



**ACT JUSTLY . LOVE MERCY . WALK HUMBLY** 



**GENERAL SERIES (DECO ARCHITECTS)** 

G2.00 WATER BOTTLE FILLING STATION PLAN G2.01 WATER BOTTLING FILLING STATION PLAN

G1.00 COVER SHEET

G3.00 GENERAL NOTES

NASHVILLE, TN 37202 PHONE (270) 779-3161

PROJECT ARCHITECT

MEP CONSULTANT

**CIVIL ENGINEER** 



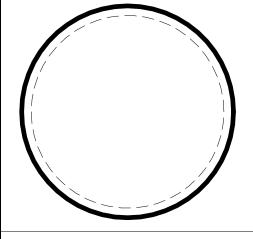
AN EDUCATIONAL FACILITY RENOVATION FOR

# TODD COUNTY HIGH SCHOOL

ELKTON, KENTUCKY

#### CIVIL SERIES (SITE) C-1.00 SHOT-PUT & HAMMER SITE PLAN C-2.00 TRACK & FOOTBALL FIELD DRAINAGE REPAIRS C-3.00 PAVEMENT REPAIRS & IMPROVEMENTS C-4.00 ACCESS ROAD PAVEMENT **DEMOLITION SERIES (DECO ARCHITECTS)** D0.01 DEMO SITE PLAN D1.00 DEMO FLOOR PLANS D1.01 DEMO FLOOR PLANS D1.10 ENLARGED DEMO PLAN - QUADRANT 1 D1.20 ENLARGED DEMO PLAN - QUADRANT 2 D1.30 ENLARGED DEMO PLAN - QUADRANT 3 D1.40 ENLARGED DEMO PLAN - QUADRANT 4 D1.50 DEMO FLOOR PLAN - ANNEX D1.60 ENLARGED DEMO PLAN - LOBBY/RECEPTION **ARCHITECTURAL SERIES (DECO ARCHITECTS)** A0.01 SITE PLAN A1.00 FLOOR PLANS A1.01 FLOOR PLANS A1.10 ENLARGED PLAN - QUADRANT 1 A1.20 ENLARGED PLAN - QUADRANT 2 A1.30 ENLARGED PLAN - QUADRANT 3 A1.40 ENLARGED PLAN - QUADRANT 4 A1.50 FLOOR PLAN - ANNEX NOTE TO PLAN REVIEWER THE INTENT OF THIS PROJECT IS TO UPGRADE TO AN ACCESS CONTROL SYSTEM, RENOVATE SELECTED RESTROOMS AND A1.60 ENLARGED PLAN - LOBBY A1.70 ENLARGED RESTROOM PLANS MECHANICAL SYSTEMS. AND PERFORM VARIOUS MAINTENANCE UPGRADES IN SELECTED AREAS. NO ADDITIONAL SQUARE A1.80 ROOF PLANS FOOTAGE WILL BE ADDED TO THE BUILDING. A3.00 INTERIOR ELEVATIONS OCCUPANY.. A4.00 SCHEDULES CONSTRUCTION TYPE... A4.01 SCHEDULES BUILDING AREA (ALL AREA UNDER ROOF) **MECHANICAL SERIES (SKY ENGINEERING)** ..91,641 SQFT T0TAL HIGH SCHOOL - FIRST FLOOR. HIGH SCHOOL - MEZZANINES... ...4,382 SQ FT TOTAL M0.01 MECHANICAL OVERALL PLAN ANNEX - FIRST FLORR.... ...13,725 SQ FT TOTAL M0.02 MECHANICAL OVERALL PLAN ANNEX BUILDING STORIES ABOVE GRADE.. M1.01 MECHANICAL QUADRANT 1 REVISION ...35 FEET HEIGHT ABOVE GRADE.. M1.02 MECHANICAL QUADRANT 2 M1.03 MECHANICAL QUADRANT 3 OCCUPANT LOAD... ..HIGH SCHOOL - 1414 OCCUPANTS M1.04 MECHANICAL QUADRANT 4 ..ANNEX - 122 OCCUPANTS M2.00 ENLARGED MECHANICAL ROOM ALLOWABLE FIRE AREA PER SECTION 903.2.1.3. ..HIGH SCHOOL - 100% BY EXISTING SYTEM FIRE SUPPRESION.... M2.01 BOILER RM DETAILS AND SCHEDULES ..ANNEX - NOT SPRINKLERED M3.01 MECHANICAL QUADRANT 1 FIRE RATINGS... M3.02 MECHANICAL QUADRANT 2 FIRE ALARM REQUIRED PER SECTION 907.2.1 ... EXISTING SYSTEMS IN PLACE M3.03 MECHANICAL QUADRANT 3 ..EXISTING SYSTEMS IN PLACE SMOKE DETERCTOR REQUIRED. M3.04 MECHANICAL QUADRANT 4 ALLOWABLE LENGTH OF DEAD END CORRIDORS... ..HIGH SCHOOL 50'-0", ANNEX 20'-0" M4.01 MECHANICAL ROOF PLAN - DEMO ALLOWABLE EXIT ACCESS TRAVEL DISTANCE ... .HIGH SCHOOL 250'-0", ANNEX 200'-0" FIRE SEPARATION REQUIREMENTS PER TABLE 508.4.... M4.02 MECHANICAL ROOF PLAN - NEW WORK M5.01 MECHANICAL SCHEDULE $Aa = \{At + [At x | f] + [At x | s]\}$ M5.02 MECHANICAL SCHEDULE Aa = 38,000 SQFT M5.03 MECHANICAL VRF SCHEMATICS PROJECT LOCATION WITHIN CITY LIMITS... M5.04 MECHANICAL DETAILS ..YES, ELKTON ..TODD COUNTY **PLUMBING SERIES (SKY ENGINEERING)** NUMBER OF BUILDINGS IN THIS SUBMITTAL ..EDUCATIONAL USE OF BUILDING(S)... P1.01 PLUMBING ENLARGED FLOOR PLAN BUILDING(S) IN THIS PROJECT IS/ARE. . NEW FREESTANDING BUILDING NEW ADDITION TO EXISTING STRUCTURE P1.02 PLUMBING ENLARGED FLOOR PLAN RENOVATION ONLY **ELECTRICAL SERIES (SKY ENGINEERING)** RENOVATION & ADDITION E0.01 ELECTRICAL SCHEDULES & LEGENDS OTAL AREA IN NEW BUILDING OR ADDITION. E1.00 ELECTRICAL OVERALL PLAN NUMBER OF LEVELS (INCLUDING BASEMENT). E1.01 ELECTRICAL LEGEND QUADRANT BASEMENT.. TOTAL AREA IN EXISTING BUILDING ..HIGH SCHOOL - 96,023 SQFT / ANNEX 13,725 SQFT E1.02 ELECTRICAL LEGEND QUADRANT 2 DATE CONSTRUCTION TO BEGIN.. E1.03 ELECTRICAL LEGEND QUADRANT 3 **ESTIMATED COMPLETION DATE** E1.04 ELECTRICAL LEGEND QUADRANT 4 E1.05 ELECTRICAL ROOF DEMO PLAN E1.06 ELECTRICAL MECHANICAL RM DEMO & NEW WORK DESIGN CAPACITY OF BUILDING.. ..NO INCREASE IN OCCUPANT LOAD E2.01 QUADRANT 1 POWER PLAN ARE RESTROOMS ACCESSIBLE TO PUBLIC.. E2.02 QUADRANT 2 POWER PLAN ARE RESTROOMS ACCESSIBLE TO DISABLE.. E2.03 QUADRANT 3 POWER PLAN **⊠**MUNICIPAL SEWAGE DISPOSAL. E2.04 QUADRANT 4 POWER PLAN PRIVATE □ PUBLIC □ RILLED WELL E2.05 ELECTRICAL ROOF POWER PLAN E3.01 ELECTRICAL - LIBRARY LIGHTING □CISTERN E3.02 ELECTRICAL - BATHROOM LIGHTING ☐ HAULED WATER E3.03 ELECTRICAL - GYM AND ENTRY LIGHTING ☐ROOF WATER E4.01 FIRE ALARM, COMMUNICATIONS, SECURITY QUADRANT 1 E4.02 CCTV AND ACCESS CONTROL QUADRANT 2 E4.03 FIRE ALARM, COMMUNICATIONS, SECURITY QUADRANT 3 ☐IF PRIVATE INDICATE THE TYPE AND DESIGN E4.04 FIRE ALARM, COMMUNICATIONS, SECURITY QUADRANT 4 E4.05 FIRE ALARM, COMMUNICATIONS, SECURITY ANNEX E4.06 FIELD CAMERA COVERAGE **FIRE PROTECTION (SKY ENGINEERING)** FP1.01 FIRE INTENT PLAN, NOTES & DTL PROJECT DATA TABLE OF CONTENTS THE STATE OF KENTUCKY ENFORCES THE FOLLOWING BUILDING CODES (PROVIDED BY THE DEPARTMENT OF HOUSING, BUILDINGS AND CONSTRUCTION - DIVISION OF BUILDING CODES ENFORCEMENT): 2018 KENTUCKY BUILDING CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE) 2018 KENTUCKY BUILDING RESIDENTIAL CODE (BASED ON THE 2012 INTERNATION RESIDENTIAL CODE) 2015 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FIRE CODE (NEW CONSTRUCTION PROJECTS, ONLY WHEN SPECIFICALLY REFERENCED BY THE BODY OF **RECIPIENT:** 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES KENTUCKY STATE PLUMBING LAW, REGULATIONS & CODE (815 KAR CHAPTER 20) **CLIENT REVIEW** 2012 NFPA I FIRE PREVENTION CODE (AS DIRECTED BY 815 KAR 10:60 KENTUCKY STANDARDS OF SAFETY 2010 NFPA 13- STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS **DOCUMENT TYPE:** 2009 NFPA 54- NATIONAL FUEL GAS CODE 2017 NFPA 70- NATIONAL ELECTRICAL CODE PERMIT/ABRIDGE 2010 NFPA 72- NATIONAL FIRE ALARM AND SIGNALING CODE PRIVATE BID.. 2012 NFPA 101- LIFE SAFETY CODE (HEALTH CARE FACILITIES) PUBLIC BID. GB-03-01- STRUCTURAL ENGINEERS ASSOCIATION OF KENTUCKY - SPECIAL INSPECTION GUIDELINES, THIRD EDITION, MARCH DESIGN-BUILD. USED IN KENTUCKY, FOR SPECIFIC APPLICATIONS NOT LISTED ABOVE, CONTACT THE DEPARTMENT OF HOUSING, BUILDINGS SCOPE OF SERVICES KENTUCKY BUILDING CODES

DESIGN PROFESSIONAL



PLAN REVIEWER O STAMP IS PRESENT, PLAN REVIEW MAY BE PENDI

ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK. JEP: CLP

> 02/17/2021 CLIENT REVIEW

DESCRIPTION

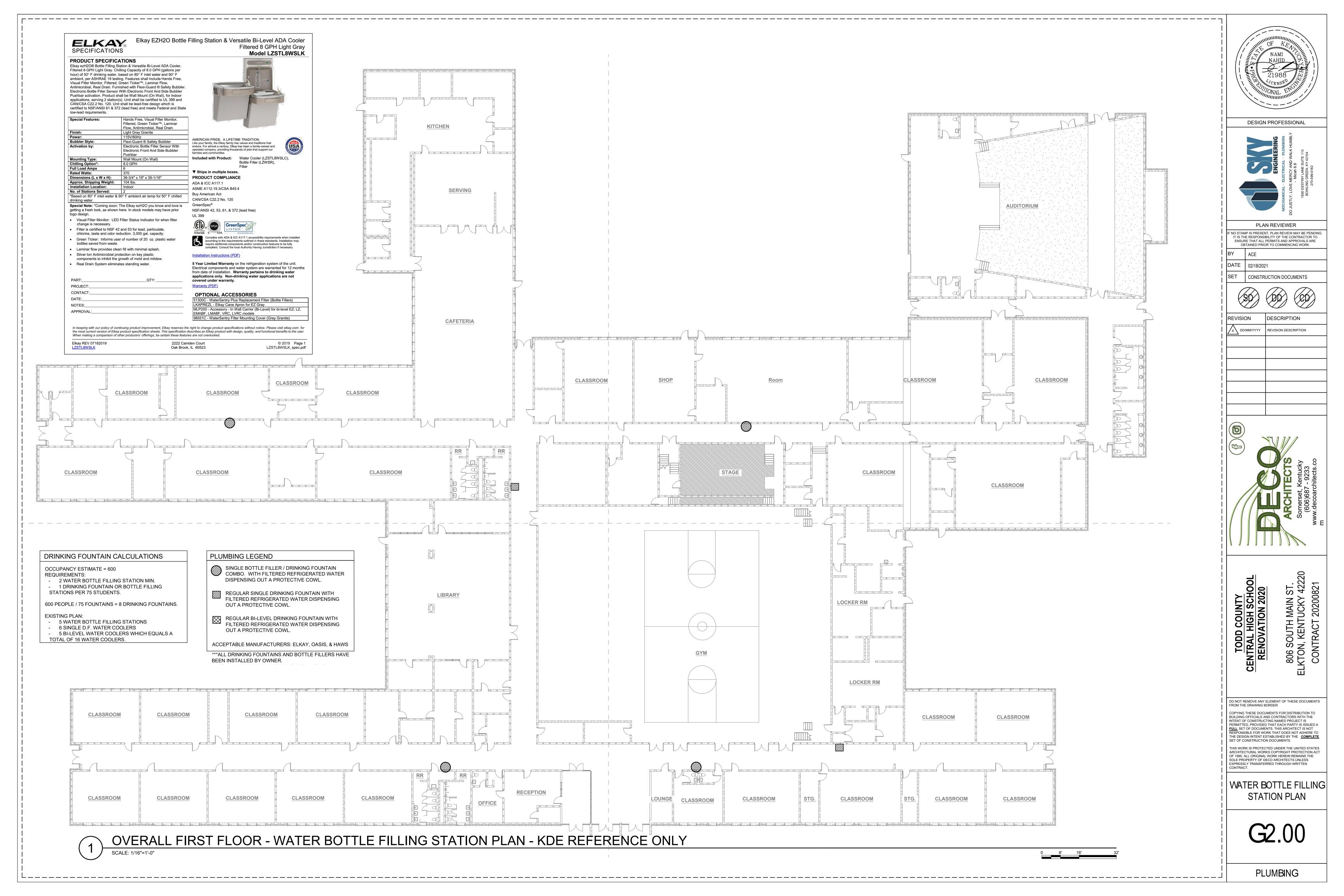
EVISION DESCRIPTION

UILDING OFFICIALS AND CONTRACTORS WITH THE NTENT OF CONSTRUCTING NAMED PROJECT IS ONSIBLE FOR WORK THAT DOES NOT ADHERE T T OF CONSTRUCTION DOCUMENTS

OF 1990. ALL ORIGINAL WORK HEREIN REMAINS THE OLE PROPERTY OF DECO ARCHITECTS UNLESS RESSLY TRANSFERRED THROUGH WRITTE

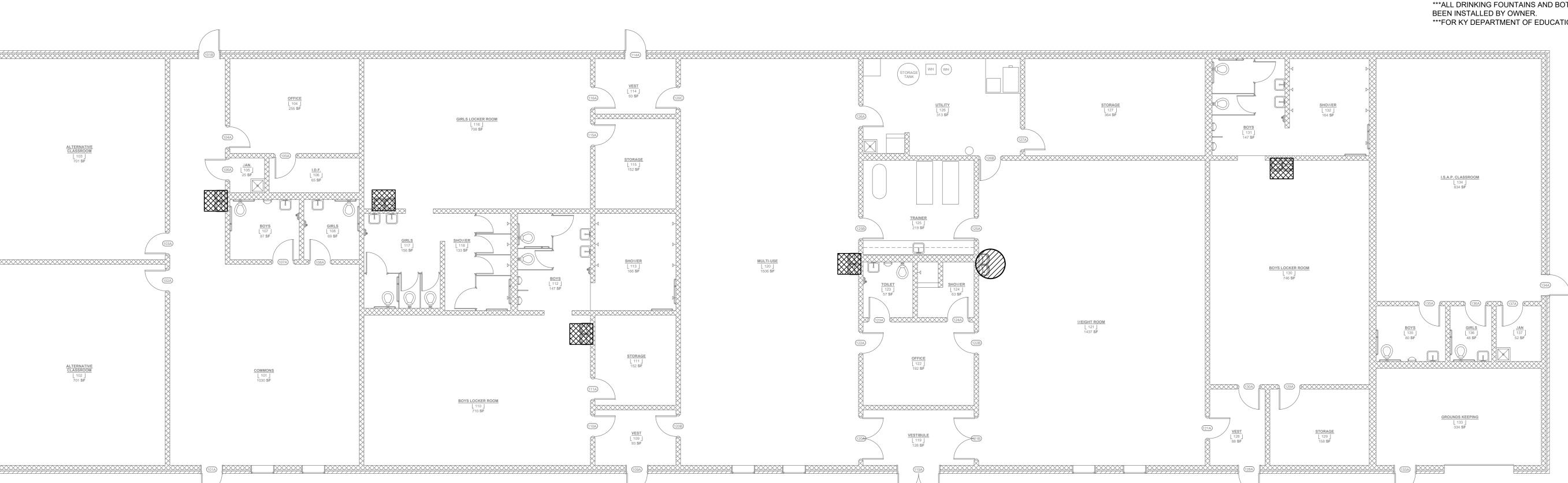
**COVER SHEET** 

**GENERAL** 





**EXISTING PLAN:** 



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OVERALL FIRST FLOOR @ ANNEX BLDG - WATER BOTTLE FILLING STATION PLAN - KDE REFERENCE ONLY

PLUMBING

DO NOT REMOVE ANY ELEMENT OF THESE DOCUMENTS FROM THE DRAWING BORDER. COPYING THESE DOCUMENTS FOR DISTRIBUTION TO

BUILDING OFFICIALS AND CONTRACTORS WITH THE INTENT OF CONSTRUCTING NAMED PROJECT IS PERMITTED, PROVIDED THAT EACH PARTY IS ISSUED A FULL SET OF DOCUMENTS. THIS ARCHITECT IS NOT RESPONSIBLE FOR WORK THAT DOES NOT ADHERE TO THE DESIGN INTENT ESTABLISHED BY THE COMPLETE SET OF CONSTRUCTION DOCUMENTS.

THIS WORK IS PROTECTED UNDER THE UNITED STATES ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ALL ORIGINAL WORK HEREIN REMAINS THE

WATER BOTTLE FILLING

STATION PLAN

SOLE PROPERTY OF DECO ARCHITECTS UNLESS EXPRESSLY TRANSFERRED THROUGH WRITTEN

SET OF CONSTRUCTION DOCUMENTS.

DESIGN PROFESSIONAL

PLAN REVIEWER

F NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO

ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

SET | CONSTRUCTION DOCUMENTS

 $/\chi$  DD/MM/YYYY REVISION DESCRIPTION

DESCRIPTION

DATE | 02/18/2021

REVISION

### **ACCESSIBILITY**

THE FOLLOWING NOTES ARE ADA GUIDELINES AND ARE FOR GENERAL INFORMATION ONLY. LISTED ITEMS DO NOT REPLACE OR AMEND FEDERAL, STATE OR LOCAL CODES. IN THE CASE OF CONFLICT IN THE REQUIREMENTS OF AUTHORITIES HAVING IURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.)

