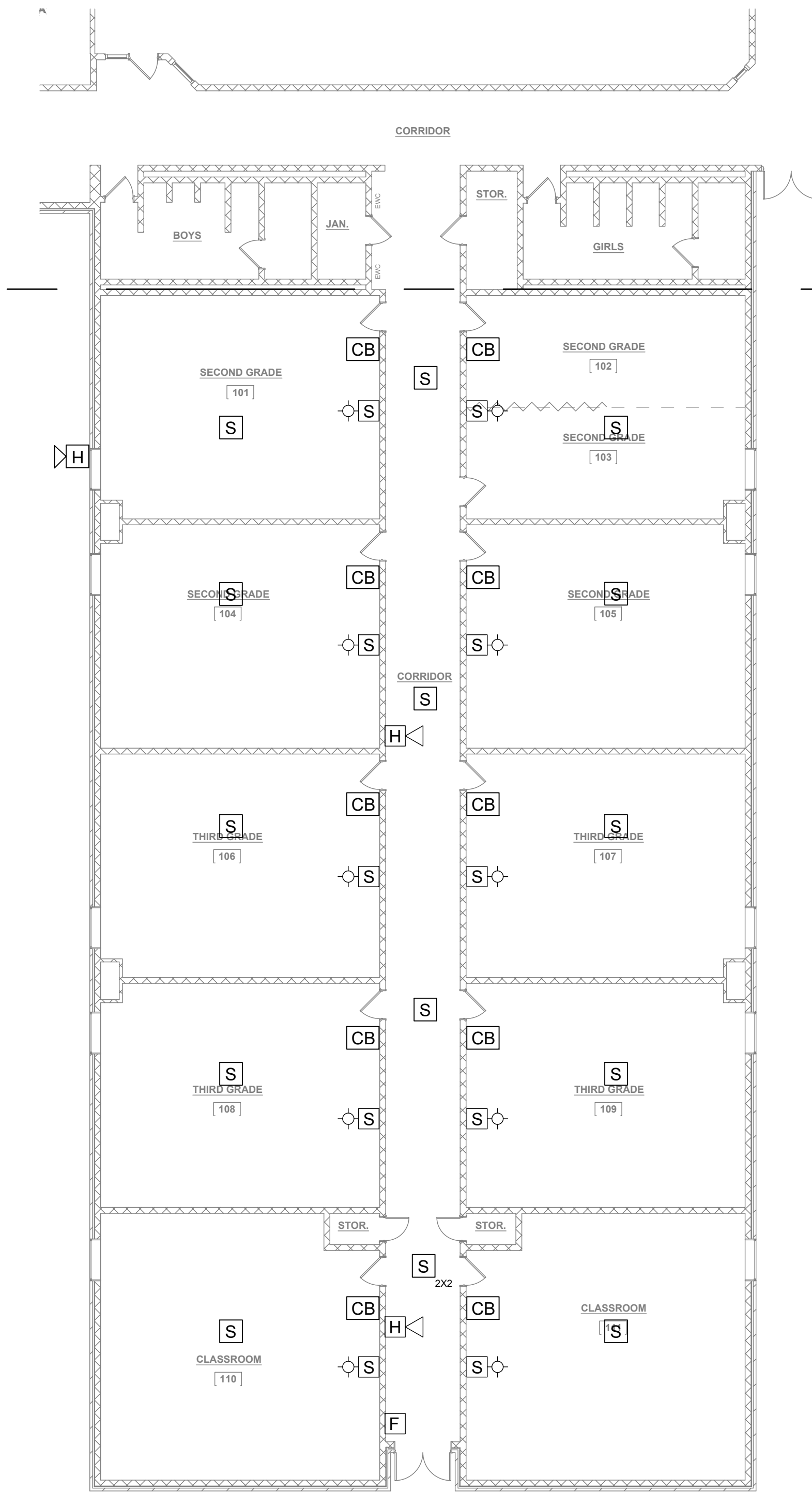
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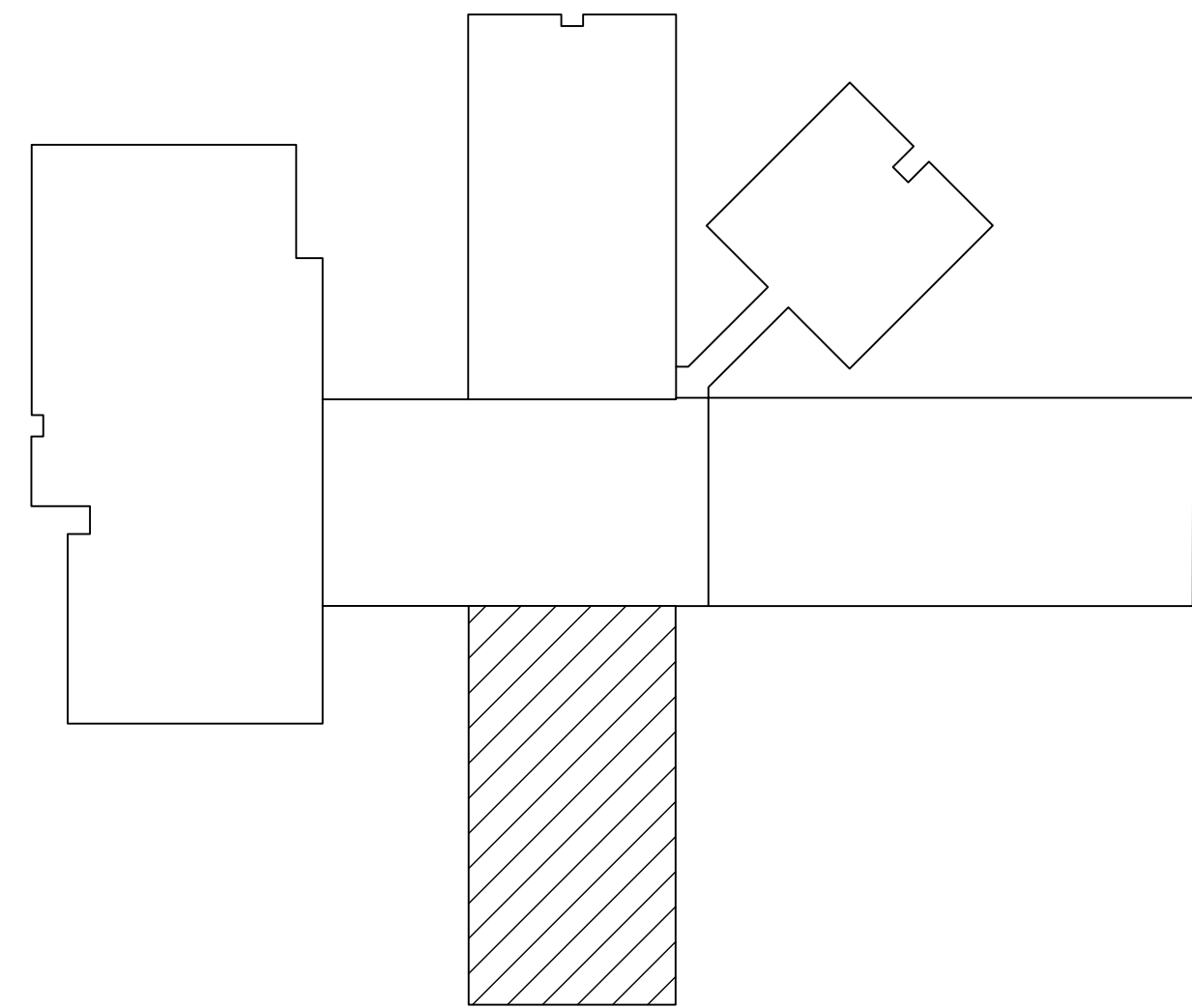
FIRE ALARM AND PA
ENLARGED AREA E

E2.04

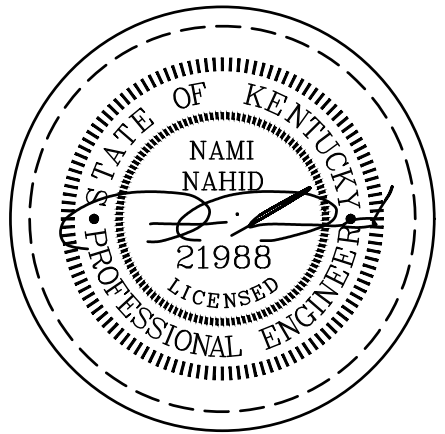
ELECTRICAL



1 ENLARGED AREA - FIRE ALARM AND PA
SCALE: 3/32"=1'-0"



KEY PLAN - ENLARGED - AREA F
NOT TO SCALE



DESIGN PROFESSIONAL



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FIRE ALARM AND PA
ENLARGED AREA F

E2.05

ELECTRICAL