ALL EXTERIOR DOORS SHALL HAVE A 24" CLEAR HORIZONTAL OPEN SURFACE/AREA AT THE STRIKESIDE/PULLSIDE OF DOORS. ALL INTERIOR DOORS SHALL HAVE 18" CLEAR AT THE STRIKESIDE/PULLSIDE OF DOORS. PROVIDE 12" CLEAR HORIZONTAL SURFACE ON THE PUSH SIDE/STRIKE OF ALL DOORS. ALL LOCKSETS SHALL HAVE A LEVER HANDLE UNLESS NOTED OTHERWISE AND SHALL OPEN FROM INSIDE OF THE SPACE WITH ONE MOTION AND REQUIRE NO SPECIAL KNOWLEDGE OR EFFORT. THUMB-TURNS OR SEPARATE DEADBOLTS ARE NOT ALLOWED ON EGRESS DOORS. 2. THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL HAVE A SLOPE NO GREATER THAN 1:2

3. ALL EMERGENCY EXITING ALARM AND SIGNAGE TO COMPLY WITH FEDERAL, STATE AND MUNICIPAL CODES FOR ACCESSIBILITY. I. GENERAL CONTRACTOR SHALL ALLOW FOR APPLIED FINISH DIMENSIONS IN ADDITION TO STANDARD CONSTRUCTION TOLERANCES IN ACHIEVING ALL ACCESSIBILITY CLEARANCES PER DRAWINGS AND/OR ADA GUIDELINES. 5. EMERGENCY WARNING SYSTEMS SHALL COMPLY WITH ADA REQUIREMENTS FOR THE HEARING IMPAIRED. VISUAL WARNING TROBE LIGHTS TO BE DESIGNED TO HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE

## **WARRANTIES AND RECORDS**

THE GENERAL CONTRACTOR SHALL GUARANTEE THE WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF THE THE GENERAL CONTRACTOR SHALL PERFORM A ONE (1) YEAR WARRANTY WALK-THROUGH/INSPECTION WITH THE OWNER'S PRESENTATIVE UPON REQUEST THE CONTRACTOR SHALL LEAVE A COPY OF REDLINED AS-BUILT DRAWINGS FOR THE OWNER/OWNER'S REPRESENTATIVE NOTING ALL REVISIONS OF WORK UPON COMPLETION OF CONSTRUCTION.

UPON COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT IS MADE, THE CONTRACTOR SHALL SECURE AND DELIVER TO THE OWNER ALL GUARANTEES AND/OR WARRANTIES ON ALL EQUIPMENT SUPPLIED AND/OR INSTALLED BY THE CONTRACTOR AND

# **GENERAL CODES/ STANDARDS**

WHERE REQUIRED BY BUILDING CODES.

I. GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS OR STANDARD BEST PRACTICE.

2. ALL RATED ASSEMBLIES SHALL BE CONSTRUCTED ACCORDING TO THE U.I. DESIGN SPECIFICATIONS OF SUCH ASSEMBLY AND BE INSTALLED IN ACCORDANCE WITH THE U.I. SPECIFICATIONS.

3. IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES

AND REGULATIONS, HE/SHE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS I. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND ERMITS, CONTROLLED INSPECTIONS AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. 5. IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS

WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF

LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO LOCAL, STATE AND ALL GOVERNING

THE DOCUMENTS - IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.

3. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANY D. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE LENGTH OF HIS/HER CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS AND LANDLORD/OWNER REQUIREMENTS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS AND GENERALLY ACCEPTED BEST PRACTICE. 11. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION SPECIFIED WITHIN THESE DOCUMENTS, OR ANY EXISTING CONSTRUCTION.

. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD (IF APPLICABLE) SHALL BE FIRE RETARDANT TREATED

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A101 + DRAWING

## MISC CONSTRUCTION NOTES

1. IF THIS ARCHITECT(S) SCOPE OF WORK INCLUDES PERIODIC CONSTRUCTION INSPECTION DUTIES; DIRECT ALL QUESTIONS AND CORRESPONDENCE TO THE ARCHITECT. ALL SHOP DRAWINGS AND RELATED DRAWINGS TO BE REVIEWED AND APPROVED BY GE PREVIOUS TO SENDING TO THE ARCHITECT. THE MEANS AND METHODS OF CONSTRUCTION ARE LEFT TO THE GENERAL CONTRACTOR, HIS SUBCONTRACTORS AND VENDORS TO FURNISH AND INSTALL AS NECESSARY FOR A COMPLETED PROJECT, ANY QUESTIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE 3. IN CASE OF A BID PROJECT - THE GENERAL CONTRACTOR SHALL FURNISH ALL MATERIALS & EQUIPMENT SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED OR AGREED UPON AMONG OWNER AND CONTRACTORS. WRITTEN BIDS FROM SUBCONTRACTORS AND VENDORS SHOULD SPELL OUT ALL LABOR/WORK/MATERIALS OR ANY SPECIAL ARRANGEMENTS TO BE PROVIDED BY OWNER OR OTHERS.

EXCEPTION: REFER TO LISTING OF ITEMS TO BE FURNISHED BY OWNER. AND ITEMS FURNISHED BY OWNER AND INSTALLED BY GC

4. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING PERSONALLY AND CONDUCTING ANY RESEARCH OR INVESTIGATIONS THEY DEEM NECESSARY FOR THE PLANNING AND EXECUTION OF THEIR WORK. THE SUBMISSION OF A WRITTEN BID OR PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR(S) HAVE FAMILIARIZED THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR THE MATERIALS AND/OR LABOR DUE TO DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED. UNLESS THESE DIFFICULTIES COULD NOT HAVE BEEN FORSEEN EVEN THOUGH 5. THE GENERAL CONTRACTOR AND OWNER AGREE THAT ANY UNFORSEEN CONDITION THAT IS DISCOVERED DURING THE BIDDING AND THE CONSTRUCTION PHASES WILL BE CALLED TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND OWNER IMMEDIATELY FOR A SOLUTION BEFORE PROCEEDING WITH THE WORK. . THE OWNER WILL BE RESPONSIBLE FOR PAYMENT OF THE LOCAL AND STATE BUILDING DEPARTMENT ARCHITECTURAL PLAN REVIEW S THIS PAYMENT WILL BE MADE IN FULL BEFORE SUBMISSION FOR PLAN REVIEW THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY BUILDING OR TRADE PERMITS, LICENSE, INSPECTIONS, ETC. AND CONTRACTING THE ARCHITECT FOR ANY REQUIRED PLAN REVISIONS FOR CODE REQUIREMENTS, UNLESS THERWISE AGREED UPON IN WRITING WITH THE OWNER. B. BEFORE COMMENCING WORK ALL SUBCONTACTORS AS NECESSARY BY THEIR SCOPE OF WORK, AND AS DIRECTED BY THE GENERAL ITRACTOR, SHALL VERIFY THE LOCATION OF ALL ACTIVE UTILITIES, UNDERGROUND AND OVERHEAD, IN ORDER TO TAKE ALL PRECAUTIONS FOR THEIR PROTECTION AND PERSONAL SAFETY. 9. ALL SUBTRADES ARE RESPONSIBLE FOR CLEANING UP ALL OF THEIR RELATED CONSTRUCTION DEBRIS DAILY AND REMOVING THEM FROM THE JOB SITE OR PUTTING THEM IN JOB DUMPSTER. EACH SUBTRADE WILL BE CHARGED FOR ANY RELATED EXPENSE TO DO THIS FOR 10. ALL EQUIPMENT ROUGH-IN DIMENSIONS AND UTILITY REQUIREMENTS ARE NOT DETAILED ON THESE DRAWINGS. THIS INFORMATION WILL NEED VERIFIED BY GENERAL CONTRACTOR AND RELATED SUBTRADES OR VENDORS WITH SUPPLIERS TO ENSURE A PROPER FIT AND CORRECT POWER CONNECTIONS. THIS INCLUDES ITEMS FURNISHED BY OTHER VENDORS AND THE OWNER. FAILURE TO DO SO SHALL

PLACE ANY RELOCATION EXPENSE DIRECTLY UPON THAT CONTRACTOR. 1. THE STRUCTURAL INTEGRITY OF THE PROPOSED BUILDING SHALL BE MAINTAINED BY ALL TRADES AT ALL TIMES. 12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION, PROVIDING AND MAINTAINING SITE SANITARY FACILITIES, MPORARY UTILITIES. CONSTRUCTION DEBRIS COLLECTION AND REMOVAL OF DUMPSTERS. AS COORDINATED WITH THE OWNER. 13. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL LABOR, TOOLS, EQUIPMENT, INCLUDING

\*THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," AIA 201, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, ARE HEREBY PART OF THESE DRAWINGS AND SPECIFICATIONS (IF SPECIFICATIONS ARE APPLICABLE).

1. ALL CONTRACTORS (GENERAL AND SUBCONTRACTORS) SHALL COMPLY WITH THE REQUIREMENTS FOR INSURANCE, BONDS AND VERS OF LIEN. AS OUTLINED IN THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (AIA 01) PUBLIHSED BY THE AMERICAN INSTITUTE OF ARCHITECTS. FURTHER, THE GENERAL CONTRACTOR AND SUBCONTRACTORS, SUB-SUBCONTRACTORS, VENDORS, SUPPLIERS ETC. ARE RESPONSIBLE FOR OBTAINING AND MAINTAINING INSURANCE FOR GENERAL LIABILITY AND WORKMAN 5/32 S COMPENSATION IN THE MIN. AMOUNTS AS REQUIRED BY STATE STATUTES ON THIS PROJECT. THIS INCLUDES STORED MATERIALS NOT YET INVOICED FOR AND/OR ALL MATERIALS AND EQUIPMENT STORED OFF SITE. BY BIDDING AND CONTRACTING ANY OF THIS PROJECT(S) WORK ALL PARTIES AGREE TO NON-BINDING MEDIATION AS THE PRIMARY METHOD TO RESOLVE ANY CONFLICT/DISPUTES THAT ARIST DURING OR FOLLOWING THE COMPLETION OF THE PROJECT, UNLESS THE PARTIES INVOLVED MUTUALLY AGREE OTHERWISE. THE PARTIES FURTHER AGREE TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH SUBCONTRACTORS, SUB-

SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, ETC. 3. THE GENERAL CONTRACTOR, OWNER, SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, ETC. AND ANY OTHER PERSONS SHALL NOT MAKE ANY MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL OF THE ABOVE AGREE TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, LOSSES AND EXPENSES INCLUDING ATTORNEYS FEES AND DEFENSE COSTS ARISING OUT OF ANY UNAUTHORIZED REUSE OR MODIFICATIONS OF THE CONSTRUCTION DOCUMENTS BY THE CONTRACTORS, OWNER OR OTHER PERSONS. 4. ALL INSTRUCTIONS TO BIDDERS (IF APPLICABLE) TO BE AS COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. THIS WILL INCLUDE A "WORK BY OWNER" LIST AND "WORK BY VENDORS" LISTS. UPON IN WRITING BY THE GENERAL CONTRACT OR AND SUBCONTRACTOR, THE GENERAL CONTRACTOR AND VENDOR, AND THE OWNER AND GENERAL CONTRACTOR AND AUTHORIZED BY OWNER'S SIGNATURE.

6. CERTIFICATES OF INSURANCE FOR EACH SUBTRADE AND VENDOR, ETC. SHALL BE KEPT ON FILE BY GENERAL CONTRACTOR AND PRESENTED TO OWNER BEFORE FIRST WORK IS BEGUN.
7. ALL FEDERAL, OSHA, STATE AND LOCAL SAFETY STANDARDS ARE TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUB-SUBCONTRACTORS UNTIL FINAL COMPLETION AND CERTIFICATE OF OCCUPANCY ISSUED BY 8 IF APPLICABLE THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSIGNING ALL RELATED WORK AREAS AS PER HIS COMPANY'S PROJECT BUYOUT POLICIES SO AS TO PROVIDE A FINISHED, OPERATIONAL SITE AND BUILDING WITH COMPLETE AND FUNCTIONING SYSTEMS. THE TRADE 5/32 S WORK AREAS AS OUTLINED IN PLANS. NOTES AND SPECIFICATIONS DO NOT HAVE TO REMAIN AS

# CONTRACTOR STANDARD OF CARE

. CONTRACTORS ARE TO EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK. CONTRACTORS ARE RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. ANY SUCH ERROR WILL NOT BE CONSIDERED AS A BASIS FOR A CHANGE ORDER OR EXTRA COMPENSATION.

3. GENERAL CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF ALL WORK AND IS RESPONSIBLE FOR ALL LINES AND MEASUREMENTS (WITHIN REASONABLE TOLERANCES) OF THE BUILDING, UTILITIES AND OTHER WORK EXECUTED UNDER THIS CONTRACT.)

4. DIMENSIONS ARE TYPICALLY MEASURED FROM STUD TO STUD, UNLESS NOTED OTHERWISE. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

5. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS. 6. DIMENSIONS OR ITEMS MARKED AS "FIELD VERIFY" OR "VIF (VERIFY IN FIELD)" SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. SHOULD ANY PROBLEMTS ARISE IN THE FIELD, OR IF THE CONTRACTOR IS UNABLE TO DEDUCE DESIGN INTENT - IT IS THE

RESPONSIBILITY OF SAID CONTRACTOR TO NOTIFY THE ARCHITECT FOR REMEDY.

7. WORK THAT IS NOT PARTICULARLY DETAILED DETAILED, NOTED OR SPECIFIED, SHALL BE CONSTRUCTED IN LIKE FASHION AS SIMILAR WORK THAT IS DETAILED. SHOULD ANY QUESTION ARISE IN THE FIELD OR IF DRAWINGS LACK A CLARITY THAT IS ACCEPTABLE TO THE GENERAL CONTRACTOR, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDY. 8. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR INTERPRETATION. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR THE RESULTS FROM INTERPRETATIONS OF OTHERS. 9. THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE/FULL-SIZE DETAILS. SHOULD SUBSEQUENT CLARIFICATIONS BE MADE BY REQUEST OF THE GENERAL CONTRACTOR OR OWNER, THESE DETAILS SHALL BECOME BINDING ELEMENTS OF THE CONTRACT DOCUMENTS AND SHALL BE TREATED AS SUCH.

WINGS AND DIAGRAMS FOR MECHANICAL. ELECTRICAL. OR PLUMBING WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONL SAID DRAWINGS ARE NOT TO BE USED FOR ANY STRUCTURAL GUIDANCE OR PHYSICAL LAYOUT UNLESS NOTED DISTINCTLY OTHERWISE. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECTURAL DRAWINGS SHOWING LOCATIONS FOR MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS AND ACCESSORIES SHALL TAKE PRECEDENCE. 11. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL, PLUMBING, AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED. ALL COSTS FOR THIS ARE TO BE INCLUDED IN THE CONTRACTOR'S PROPOSAL.

2. ALL CONTRACTORS SHALL VERIFY DIMENSIONS AS RELATED TO THEIR SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS, EQUIPMENT, ETC. 3. THE CONTRACTOR SHALL REMOVE, REPAIR, RESTORE AND REPLACE ANY WORK NECESSARY OR INDICATED ON THE DRAWINGS -UT ALL NECESSARY OPENINGS AND REPAIR AFTER CUTTING WHERE NECESSARY. ALL PROTRUSIONS, MARKS, CRACKS, OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY ITEMS WHICH ARE SPLIT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING, OUT OF ALIGNMENT, MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR DAMAGED IN ANY MANNER SHALL BE REMOVED, REPLACED, RESTORED OR SATISFACTORILY REPAIRED AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND/OR ARCHITECT. 14. UPON NOTIFICATION, THE GENERAL CONTRACTOR SHALL ATTEND AND ENTERTAIN A PUNCH-LIST INSPECTION AND MAKE GOOD ON ALL PUNCH-LIST ITEMS (WITHIN REASONABLE LIMITS) TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO FINAL

15. THE GENERAL CONTRACTOR IS RESONSIBLE FOR ALL TRASH REMOVAL, INCLUDING TRASH MADE BY ALL OTHER TRADES, AND

TELEPHONE. DATA. "OWNER'S FORCES" ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING

**SPECIFICATIONS** 

FITTING AND PATCHING REQUIRED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND

SHALL KEEP THE SPACE CLEAN AND CLEAR OF REFUSE AT ALL TIMES. 16. THE GENERAL CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE PROJECT AT THE COMPLETION OF CONSTRUCTION, AND BEFORE TURNING THE PROJECT OVER TO THE OWNER/OWNER'S REPRESENTATIVE. WORK IS TO INCLUDE, BUT IS NOT LIMITED TO, ALL CEILING, FLOOR AND WALL SURFACES AND FIXTURES. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN AND/OR CONDITION MANUFACTURED ARTICLES. MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. SHOULD A CONFLICT BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS BE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT REFORE PROCEEDING . THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS, INCLUDING BUT NOT LIMITED TO,

# **USE OF PREMISES**

1. CONSTRUCTION OPERATIONS ARE TO BE LIMITED TO AREAS DESIGNATED ON DRAWINGS. 2. VERIFY TIME RESTRICTIONS WITH OWNER AND GOVERNING BODIES. THIS OFFICE WILL WORK DILIGENTLY TO ASSIST THE GENERAL CONTRACTOR AND OWNER IN MEETING SAID TIME RESTRAINTS - BUT WILL NOT BE HELD RESONSIBLE FOR ANY FAILURE TO DO SO. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO SET ATTAINABLE TIME RESTRAINTS FOR A SUCCESSFUL JOB. 3. ANY UTILITY OUTAGES SHALL BE COORDINATED WITH THE OWNER AND/OR OWNER.
4. GENERAL CONTRACTOR AND SUB CONTRACTORS ARE TO INSURE THAT INCONVENIENCE TO THE GENERAL PUBLIC IS HELD AT AN ABSOLUTE MINIMUM. COMPLY WITH APPLICABLE CODES AND SAFETY ORDINANCES.

5. GENERAL CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.

6. ANY WORK THAT CAUSES EXCESSIVE NOISE, DUST OR ODORS IS TO BE CONDUCTED IN A MANNER THAT IS APPROVED BY THE OWNER AND/OR LANDLORD. IF APPLICABLE, THESE DUTIES ARE TO BE PERFORMED AFTER TENANT BUSINESS HOURS. 7. COORDINATE USE OF PREMISES FOR WORK WITH THE LANDLORD AND/OR OWNER PRIOR TO COMMENCEMENT OF WORK. 8. LIMIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPECIFIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE OWNER AND/OR LANDLORD.

9. TEMPORARY SANITARY FACILITIES FOR WORKERS OF ALL TRADES SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE GENERAL CONTRACTOR. IF "CONTRACTOR-USE" FACILITIES DO NOT EXIST ON SITE. PERMANENT TOILETS INSTALLED ON THE PROJECT SHALL NOT BE USED DURING THE CONSTRUCTION OF THIS PROJECT. ALL FACILITIES AND SERVICES SHALL BE FURNISHED IN STRICT ACCORDANCE WITH EXISTING GOVERNING HEALTH REGULATIONS. 10. ARRANGE WITH THE LANDLORD/OWNER A CONVENIENCE TIME TO PERFORM ALL WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH

## HAZARDOUS MATERIALS

1. NO PROJECT ENVIRONMENTAL REPORT FOR ANY HAZARDOUS MATERIALS, INCLUDING RADON, SPILLED CHEMICALS, U.S.T.'S, ETC. WAS PROVIDED BY THE OWNER TO ARCHITECT, THEREFORE, THIS ARCHITECT ASSUMES NO LIABILITY SHOULD ANY CONDITION ARISE THAT COULD HAVE BEEN DISCOVERED OR PREVENTED HAD SUCH INVESTIGATIONS BEEN CONDUCTED. 2. THIS ARCHITECT HAS NO PROFESSIONAL LIABILITY FOR ANY CLAIMS REGARDING HAZARDOUS MATERIALS OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES TO INVESTIGATE OR REMEDIATE THE PRESENCE OF SAID MATERIALS

# **ARCHITECT'S DISCLAIMERS**

DRAWING SET WILL BE RENDERED NULL AND VOID AND ALL PROFESSIONAL RESPONSIBILITY AND LIABILITY OF THIS ARCHITECT WILL BE IMMEDIATELY TERMINATED 2. IT IS THE LEGAL AND PRFESSIONAL RESPONSIBILITY OF THE CLIENT AND ALL CONTRACTORS TO ADHERE FULLY TO THE SPECIFICATIONS HEREIN, IF ANY DISCREPENCIES OR ISSUES ARE DISCOVERED IN THE FIELD - THIS ARCHITECT IS TO BE NOTIFIED. IMMEDIATELY FOR MEDIATED. SAID DISCREPENCIES/ISSUES ARE NOT TO BE ADDRESSED WITHOUT WRITTEN APPROVAL FROM THIS 3. THIS ARCHITECT IS IN NO WAY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE WORK SITE ADHERES TO ALL GUIDELINES AND SPECIFICATIONS OF OSHA AND OTHER APPLICABLE GOVERNING BODIES. FURTHER, THE ARCHITECT AND HIS CONSULTANTS WILL NOT HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACTS. OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OF ENTITIES PERFORMING PORTIONS OF THE WORK 4. ALL CONSTRUCTION SHALL ADHERE FULLY TO APPLICABLE STATE AND LOCAL BUILDING CODES. IF ANY QUESTION AS TO SAID COMPLIANCE ARISE IN THE FIELD, THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY

1 IF DESIGN INDICATED HEREIN IS IN ANY WAY NOT FULFILLED. THROUGH INTENTIONAL OR UNINTENTIONAL DEVIATION - THIS

#### **QUALITY OF WORK**

1. GENERAL CONTRACTOR TO ENSURE THAT CONSTRUCTION AND FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES, DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. SHOULD A CONTRACTOR WORK IN SEQUENCE AFTER ANOTHER CONTRACTOR (FOR EXAMPLE, A DRYWALL CREW BEGINS WORK AFTER A FRAMING CREW)- COMMENCEMENT OF WORK SHALL INDICATE THE LATER CONTRACTOR'S ACCEPTABCE OF PREDECESSOR'S WORK AS SATISFACTORY. 2. REPAIR AND PREPARE EXISTING SURFACES (IF APPLICABLE) PRIOR TO APPLICATION OF NEW FINISH.
3. ALL CODE-REQUIRED LABELS (SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES) SHALL REMAIN READABLE AND NOT PAINTED.

4. COORDINATE WITH OWNER'S DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG

5. PAINT AND OTHER FINISHES ARE TO BE APPLIED TO CREATE A SOLID, ACCEPTABLE FINISH. ALL FINISHES SHALL ADHERE TO A

## CONTRACT DOCUMENTS

FOUND IN EITHER OR BOTH. SHOULD A DISCREPANCY BE DISCOVERED, ONE DOES NOT AUTOMATICALLY TAKE PRECEDENT OVER THE OTHER. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BRING SAID DISCREPANCY TO THE ATTENTION OF THE Z. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED. AS A CONDITION OF THE CONTRACT. TO ACQUAINT HIM/HERSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO, ITS CONDITIONS. 3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS, ETC. IN CASE OF CONFLICT - IT IS THE RESONSIBILTY OF THE GENERAL CONTRACTOR TO NOTIFY THIS

1. DRAWINGS AND SPECIFICATIONS (IF APPLICABLE) ARE INTENDED TO BE COMPLIMENTARY. SPECIFIC INFORMATION MAY BE

4. THE DESIGNER/ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY APPARENTY CONFLICTS, ERRORS OR OMISSIONS IN THE CONSTRUCTION DRAWINGS OR ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE, OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. FAILURE TO NOTIFY THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK WILL REULT IN THE CONTRACTOR CORRECTING SUCH ITEM T THE CONTRACTOR'S EXPENSE.

5. THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, WHICH ATTEMPT TO CONVEY A DESIGN INTENT. SAID DRAWINGS DO NOT INDICATE OR SPECIFY IN DETAIL EVERY CONDITION AND COMPONENT OF CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND FOLIPMENT, FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIAL AND EQUIPMENT MANUFACTURER'S REQUIREMENTS, INDUSTRY STANDARDS AND FEDERAL,

#### **GENERAL NOTES**

AREA OF CONSTRUCTION

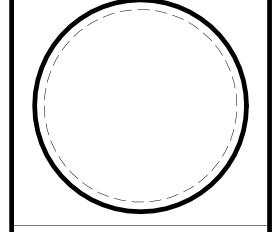
- DO NOT SCALE DRAWING. REFER TO DIMENSIONS AND VERIFY ANY DISCREPANCIES WITH THIS ARCHITECT. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY OWNER AND GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. - ALL EXTERIOR FINISHES (COLOR, STYLE, ETC.) AS PER OWNERS SELECTION & APPROVAL. CONTRACTOR VERIFY PRIOR TO

LANDSCAPING AS PER OWNER - INSTALLED BY OTHERS. - PROVIDE GUTTERING & DOWNSPOUTS AS PER CLIMATE, RAINFALL CONDITIONS, ETC. DIVERT RUN TO APPROVED STORM WATER COLLECTION AREA. CONTRACTOR VERIFY PRIOR TO CONSTRUCTION. REFER SITE IMPROVEMENT PLAN PREPARED BY OTHERS. ILL EXPOSED CONCRETE SURFACES AT EXTERIOR TO BE CONDITIONED W/ MANUFACTURERS DIRECTED APPLICATION OF CONCRETE SEALER BY KURE-N-SEAL 0800 BY SONNEBORN OR EQUAL. - CONTRACTOR SHALL DETERMINE FINISH FLOOR, FINISH PAVEMENT, FINISH GRADE ELEVATIONS, DOOR & WINDOW HEAD HEIGHT PRIOR TO CONSTRUCTION TO ENSURE POWER IS PROVIDED TO DESIGNATED LOCATIONS.

SITE DEVELOPMENT BY OTHERS. DETAILS HEREIN TO BE REFERENCES AS CALLED UPON BY SITE DEVELOPMENT PLANS FOR A THIS OFFICE IS IN NO WAY RESPONSIBLE FOR CONSTRUCTION STAGING AND/OR JOB SITE SAFETY. STAGING DETAILS (IF APPLICABLE) ARE FOR GENERAL REFERENCE ONLY AND PROVIDED AS A COURTESY. SAID DETAILS ARE TO BE USED AT THE DISCRETION OF THE OWNER/GENERAL CONTRACTOR



**DESIGN PROFESSIONAL** 



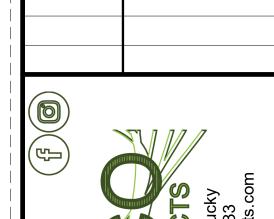
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	RE THAT ALL PERMITS AND APPROVALS ARE STAINED PRIOR TO COMMENCING WORK.
3Y	JEP; CLP
DATE	02/17/2021





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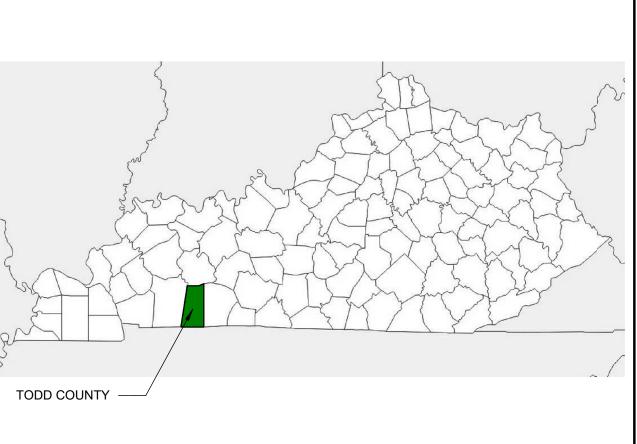
O NOT REMOVE ANY ELEMENT OF THESE DOCUM ROM THE DRAWING BORDER.

JILDING OFFICIALS AND CONTRACTORS WITH THE TENT OF CONSTRUCTING NAMED PROJECT IS MITTED PROVIDED THAT EACH PARTY IS ISSUED JLL SET OF DOCUMENTS. THIS ARCHITECT IS NOT ONSIBLE FOR WORK THAT DOES NOT ADHERE T E DESIGN INTENT ESTABLISHED BY THE COMPLETE T OF CONSTRUCTION DOCUMENTS.

HIS WORK IS PROTECTED UNDER THE UNITED STAT RCHITECTURAL WORKS COPYRIGHT PROTECTION AC F 1990. ALL ORIGINAL WORK HEREIN REMAINS THE OLE PROPERTY OF DECO ARCHITECTS UNLESS PRESSLY TRANSFERRED THROUGH WRITTE<mark>!</mark>

**GENERAL NOTES** 

**GENERAL** 



#### CMU CONCRETE MASONRY UNIT NOM **NOMINAL** INDICATES EXTERIOR MATERIALS COL COLUMN ON CENTER COMP COMPRESSIBLE OVERHANG OR OPPOSITE HAND **EXTERIOR ELEVATION** CONC CONCRETE OPPOSITE OR OPPOSITE HAND CONT CONTINUOUS ΟZ OUNCE CARPET PCC PRE-CAST CONCRETE CERAMIC TILE PLUMB PLUMBING CTYD COURTYARD PLYD PLYWOOD INDICATES ORIENTATION DBL DOUBLE PRESSURE TREATED OF ELEVATIONS DEMO DEMOLISH OR DEMOLITION PAINT OR PAINTED IN RELATION TO PLAN VIEW DIAMETER POLYVINYL CHLORIDE DIM DIMENSION RUBBER DIMS DIMENSIONS RCP REFLECTED CEILING PLAN DN **ROOF DRAIN** RD FIRE RATING DR DOOR REQD REQUIRED DWG DRAWING INDICATES REQUIRED FIRE ROOM EΑ EACH RATING OF A BUILDING ELEMENT SIMILAR ΕJ **EXPANSION JOINT SPEC** SPECIFIED OR SPECIFICATION **COUNTY MAP FLOOR FINISH ELEVATION** SPK SPRINKLER OR SPEAKER ELEC ELECTRICAL SSTL STAINLESS STEEL ELEV ELEVATOR OR ELEVATION STC INDICATES HEIGHT OF FINISH FLOOR SOUND TRANSMISSION EPDM ETHYLENE PROPYLENE DIENE M-CLASS COEFFICIENT (ROOFING) **LEVEL** EQ EQUAL STRUCT STRUCTURE OR STRUCTURAL **EXIST EXISTING** TONGUE AND GROOVE Name Elevation **INDICATES ELEVATION HEIGHTS EXP JT EXPANSION JOINT** TELE TELEPHONE EXT EXTERIOR TLT TOILET FLOOR DRAIN OR FIRE DEPARTMENT TME TO MATCH EXISTING **ROOM** FEC FIRE EXTINGUISHER CABINET TOP OF FIXT FIXTURE TOP OF CONCRETE Room name FLR FLOOR TOP OF STEEL INDICATES ROOM NAME AND **101 -** ROOM FM FILLED METAL TPD **TOILET PAPER DISPENSER** SQUARE FOOTAGE FO FACE OF TELEPHONE/DATA FND FOUNDATION **TYPICAL** SECTION GAUGE UNO **UNLESS NOTED OTHERWISE** GALV GALVANIZED **UNDERSIDE GWB** GYPSUM WALL BOARD **VERIFY IN FIELD** HC **HOLLOW CORE VISION PANEL** INDICATES LOCATION OF HI A101\_\_\_\_\_\_ DRAWING HIGH W/ WITH SECTION DRAWINGS HOLLOW METAL WD WOOD HIGH POINT SHEET NOTE HOUR HVAC HEATING, VENTILATING, AND AIR INDICATES RELATION OF ELEMENT PROJECT LOCATION CONDITIONING WITH PROVIDED SHEET NOTE **WALL TAG** INDICATES WALL TYPE **WINDOW TAG**

POUND OR NUMBER IRGWB IMPACT RESISTANT GYPSUM WALL ILO IN LIEU OF ACT ACOUSTIC CEILING TILE INSULATED OR INSULATION AD AREA DRAIN INTERIOR AFF ABOVE FINISHED FLOOR LO LOW ALUM ALUMINUM MAX MAXIMUM ANOD ANODIZED MO MASONRY OPENING BSMT BASEMENT MECHANICAL BYND BEYOND MEMBR MEMBRANE BOT BOTTOM MINIMUM CIP CAST IN PLACE MRGWB MOISTURE-RESISTANT GYPSUM CHNL CHANNEL WALL BOARD CONTROL JOINT METAL MTL CLG CEILING NOT IN CONTRACT CLR CLEAR **NUMBER** 

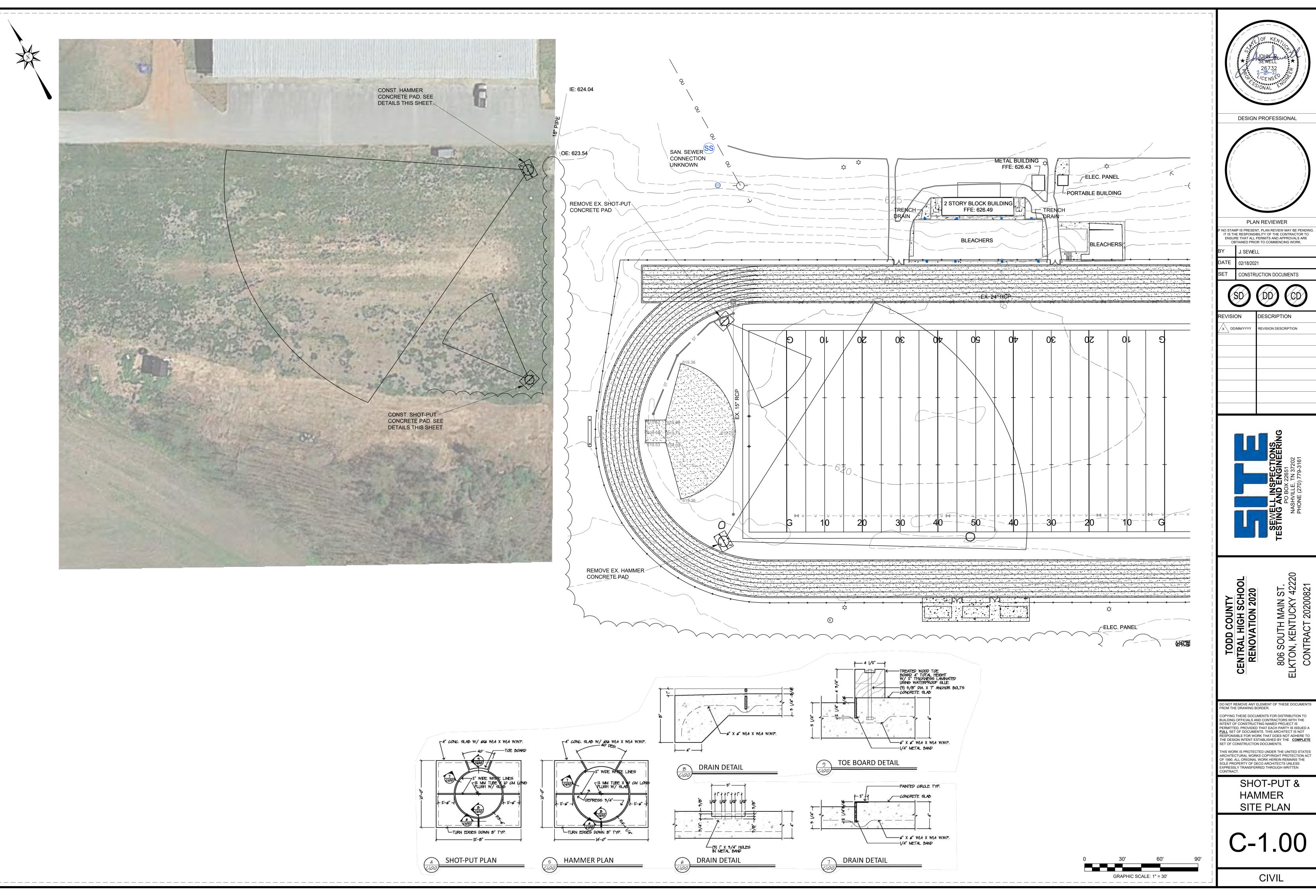
**VICINITY MAP** 

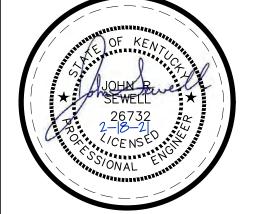
(101) INDICATES DOOR TYPE **ELEVATION MATERIAL** 

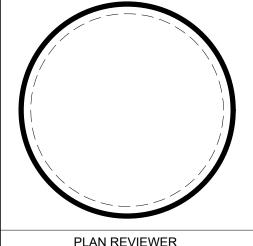
INDICATES WINDOW TYPE SYMBOL LEGEND

**ABBREVATIONS** 

SITE MAP







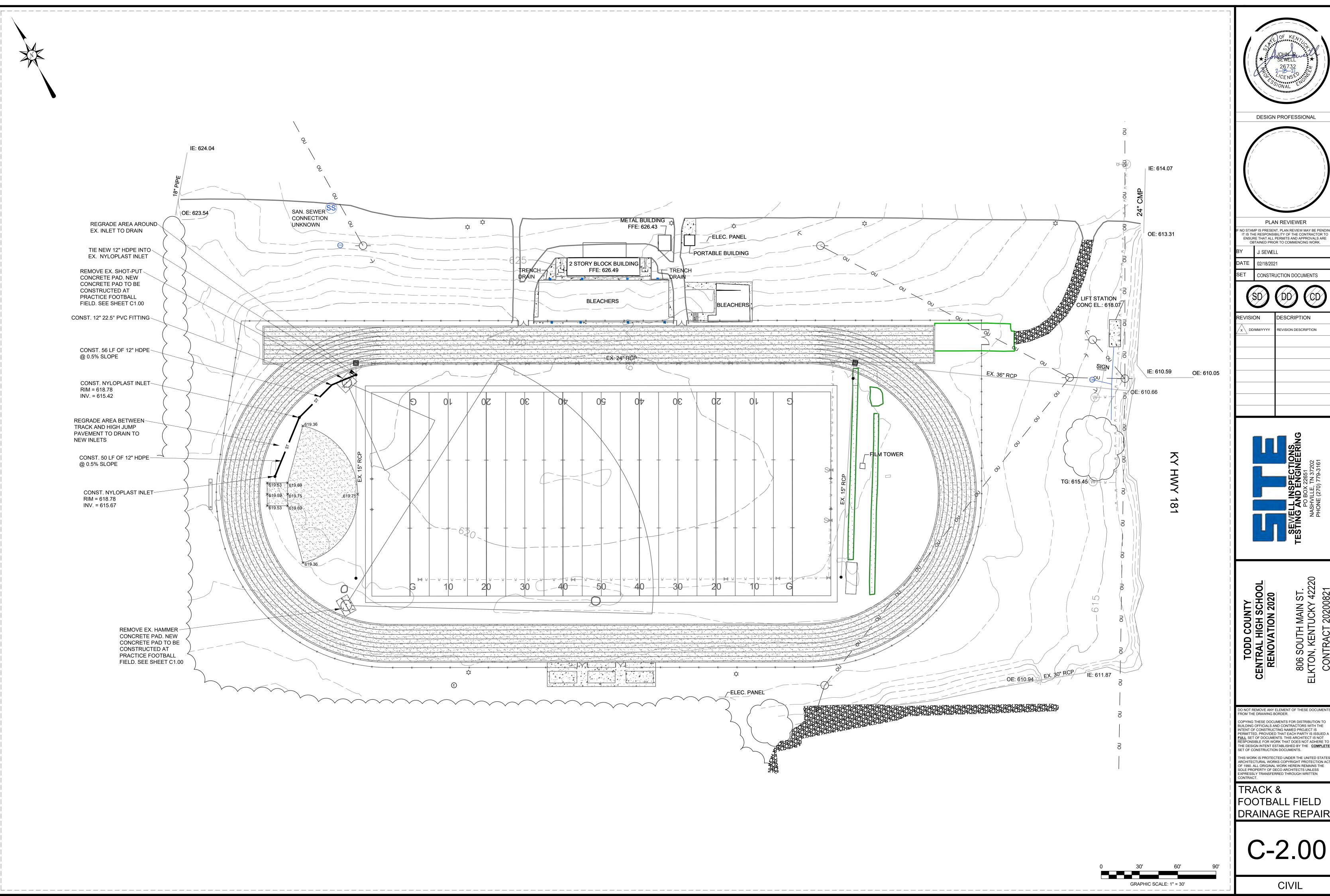
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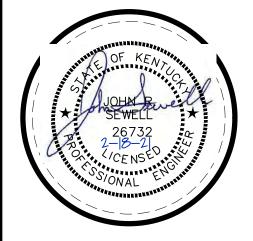
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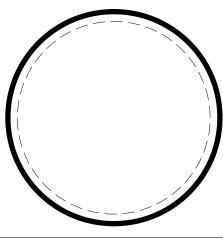
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SHOT-PUT & SITE PLAN

C-1.00







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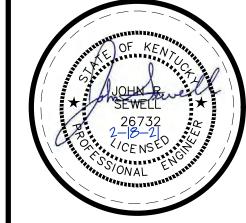
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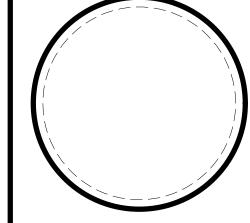
FOOTBALL FIELD DRAINAGE REPAIRS

C-2.00

CIVIL







PLAN REVIEWER NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
ENSURE THAT ALL PERMITS AND APPROVALS ARE
OBTAINED PRIOR TO COMMENCING WORK.

J. SEWELL 02/18/2021

CONSTRUCTION DOCUMENTS

EVISION DESCRIPTION EVISION DESCRIPTION

DO NOT REMOVE ANY ELEMENT OF THESE DOCUMENTS FROM THE DRAWING BORDER.

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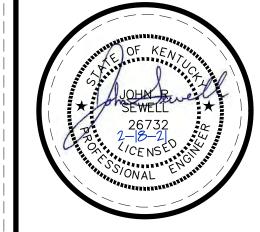
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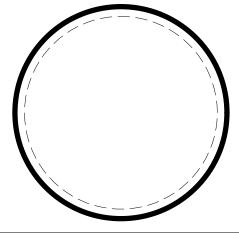
PAVEMENT REPAIRS & **IMPROVEMENTS** 

C-3.00

CIVIL







PLAN REVIEWER

F NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

02/18/2021

ET CONSTRUCTION DOCUMENTS

SD DD

DESCRIPTION

DD/MM/YYYY

REVISION DESCRIPTION

SEWELL INSPECTIONS
ESTING AND ENGINEERING
PO BOX 22651
NASHALL ETA 37202

ENTRAL HIGH SCHOOL RENOVATION 2020

DO NOT REMOVE ANY ELEMENT OF THESE DOCUMENTS FROM THE DRAWING BORDER.

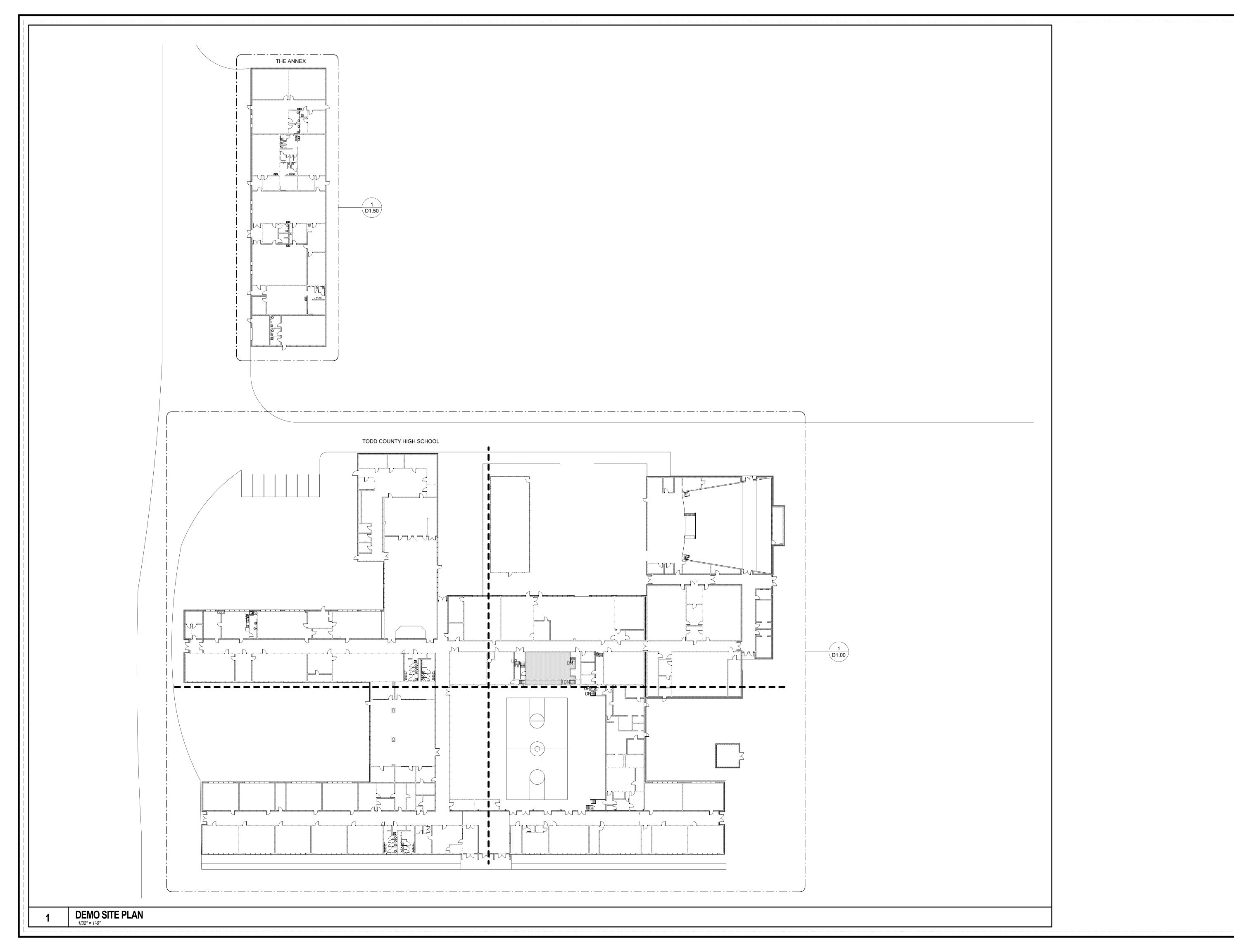
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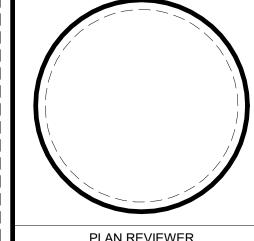
ACCESS ROAD PAVEMENT

C-4.00

CIVIL







PLAN REVIEWER

IF NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

JEP; CLP

DATE 02/17/2021 CLIENT REVIEW



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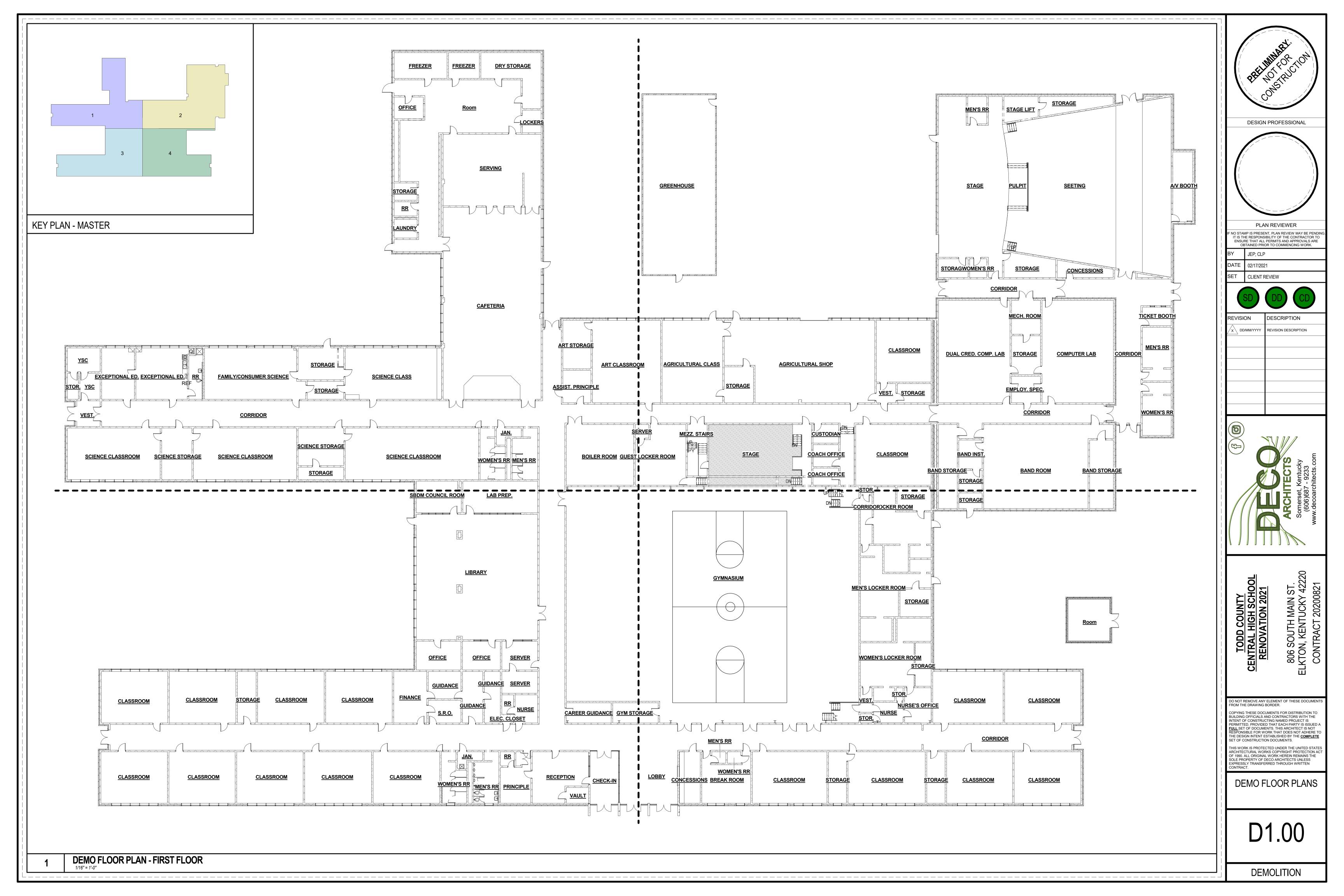


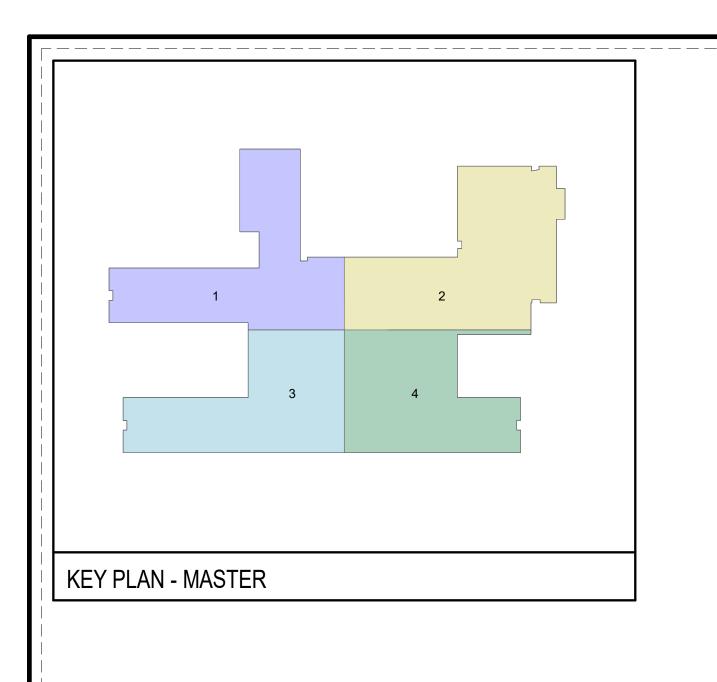
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**DEMO SITE PLAN** 



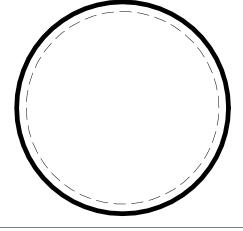


# ○ DEMO NOTES

- 1. DEMOLISH EXISTING RESTROOM PARTITIONS IN THEIR ENTIRITY, REF. A SHEET SERIES FOR LAYOUT OF NEW COMPARTMENTS AND SPECIFICATIONS.
- 2. DEMOLISH EXISTING CEILING FOR NEW MECHANICAL AND ELECTRICAL WORK AS NOTED IN M AND E SERIES. ROOM TO RECEIVE NEW DROP CEILING PER A SHEET SERIES.
- 3. EXISTING UNIT VENTILATOR TO BE REMOVED PER MECHANICAL SERIES. PRESERVE EXISTING EXTERIOR GRILLE FOR REFINISH. REMOVE EXISTING DAMAGED TILE AND ADHESIVE FOR REPLACEMENT.
- 4. REMOVE EXISTING A.C.T. PANELS, PRESERVE EXISTING GRID IN PLACE. REFERENCE A SERIES FOR MORE INFORMATION ON NEW CEILING.
- NOT USED NOT USED
- 7. REMOVE EXISTING A.C.T. PANELS AND CEILING GRID. NO A.C.T. DEMOLITION TO BE DONE IN HALLWAY BEYOND BULKHEAD. 8. PREPARE
- 9. EXISTING COLUMN TO REMAIN. 10. REFERENCE ELEVATIONS FOR CURTAINWALL GLASS PANES TO
- BE REPLACED. DURING DEMOLITION SURVEY ALL PANES TO
- ENSURE ALL PANES ARE REPLACED AS REQUIRED. 11. CLEAN WALLS IN PREPARATION FOR NEW WALL PAINT. REFERENCE INTERIOR ELEVATIONS IN A-SERIES DRAWINGS. 12. REFERENCE DOOR SCHEDULES TO SEE DOORS THAT ARE TO BE
- REPLACED, REPAINTED, OR NEED NEW HARDWARE. PREPARE DOOR FOR NEW CONSTRUCTION WORK. THIS INCLUDES BUT IS NOT LIMITED TO REMOVING DOORS FROM HINGES, PRESSURE WASHING EXISTING FINISHES, AND REMOVAL OF EXISTING HARDWARE. FOR DOORS THAT ARE PART OF A LARGER ASSEMBLY, ENSURE ALL ELEMENTS ARE PREPPED TO RECEIVE COORDINATED FINISHES.
- 13. DEMOLISH EXISTING WALL AS NOTED. WALLS ARE TO BE REMOVED FULLY FROM FLOOR TO ROOF CONNECTION.



DESIGN PROFESSIONAL



PLAN REVIEWER

NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

DATE 02/17/2021

JEP; CLP

CLIENT REVIEW

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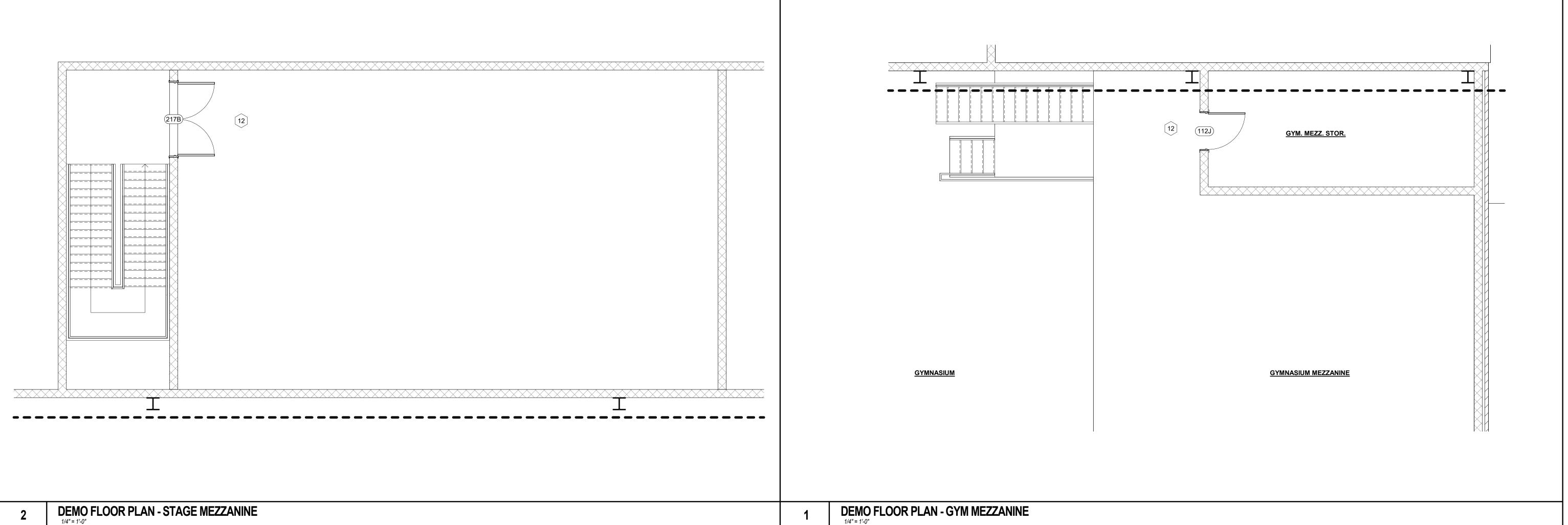
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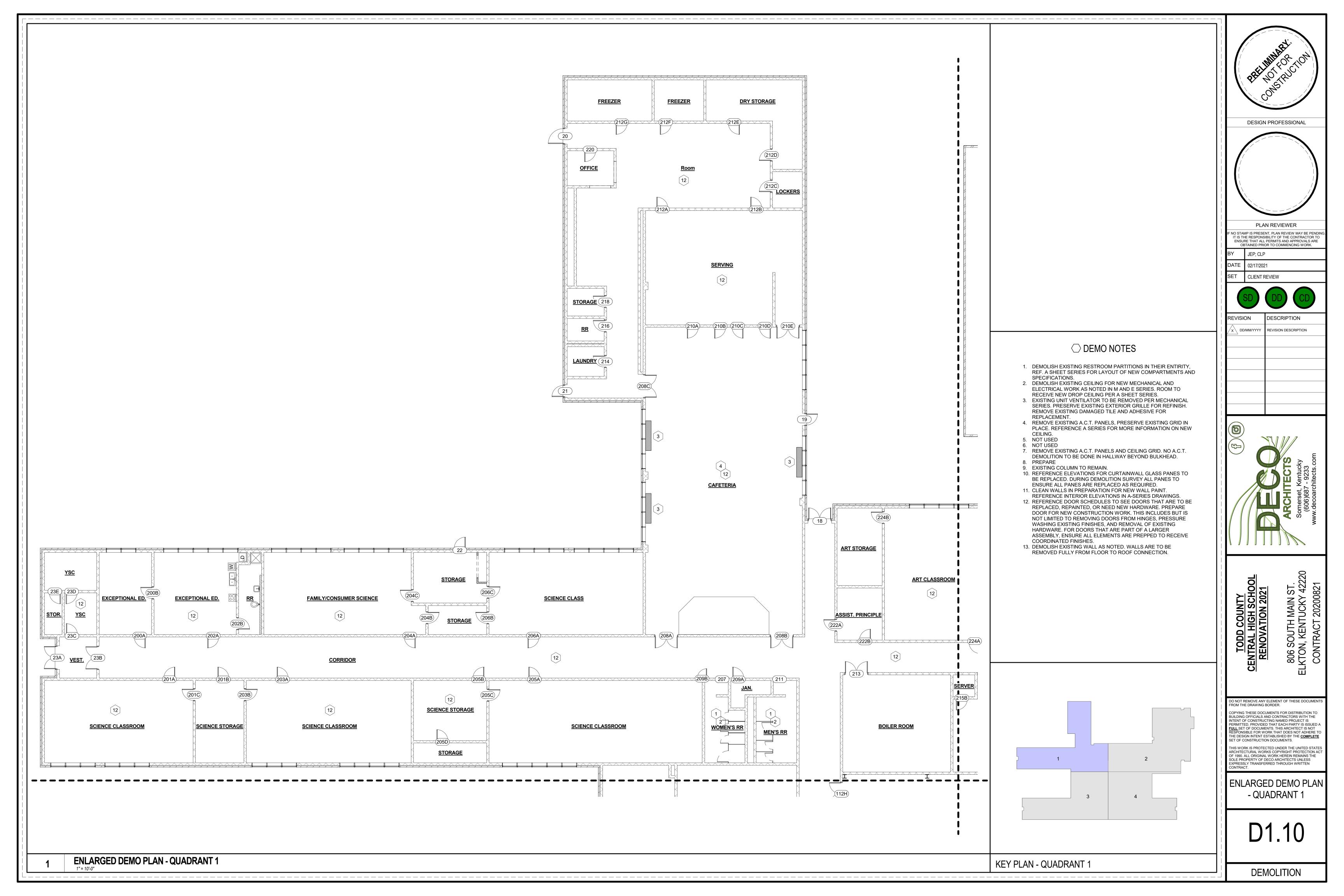
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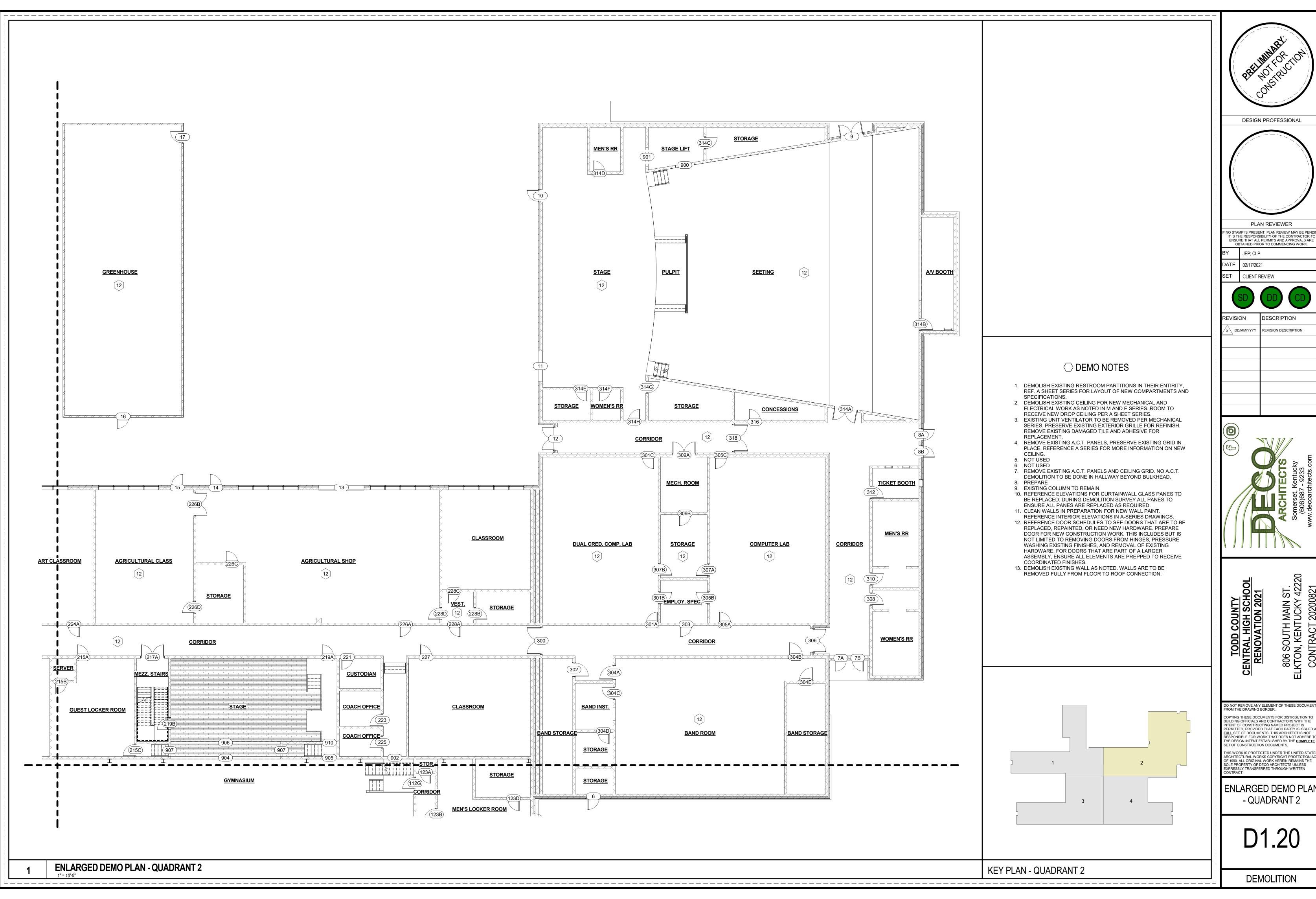
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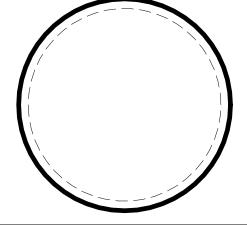
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**DEMO FLOOR PLANS** 









PLAN REVIEWER NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDIN

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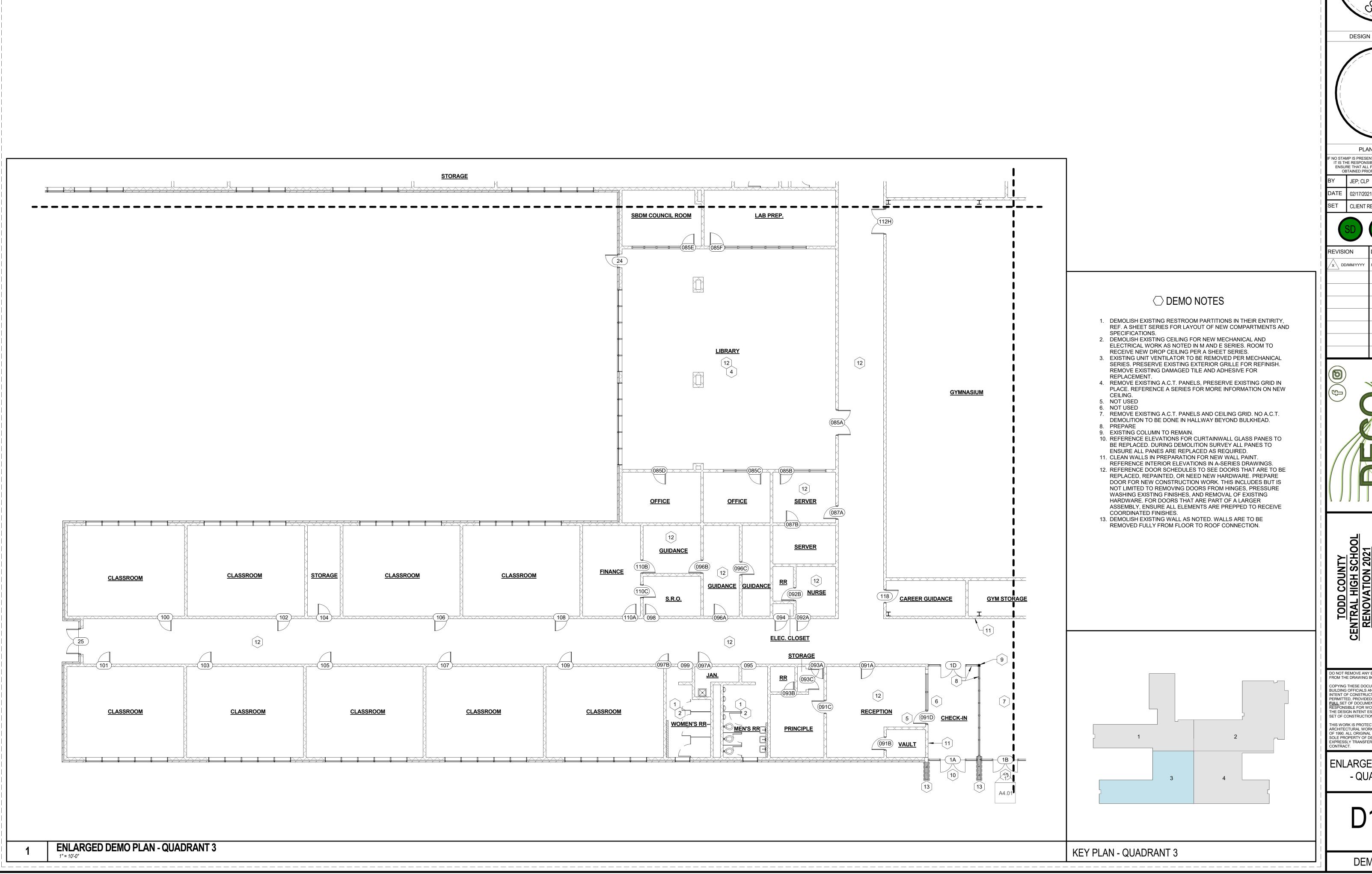


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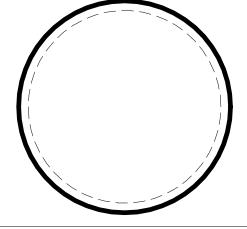
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ENLARGED DEMO PLAN - QUADRANT 2







PLAN REVIEWER

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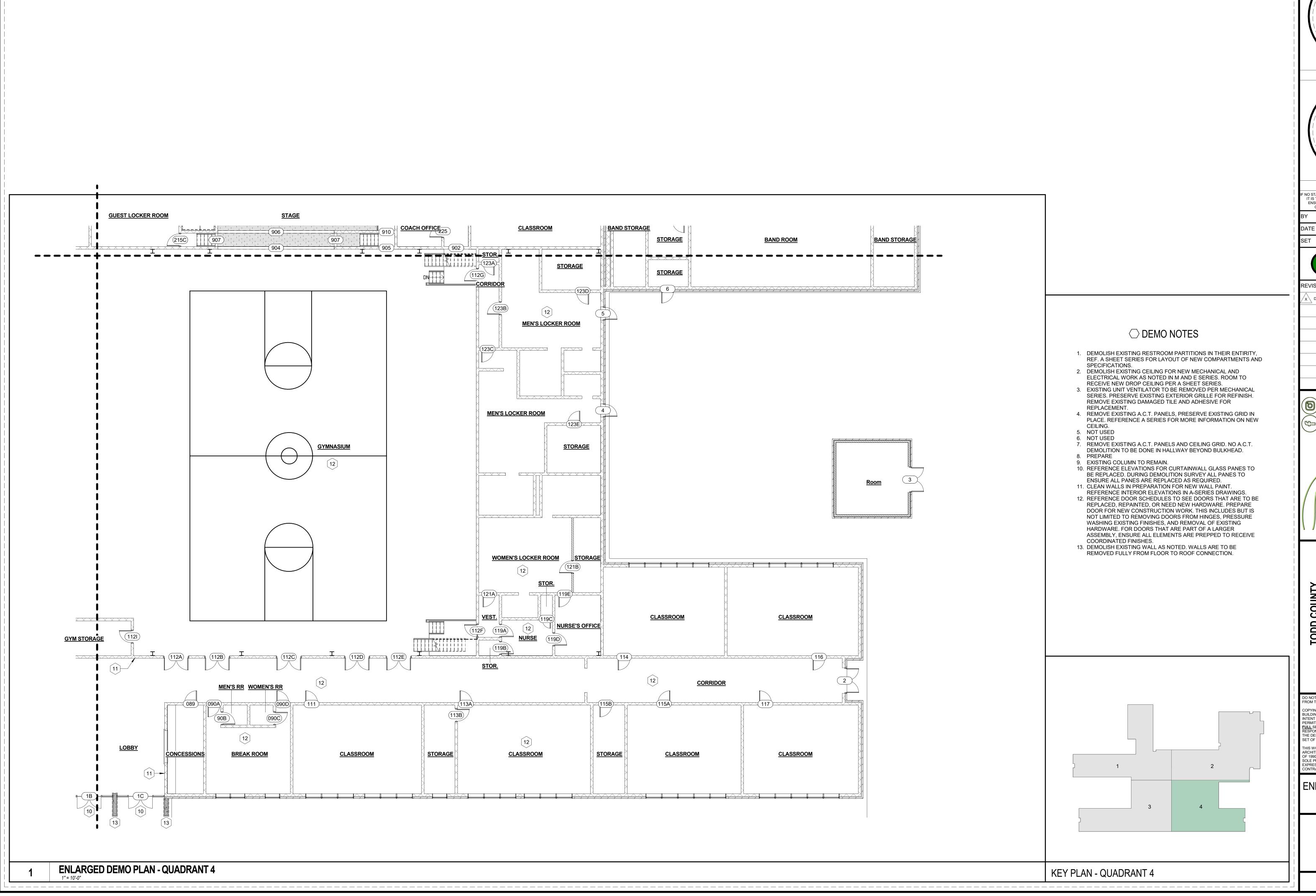
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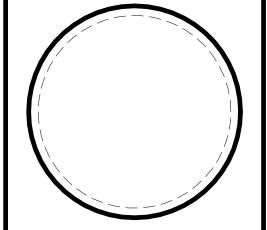
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ENLARGED DEMO PLAN - QUADRANT 3







PLAN REVIEWER

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NTRAL HIGH SCHOOL
RENOVATION 2021

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ENLARGED DEMO PLAN - QUADRANT 4

D1.40

# ○ DEMO NOTES

- 1. DEMOLISH EXISTING RESTROOM PARTITIONS IN THEIR ENTIRITY. REF. A SHEET SERIES FOR LAYOUT OF NEW COMPARTMENTS AND
- SPECIFICATIONS. 2. DEMOLISH EXISTING CEILING FOR NEW MECHANICAL AND ELECTRICAL WORK AS NOTED IN M AND E SERIES. ROOM TO
- RECEIVE NEW DROP CEILING PER A SHEET SERIES. 3. EXISTING UNIT VENTILATOR TO BE REMOVED PER MECHANICAL SERIES. PRESERVE EXISTING EXTERIOR GRILLE FOR REFINISH. REMOVE EXISTING DAMAGED TILE AND ADHESIVE FOR
- REPLACEMENT. 4. REMOVE EXISTING A.C.T. PANELS, PRESERVE EXISTING GRID IN PLACE. REFERENCE A SERIES FOR MORE INFORMATION ON NEW CEILING.
- 5. NOT USED
- 7. REMOVE EXISTING A.C.T. PANELS AND CEILING GRID. NO A.C.T. DEMOLITION TO BE DONE IN HALLWAY BEYOND BULKHEAD.
- 8. PREPARE
- 9. EXISTING COLUMN TO REMAIN. 10. REFERENCE ELEVATIONS FOR CURTAINWALL GLASS PANES TO BE REPLACED. DURING DEMOLITION SURVEY ALL PANES TO
- ENSURE ALL PANES ARE REPLACED AS REQUIRED. 11. CLEAN WALLS IN PREPARATION FOR NEW WALL PAINT.
- 12. REFERENCE DOOR SCHEDULES TO SEE DOORS THAT ARE TO BE REPLACED, REPAINTED, OR NEED NEW HARDWARE. PREPARE DOOR FOR NEW CONSTRUCTION WORK. THIS INCLUDES BUT IS NOT LIMITED TO REMOVING DOORS FROM HINGES, PRESSURE WASHING EXISTING FINISHES, AND REMOVAL OF EXISTING HARDWARE. FOR DOORS THAT ARE PART OF A LARGER ASSEMBLY, ENSURE ALL ELEMENTS ARE PREPPED TO RECEIVE

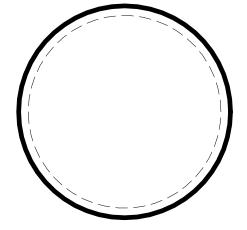
REFERENCE INTERIOR ELEVATIONS IN A-SERIES DRAWINGS.

13. DEMOLISH EXISTING WALL AS NOTED. WALLS ARE TO BE REMOVED FULLY FROM FLOOR TO ROOF CONNECTION.

COORDINATED FINISHES.



DESIGN PROFESSIONAL



PLAN REVIEWER

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DATE 02/17/2021 CLIENT REVIEW

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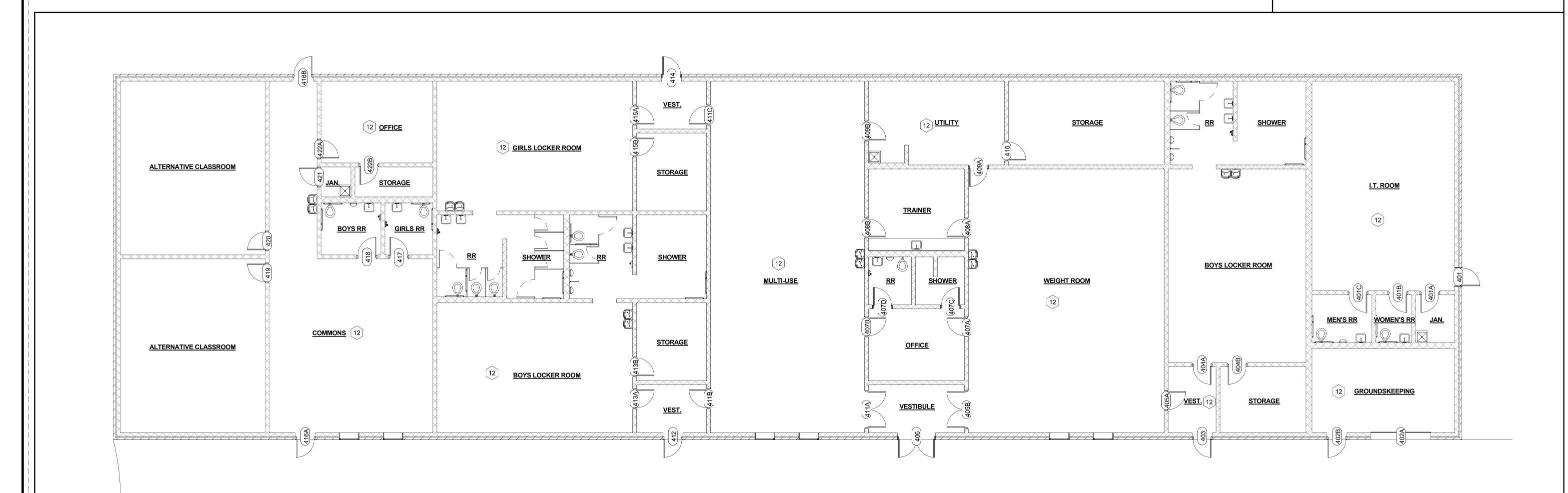
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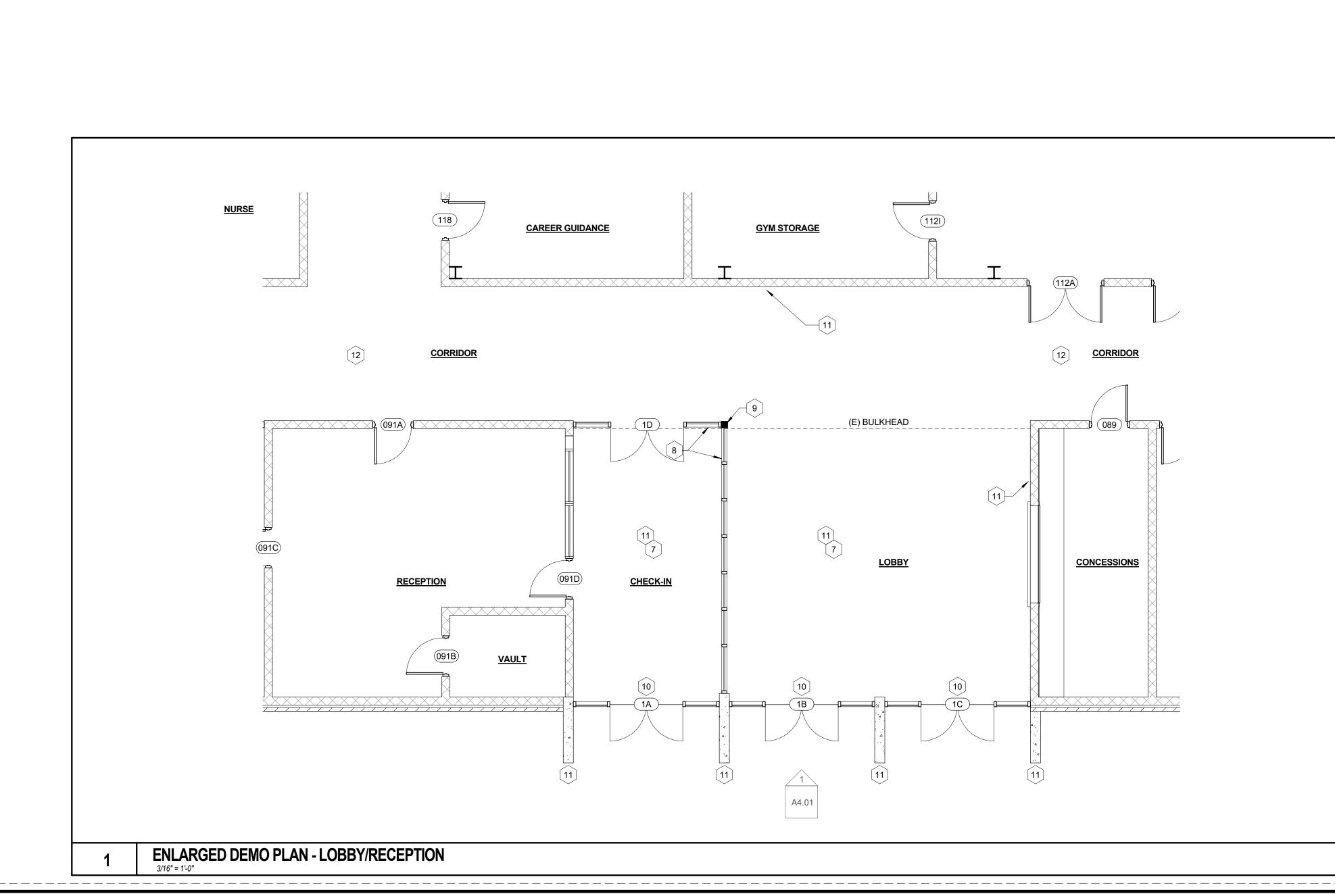
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DEMO FLOOR PLAN -**ANNEX** 

**DEMOLITION** 



**DEMO FLOOR PLAN - ANNEX** 

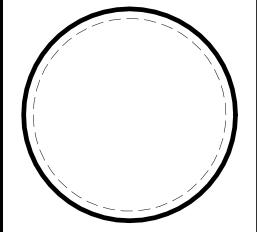


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- 2. DEMOLISH EXISTING CEILING FOR NEW MECHANICAL AND ELECTRICAL WORK AS NOTED IN M AND E SERIES. ROOM TO RECEIVE NEW DROP CEILING PER A SHEET SERIES.
- 3. EXISTING UNIT VENTILATOR TO BE REMOVED PER MECHANICAL SERIES. PRESERVE EXISTING EXTERIOR GRILLE FOR REFINISH. REMOVE EXISTING DAMAGED TILE AND ADHESIVE FOR REPLACEMENT.
- 4. REMOVE EXISTING A.C.T. PANELS, PRESERVE EXISTING GRID IN PLACE. REFERENCE A SERIES FOR MORE INFORMATION ON NEW
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DESIGN PROFESSIONAL



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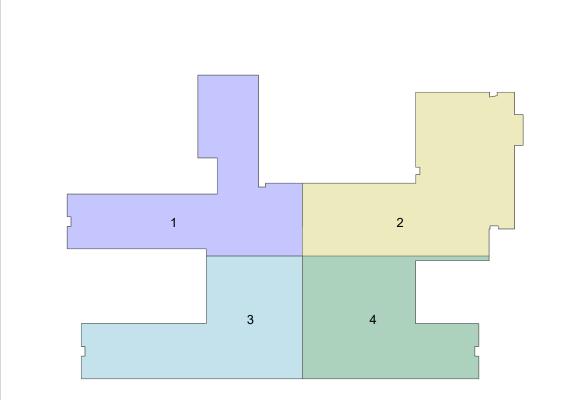
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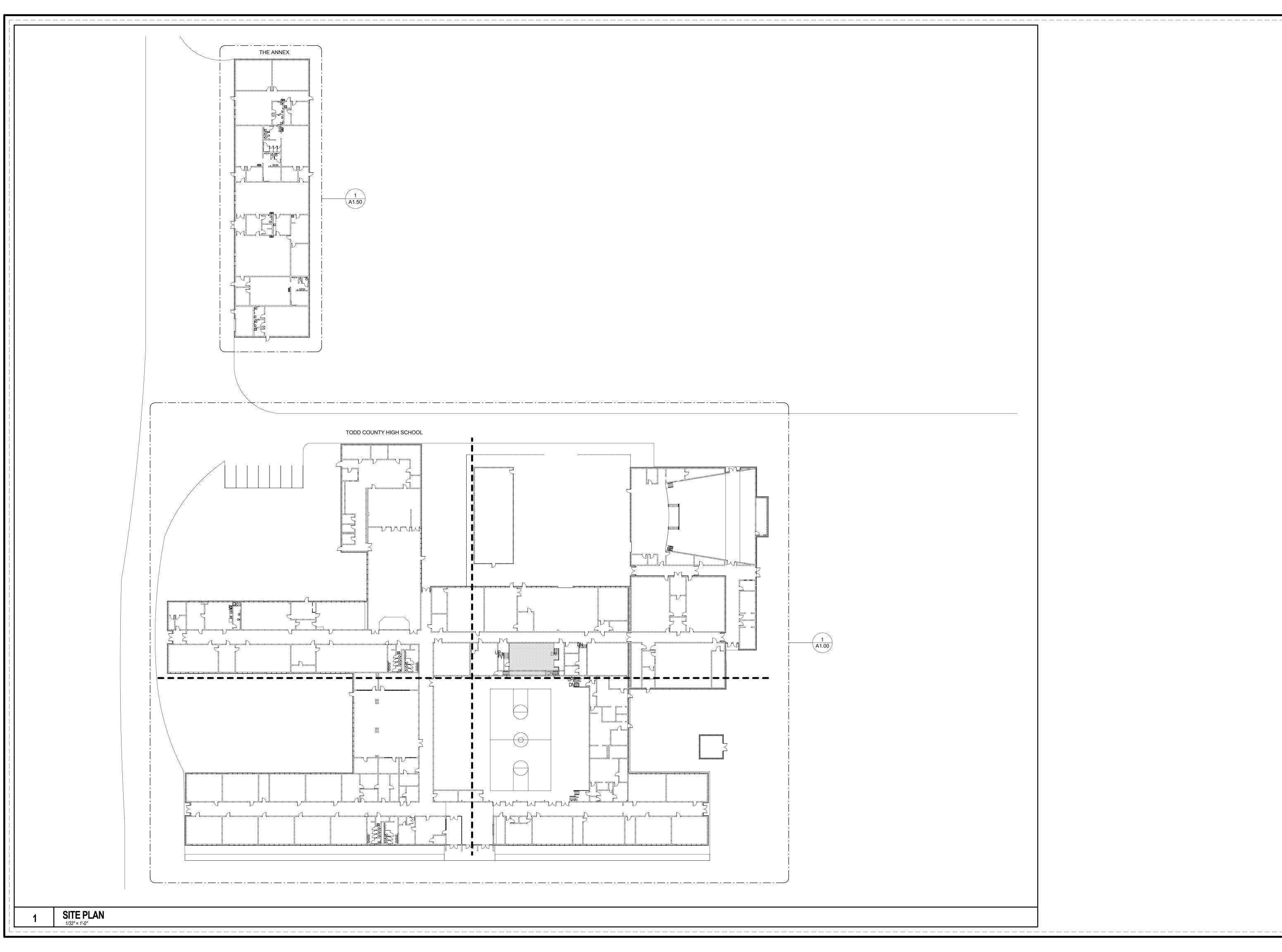
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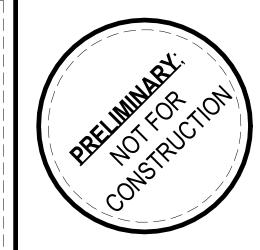
ENLARGED DEMO PLAN - LOBBY/RECEPTION

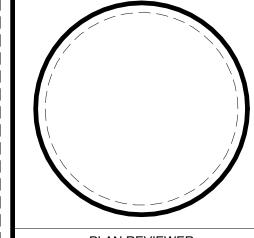
**DEMOLITION** 



KEY PLAN - MASTER







PLAN REVIEWER

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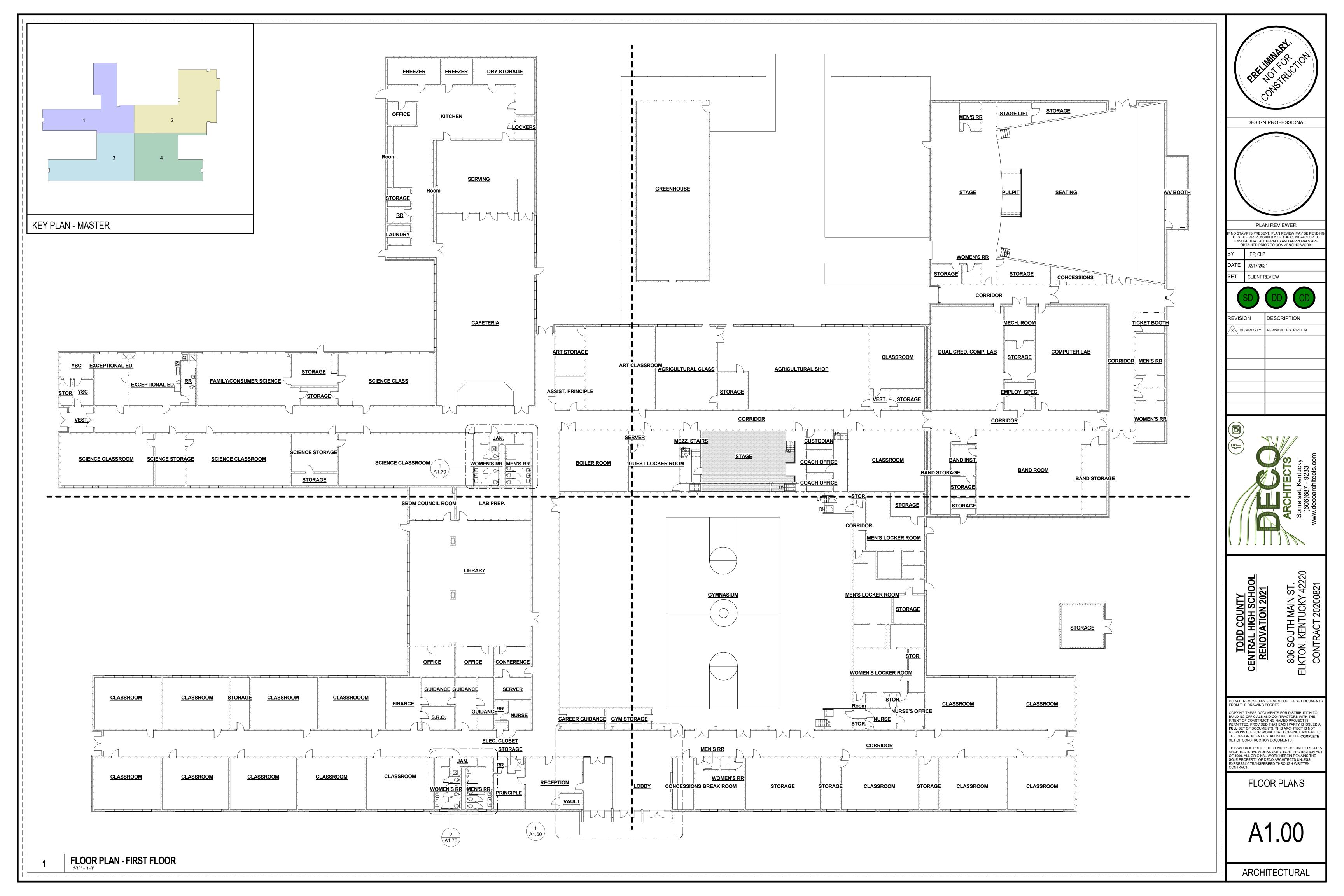
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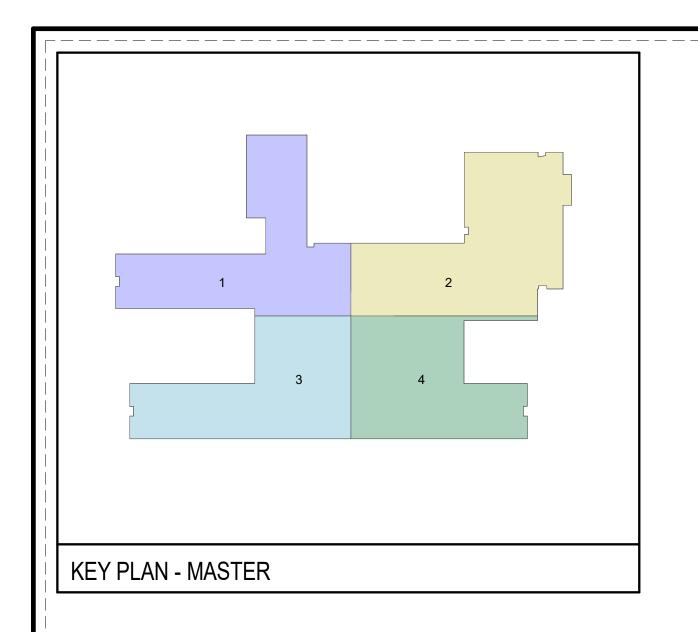
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SITE PLAN

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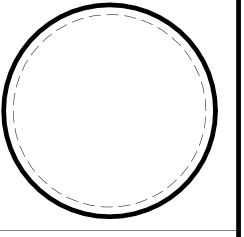


# ○ SHEET NOTES

- 1. NEW RESTROOM PARTITIONS PER SPECIFICATION SECTION 10 21 13.13 -METAL RESTROOM PARTITIONS TO REPLACE (E) PARTITIONS IN PLACE.
- ENSURE ADA COMPLIANT CLEARANCES ARE MÉT WHERE REQUIRED. 2. INSTALL NEW 2X2 CEILING TILES AND GRID PER SPECIFICATION SECTION 09 51 00 - ACOUSTICAL CEILINGS. REFERENCE MEP SERIES FOR LIGHTING AND
- MECHANICAL DEVICE LOCATIONS. 3. PAINT EXISTING EXTERIOR MECHANICAL GRILLE PER SPECIFICATION SECTION 09 91 13 - EXTERIOR PAINTING.
- 4. INSTALL NEW A.C.T. PANELS IN EXISTING CEILING GRID. REFERENCE SPECIFICATION SECTION 09 51 00 - ACOUSTICAL CEILINGS FOR PRODUCT REQUIREMENTS. ENSURE ALL CEILING DEVICES ARE PLACED IN GRID PRIOR TO NEW PANEL INSTALLATION TO PREVENT DAMAGE TO NEWLY INSTALLED PANELS.
- 5. PAINT EXISTING CURTAINWALL ASSEMBLY P-2. USE INTERIOR AND EXTERIOR PAINT WHERE REQUIRED PER SPECIFICATION SECTIONS 09 91 23 - INTERIOR PAINTING AND 09 91 13 - EXTERIOR PAINTING.
- NOT USED. 7. PAINT EXISTING STOREFRONT ASSEMBLY P-1. REFERENCE SPECIFICTION
- SECTION 09 91 23- INTERIOR PAINTING. 8. PAINT EXISTING COLUMN P-1. REFERENCE SPECIFICATION SECTION 09 91 23 - INTERIOR PAINTING FOR PRODUCT REQUIREMENTS.
- 9. NEW CURTAINWALL GLASS PANES/INFILL PANELS. REFERENCE STOREFRONT DIAGRAMS FOR LOCATIONS OF PANELS AND GLAZING.
- 10. ROOM TO RECEIVE NEW WALL PAINT, COLORS/LOCATION TO MATCH EXISTING. REFERENCE INTERIOR ELEVATIONS, INTERIOR FINISH SCHEDULE, AND SPECIFICATION SECTION 09 91 23 - INTERIOR PAINTING FOR FINISH REQUIREMENTS.
- 11. INSTALL V.C.T. AND COMPOSITE BASE WHERE EXISTING TILE IS DAMAGED DUE TO NEWLY REMOVED HVAC SYSTEM. REFERENCE SPECIFICATION SECTION 09 65 00 - RESILIENT FLOORING FOR PRODUCT REQUIREMENTS.
- 12. REFERENCE DOOR SCHEDULE FOR DOOR REFINISHES, DOOR HARDWARE CHANGE-OUTS, AND DOOR REPLACEMENTS. IF DOOR IS PART OF LARGER ASSEMBLY, ENSURE FINISHES COORDINATE. 13. PAINT EXISTING UNIT VENTILATOR GRILLES AFTER PRESSURE WACHING.
- REFERENCE SPECIFICATION SECTION 09 91 13 EXTERIOR PAINTING FOR FINISH REQUIREMENTS. 14. REFERENCE PLUMBING SERIES FOR NEW PLUMBING FIXTURES AND THEIR
- REQUIREMENTS. 15. PAINT EXISTING EXTERIOR WALLS P-2 TO EXISTING CURTAINWALL ASSEMBLY. REFERENCE SPECIFICATION SECTION 09 91 13 - FOR PAINT REQUIREMENTS.



DESIGN PROFESSIONAL



PLAN REVIEWER NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING

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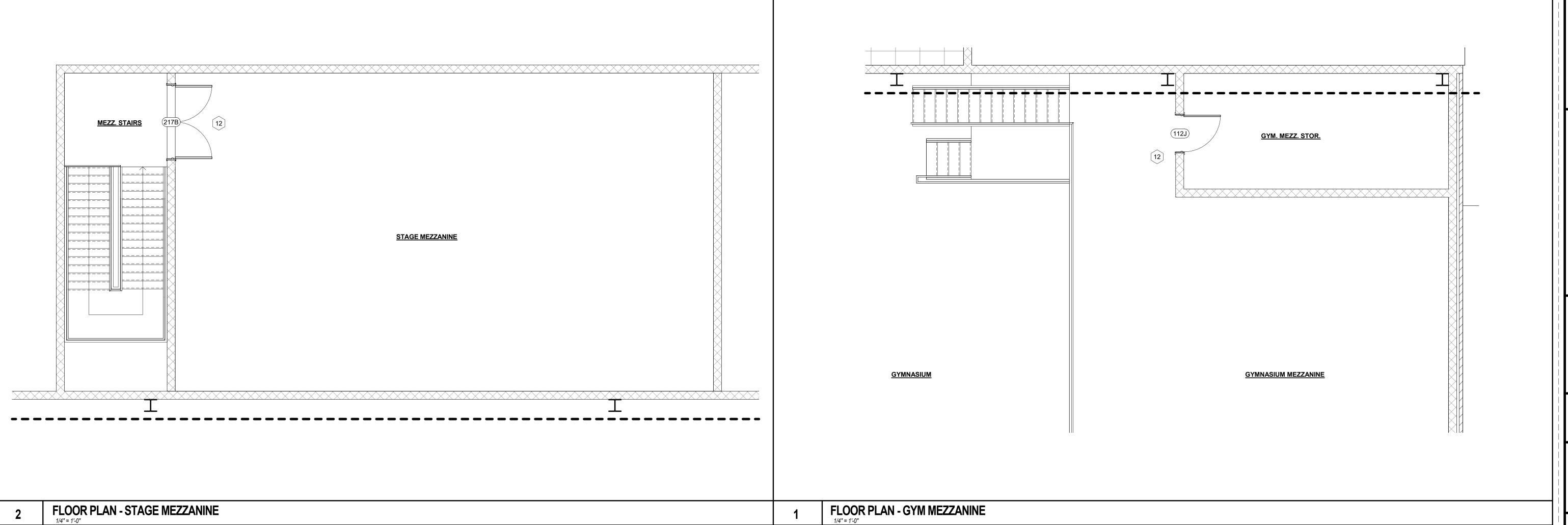
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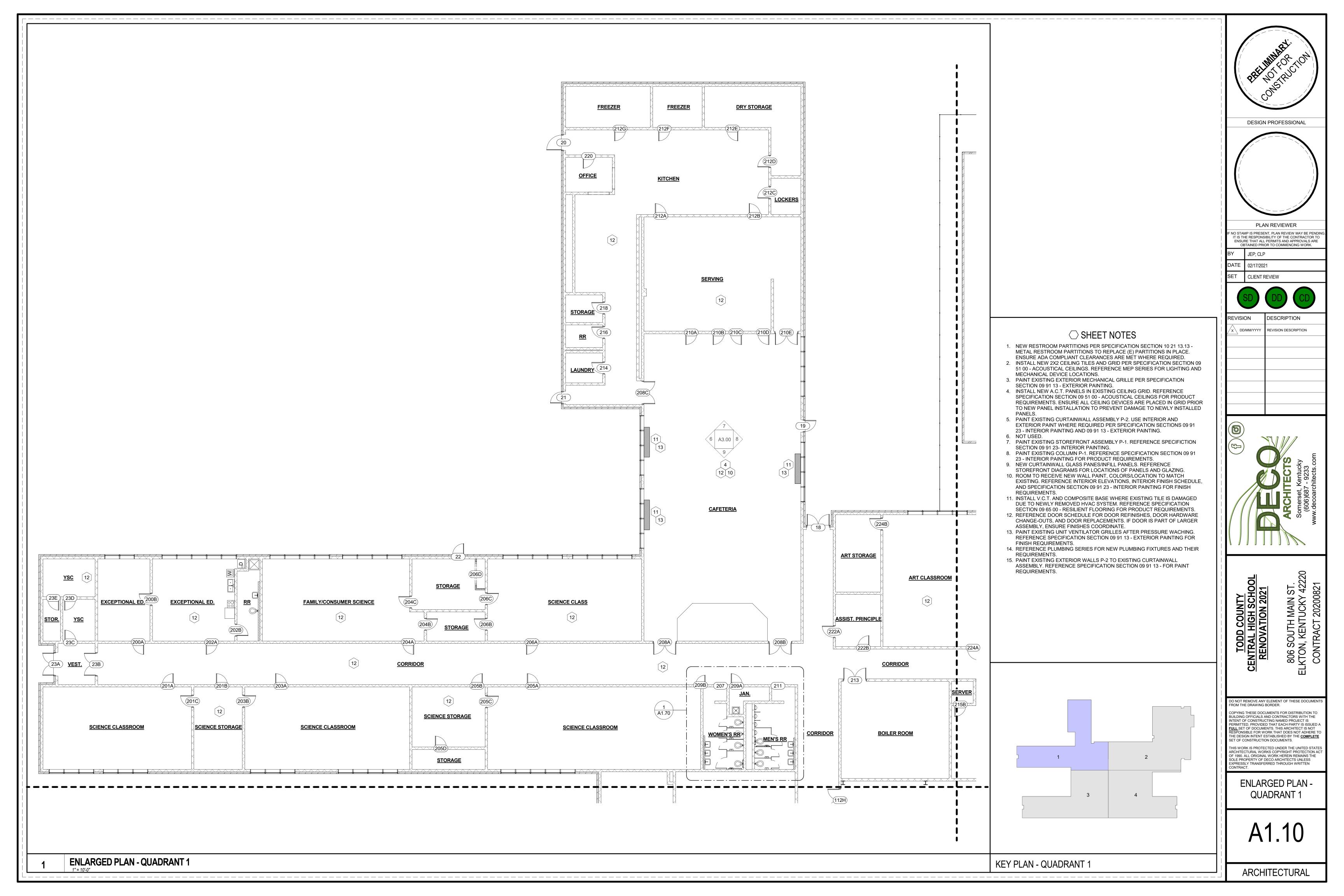
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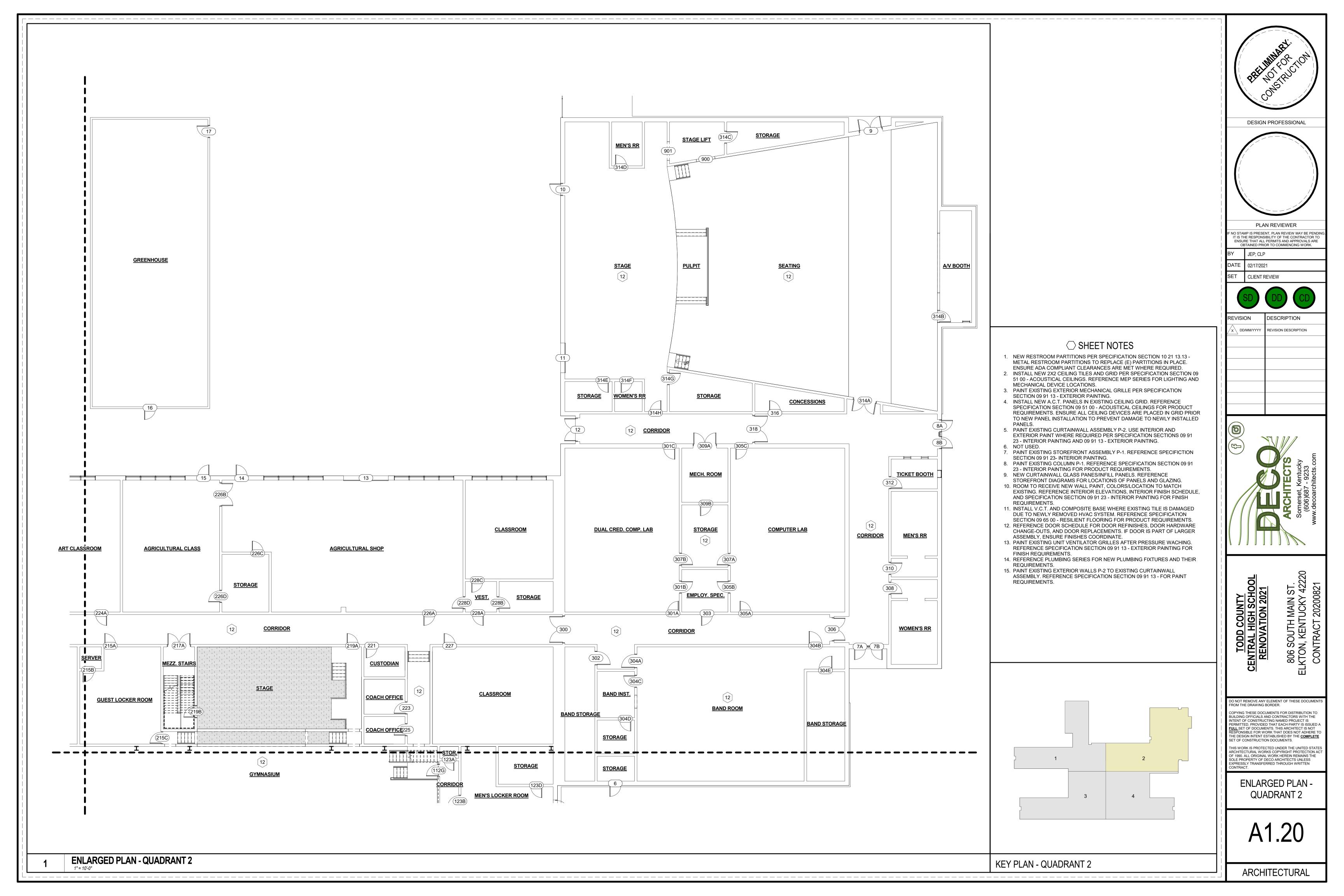
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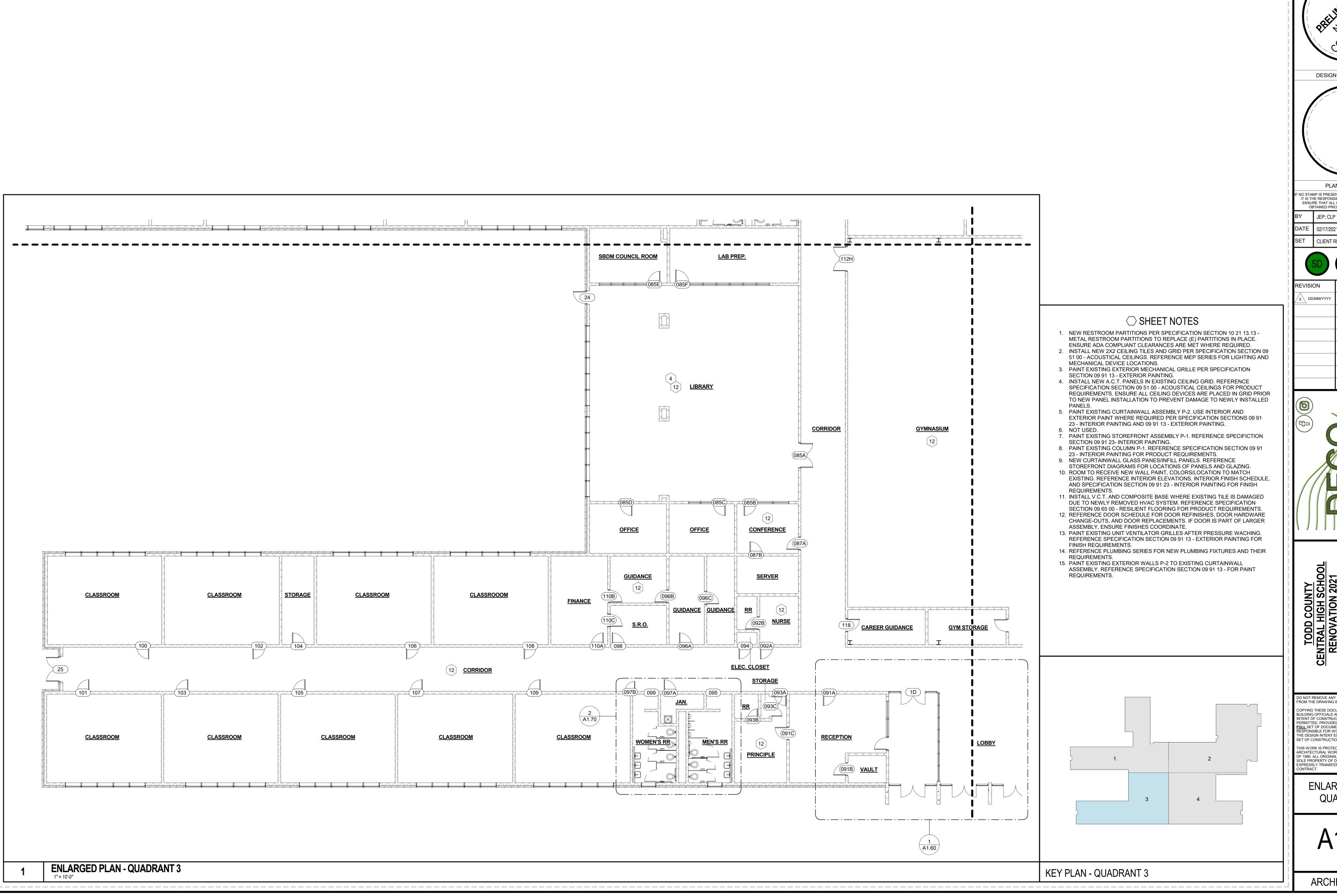
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FLOOR PLANS

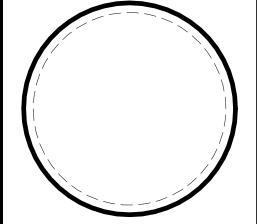












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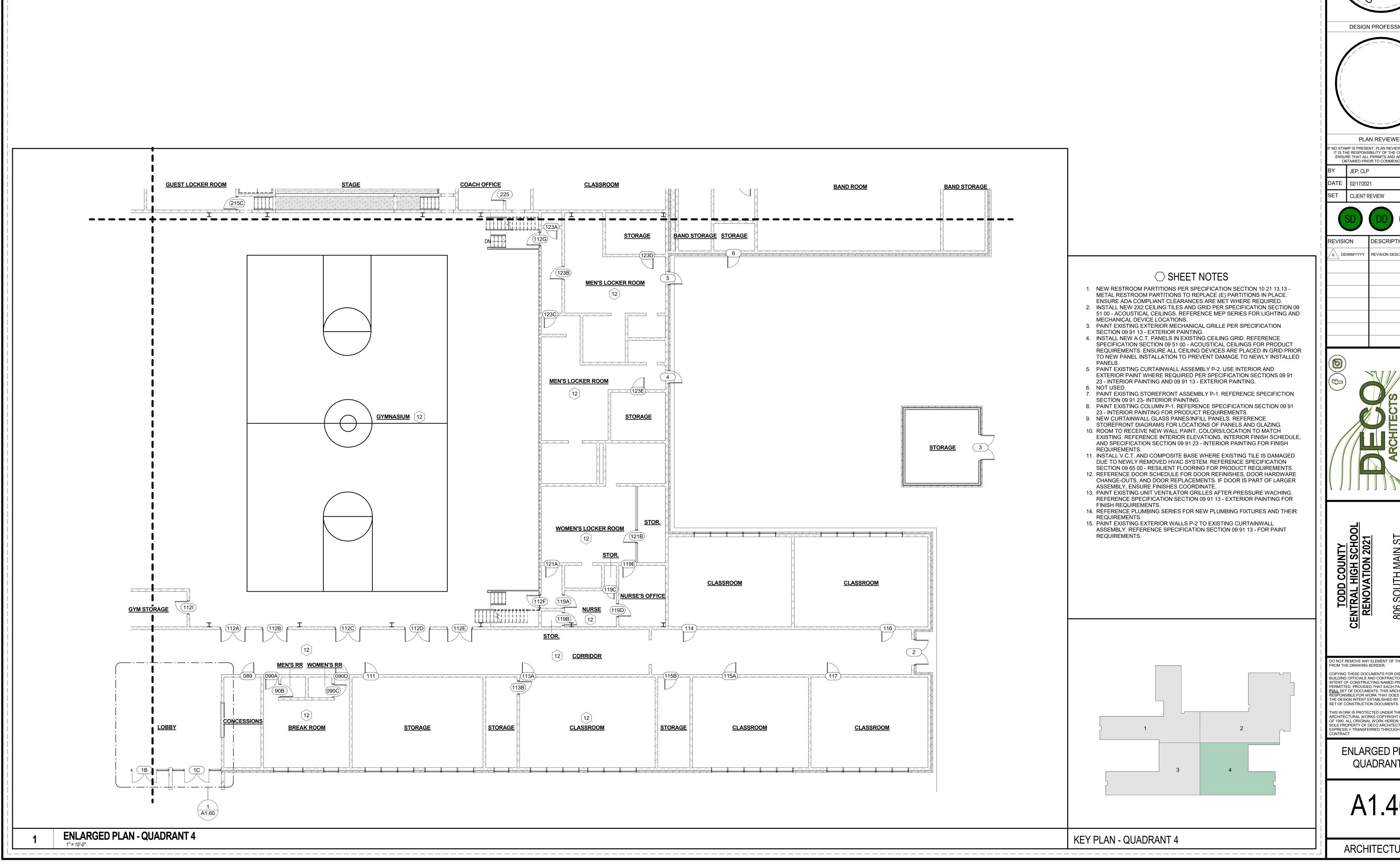
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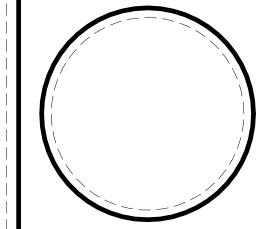
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**ENLARGED PLAN -QUADRANT 3** 







PLAN REVIEWER

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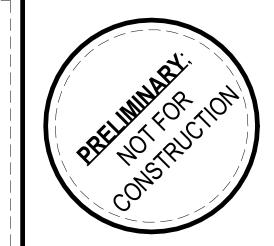
**ENLARGED PLAN -QUADRANT 4** 

# ○ SHEET NOTES

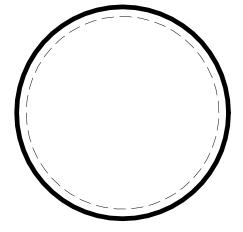
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- 4. INSTALL NEW A.C.T. PANELS IN EXISTING CEILING GRID. REFERENCE SPECIFICATION SECTION 09 51 00 - ACOUSTICAL CEILINGS FOR PRODUCT REQUIREMENTS. ENSURE ALL CEILING DEVICES ARE PLACED IN GRID PRIOR TO NEW PANEL INSTALLATION TO PREVENT DAMAGE TO NEWLY INSTALLED
- 5. PAINT EXISTING CURTAINWALL ASSEMBLY P-2. USE INTERIOR AND EXTERIOR PAINT WHERE REQUIRED PER SPECIFICATION SECTIONS 09 91 23 - INTERIOR PAINTING AND 09 91 13 - EXTERIOR PAINTING.
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- 23 INTERIOR PAINTING FOR PRODUCT REQUIREMENTS. 9. NEW CURTAINWALL GLASS PANES/INFILL PANELS. REFERENCE
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- 12. REFERENCE DOOR SCHEDULE FOR DOOR REFINISHES, DOOR HARDWARE CHANGE-OUTS, AND DOOR REPLACEMENTS. IF DOOR IS PART OF LARGER ASSEMBLY, ENSURE FINISHES COORDINATE.
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- 14. REFERENCE PLUMBING SERIES FOR NEW PLUMBING FIXTURES AND THEIR REQUIREMENTS.
- 15. PAINT EXISTING EXTERIOR WALLS P-2 TO EXISTING CURTAINWALL ASSEMBLY. REFERENCE SPECIFICATION SECTION 09 91 13 - FOR PAINT REQUIREMENTS.



DESIGN PROFESSIONAL



PLAN REVIEWER

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DATE 02/17/2021

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REVISION DESCRIPTION DD/MM/YYYY REVISION DESCRIPTION



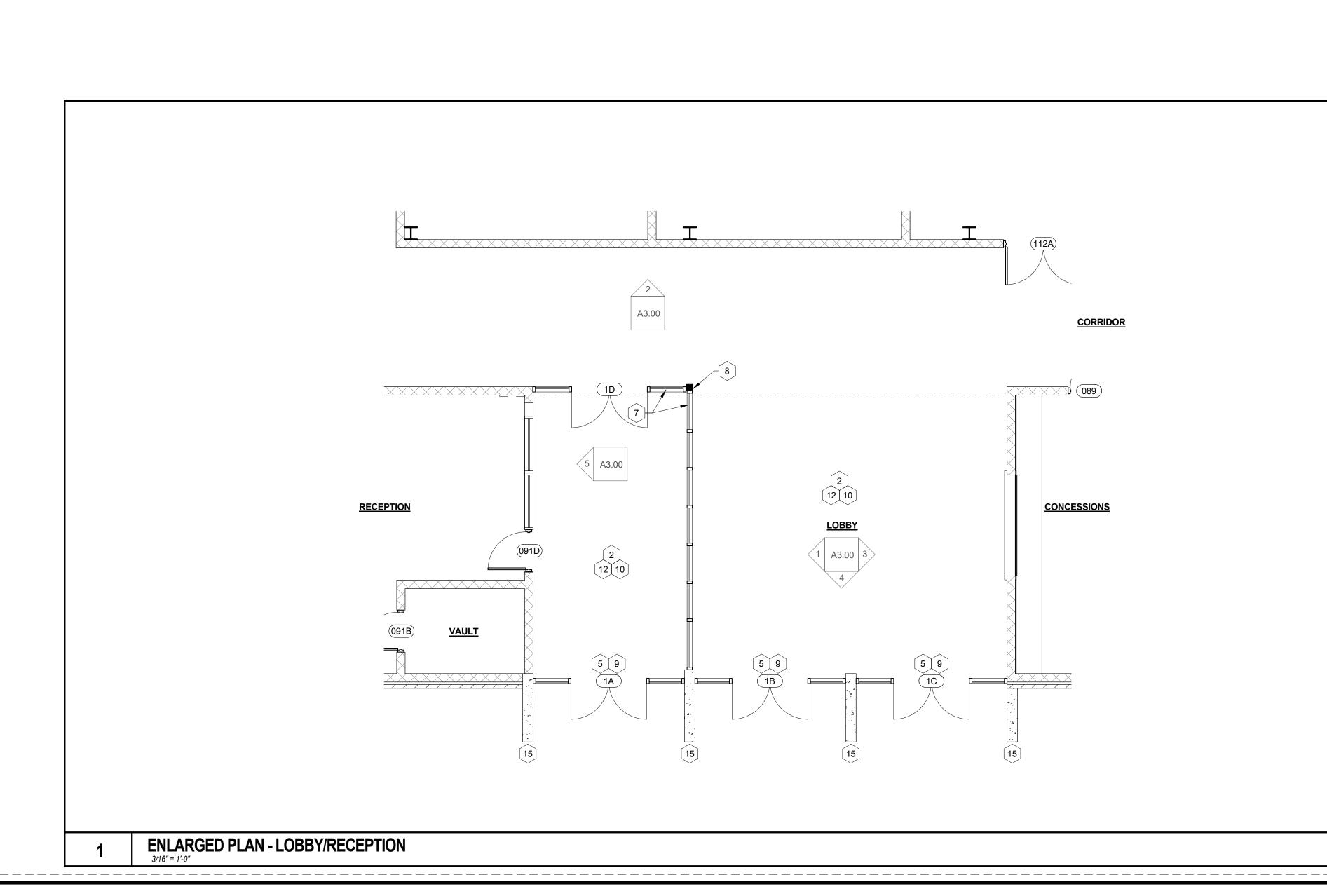
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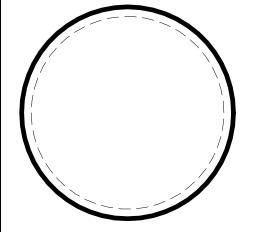
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FLOOR PLAN - ANNEX

ALTERNATIVE CLASSROOM  STORAGE  STORAGE  STORAGE  STORAGE  STORAGE  TRAINER  RR SHOWER  RR SHOWER  COMMONS 12	4	12 OFFICE  12 GIRLS LOCKER ROOM	12 <b>VEST.</b> OLLAP 89	12 UTILITY	STORAGE	RR SHOWER	
BOYS RR GIRLS RR SHOWER  RR SHOWER  12 MULTI-USE  RR SHOWER  12 MULTI-USE  RR SHOWER  COMMONS (2)	ALTERNATIVE CLASSROOM  JAN.		STORAGE	(410) (410)			<u>I.T. ROOM</u>
	(72)	S RR GIRLS RR  RR SHOWER RR	SHOWER 12 MULTI-USE	RR SHOWER	12 WEIGHT ROOM	BOYS LOCKER ROOM	(12) (A)(A)(A)(A)(A)(A)(A)(A)(A)(A)(A)(A)(A)(
12 BOYS LOCKER ROOM	ALTERNATIVE CLASSROOM		STORAGE 988 1988	12 OFFICE	WEIGHT ROOM	4	







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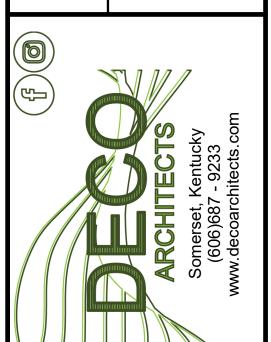
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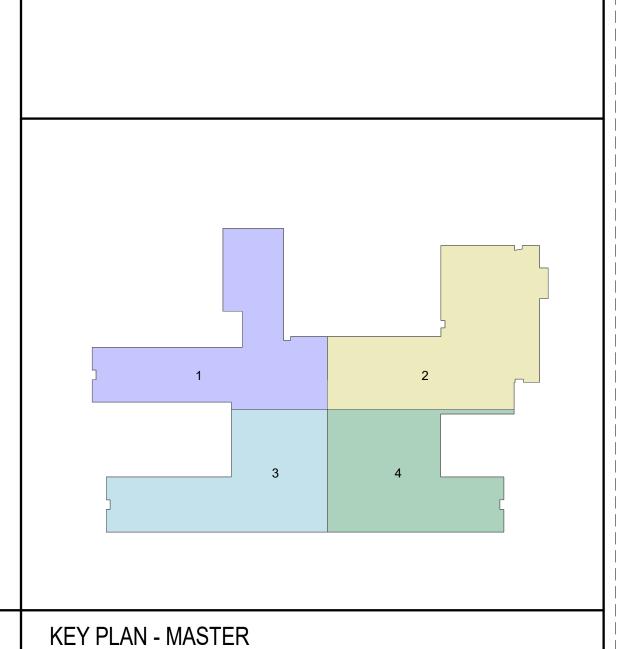
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**ENLARGED PLAN -**

ARCHITECTURAL



○ SHEET NOTES

1. NEW RESTROOM PARTITIONS PER SPECIFICATION SECTION 10 21 13.13 -METAL RESTROOM PARTITIONS TO REPLACE (E) PARTITIONS IN PLACE. ENSURE ADA COMPLIANT CLEARANCES ARE MET WHERE REQUIRED. 2. INSTALL NEW 2X2 CEILING TILES AND GRID PER SPECIFICATION SECTION 09 51 00 - ACOUSTICAL CEILINGS. REFERENCE MEP SERIES FOR LIGHTING AND

3. PAINT EXISTING EXTERIOR MECHANICAL GRILLE PER SPECIFICATION

4. INSTALL NEW A.C.T. PANELS IN EXISTING CEILING GRID. REFERENCE

5. PAINT EXISTING CURTAINWALL ASSEMBLY P-2. USE INTERIOR AND

23 - INTERIOR PAINTING AND 09 91 13 - EXTERIOR PAINTING.

23 - INTERIOR PAINTING FOR PRODUCT REQUIREMENTS. 9. NEW CURTAINWALL GLASS PANES/INFILL PANELS. REFERENCE

SPECIFICATION SECTION 09 51 00 - ACOUSTICAL CEILINGS FOR PRODUCT REQUIREMENTS. ENSURE ALL CEILING DEVICES ARE PLACED IN GRID PRIOR TO NEW PANEL INSTALLATION TO PREVENT DAMAGE TO NEWLY INSTALLED

EXTERIOR PAINT WHERE REQUIRED PER SPECIFICATION SECTIONS 09 91

7. PAINT EXISTING STOREFRONT ASSEMBLY P-1. REFERENCE SPECIFICTION

8. PAINT EXISTING COLUMN P-1. REFERENCE SPECIFICATION SECTION 09 91

STOREFRONT DIAGRAMS FOR LOCATIONS OF PANELS AND GLAZING. 10. ROOM TO RECEIVE NEW WALL PAINT, COLORS/LOCATION TO MATCH

11. INSTALL V.C.T. AND COMPOSITE BASE WHERE EXISTING TILE IS DAMAGED DUE TO NEWLY REMOVED HVAC SYSTEM. REFERENCE SPECIFICATION SECTION 09 65 00 - RESILIENT FLOORING FOR PRODUCT REQUIREMENTS. 12. REFERENCE DOOR SCHEDULE FOR DOOR REFINISHES, DOOR HARDWARE CHANGE-OUTS, AND DOOR REPLACEMENTS. IF DOOR IS PART OF LARGER

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14. REFERENCE PLUMBING SERIES FOR NEW PLUMBING FIXTURES AND THEIR

ASSEMBLY. REFERENCE SPECIFICATION SECTION 09 91 13 - FOR PAINT

15. PAINT EXISTING EXTERIOR WALLS P-2 TO EXISTING CURTAINWALL

EXISTING. REFERENCE INTERIOR ELEVATIONS, INTERIOR FINISH SCHEDULE, AND SPECIFICATION SECTION 09 91 23 - INTERIOR PAINTING FOR FINISH

MECHANICAL DEVICE LOCATIONS.

PANELS.

6. NOT USED.

SECTION 09 91 13 - EXTERIOR PAINTING.

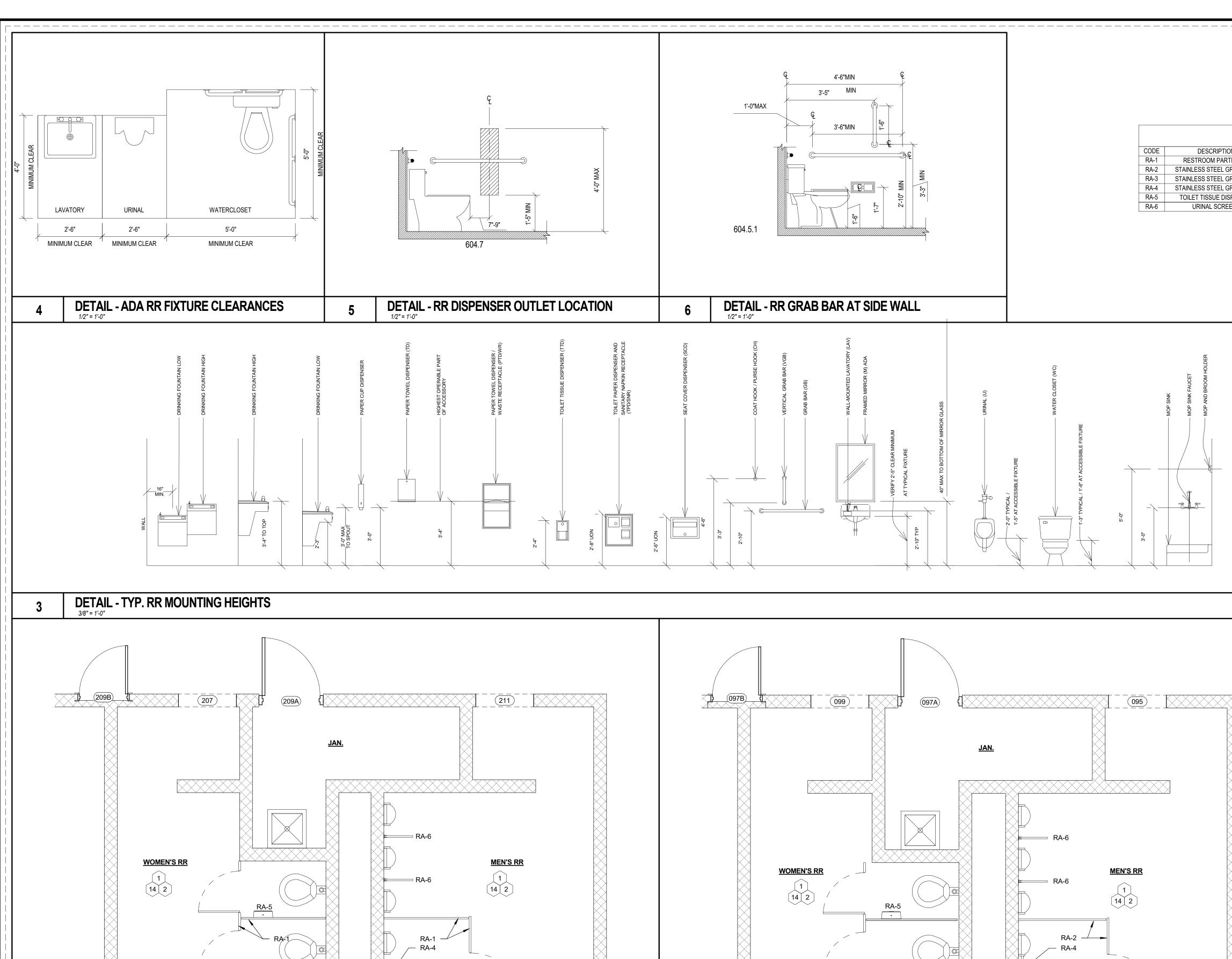
SECTION 09 91 23- INTERIOR PAINTING.

ASSEMBLY, ENSURE FINISHES COORDINATE.

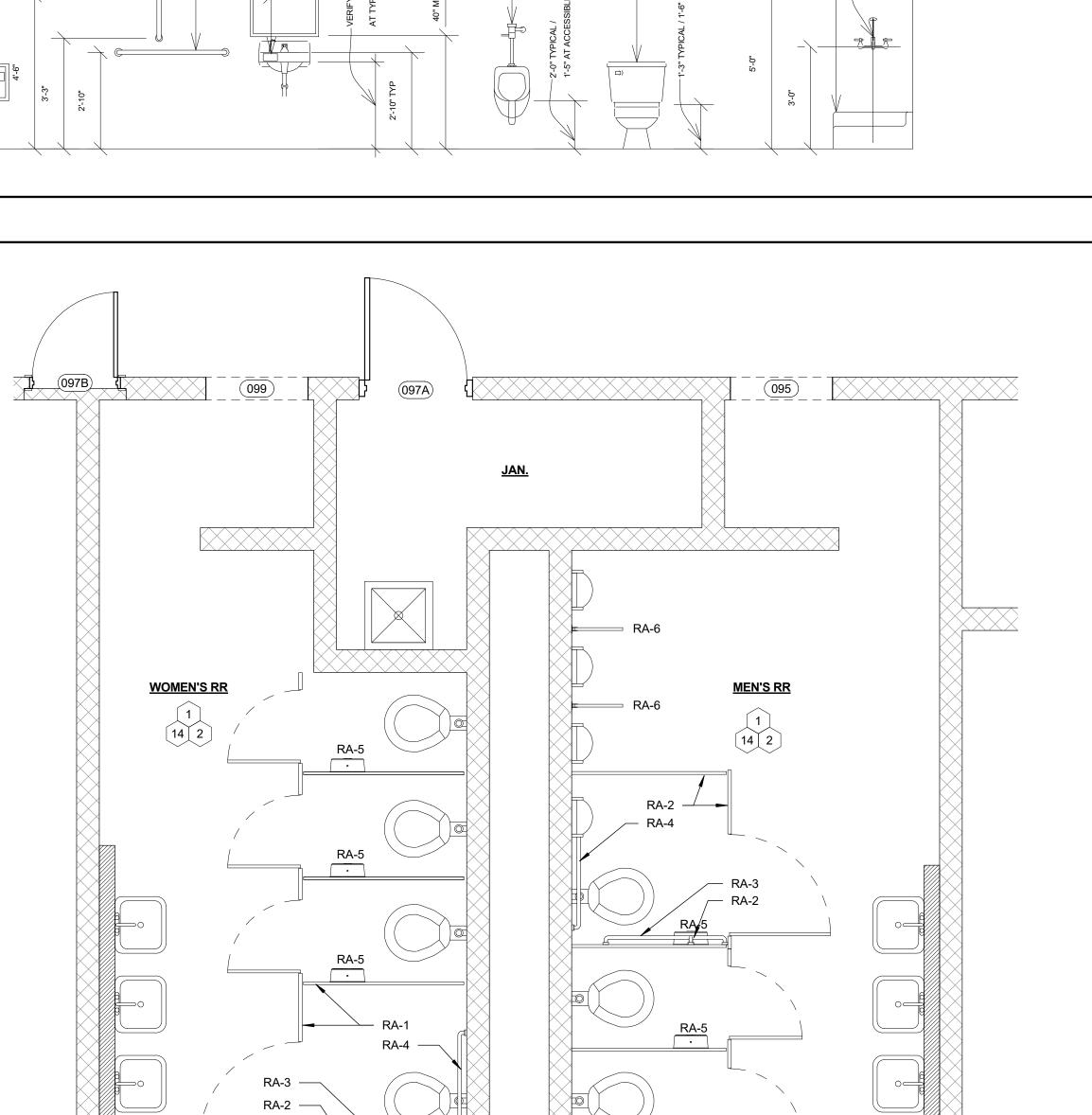
FINISH REQUIREMENTS.

REQUIREMENTS.

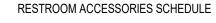
REQUIREMENTS.



**ENLARGED PLAN - CAFETERIA RESTROOMS** 



**ENLARGED PLAN - ENTRY RESTROOMS** 



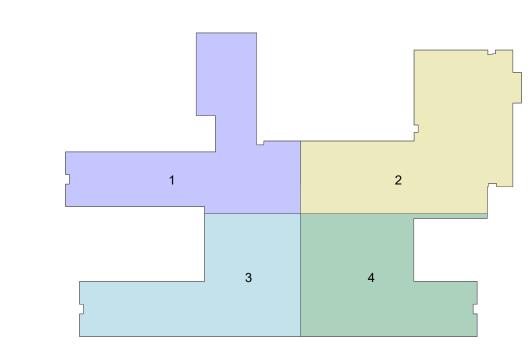
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CODE	DESCRIPTION	MANUFACTURER	PRODUCT	COMMENTS
RA-1	RESTROOM PARTITIONS	METPAR	TYPE FT700-FLOOR MOUNTED, S.S.	ENSURE ADA CLEARENCES ARE MET
RA-2	STAINLESS STEEL GRAB BARS	BOBRICK	B-580616 X 18	ADA VERTICAL GRAB BAR
RA-3	STAINLESS STEEL GRAB BARS	BOBRICK	B-580616 X 42	ADA HORIZONTAL GRAB BAR PARALLEL TO W.C.
RA-4	STAINLESS STEEL GRAB BARS	BOBRICK	B-580616 X 36	ADA HORIZONTAL GRAB BAR BEHIND W.C.
RA-5	TOILET TISSUE DISPENSER	BOBRICK	B-2890 JUMBO-ROLL DISPENSER	SURFACE MOUNT TO C.T. OR PARTITION
RA-6	URINAL SCREENS	METPAR	TYPE WH WALL HUNG URINAL SCREENS, S.S.	HEIGHT 48" T X24" D

NOTE: PER SECTION 605.1 KBC 2018, REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF ACCESSIBILITY PROVIDED. PER SECTION 502.1 REPARS INCLUDE THE PATCHING OR RESTORATION OR REPLACEMENT OF DAMAGED MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES FOR THE PURPOSE OF MAINTAINING SUCH COMPONENTS IN GOOD OR SOUND CONDITION WITH RESPECT TO EXISTING LOADS OR PERFORMANCE REQUIREMENTS. PROVIDE ANCHORS WHERE BARS ARE NEEDED TO ATTACH TO PARTITION WALLS.

# ○ SHEET NOTES

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- 3. PAINT EXISTING EXTERIOR MECHANICAL GRILLE PER SPECIFICATION SECTION 09 91 13 - EXTERIOR PAINTING.
- INSTALL NEW A.C.T. PANELS IN EXISTING CEILING GRID. REFERENCE SPECIFICATION SECTION 09 51 00 - ACOUSTICAL CEILINGS FOR PRODUCT REQUIREMENTS. ENSURE ALL CEILING DEVICES ARE PLACED IN GRID PRIOR TO NEW PANEL INSTALLATION TO PREVENT DAMAGE TO NEWLY INSTALLED
- 5. PAINT EXISTING CURTAINWALL ASSEMBLY P-2. USE INTERIOR AND EXTERIOR PAINT WHERE REQUIRED PER SPECIFICATION SECTIONS 09 91 23 - INTERIOR PAINTING AND 09 91 13 - EXTERIOR PAINTING.
- 6. NOT USED. 7. PAINT EXISTING STOREFRONT ASSEMBLY P-1. REFERENCE SPECIFICTION
- SECTION 09 91 23- INTERIOR PAINTING.
- 8. PAINT EXISTING COLUMN P-1. REFERENCE SPECIFICATION SECTION 09 91 23 - INTERIOR PAINTING FOR PRODUCT REQUIREMENTS.
- 9. NEW CURTAINWALL GLASS PANES/INFILL PANELS. REFERENCE
- STOREFRONT DIAGRAMS FOR LOCATIONS OF PANELS AND GLAZING. 10. ROOM TO RECEIVE NEW WALL PAINT, COLORS/LOCATION TO MATCH EXISTING. REFERENCE INTERIOR ELEVATIONS, INTERIOR FINISH SCHEDULE, AND SPECIFICATION SECTION 09 91 23 - INTERIOR PAINTING FOR FINISH
- DUE TO NEWLY REMOVED HVAC SYSTEM. REFERENCE SPECIFICATION SECTION 09 65 00 - RESILIENT FLOORING FOR PRODUCT REQUIREMENTS.
- 12. REFERENCE DOOR SCHEDULE FOR DOOR REFINISHES, DOOR HARDWARE CHANGE-OUTS, AND DOOR REPLACEMENTS. IF DOOR IS PART OF LARGER
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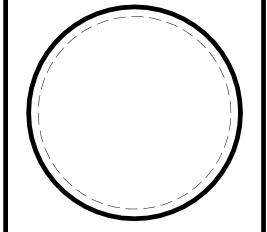
REQUIREMENTS.



KEY PLAN - QUADRANT 1



DESIGN PROFESSIONAL



PLAN REVIEWER

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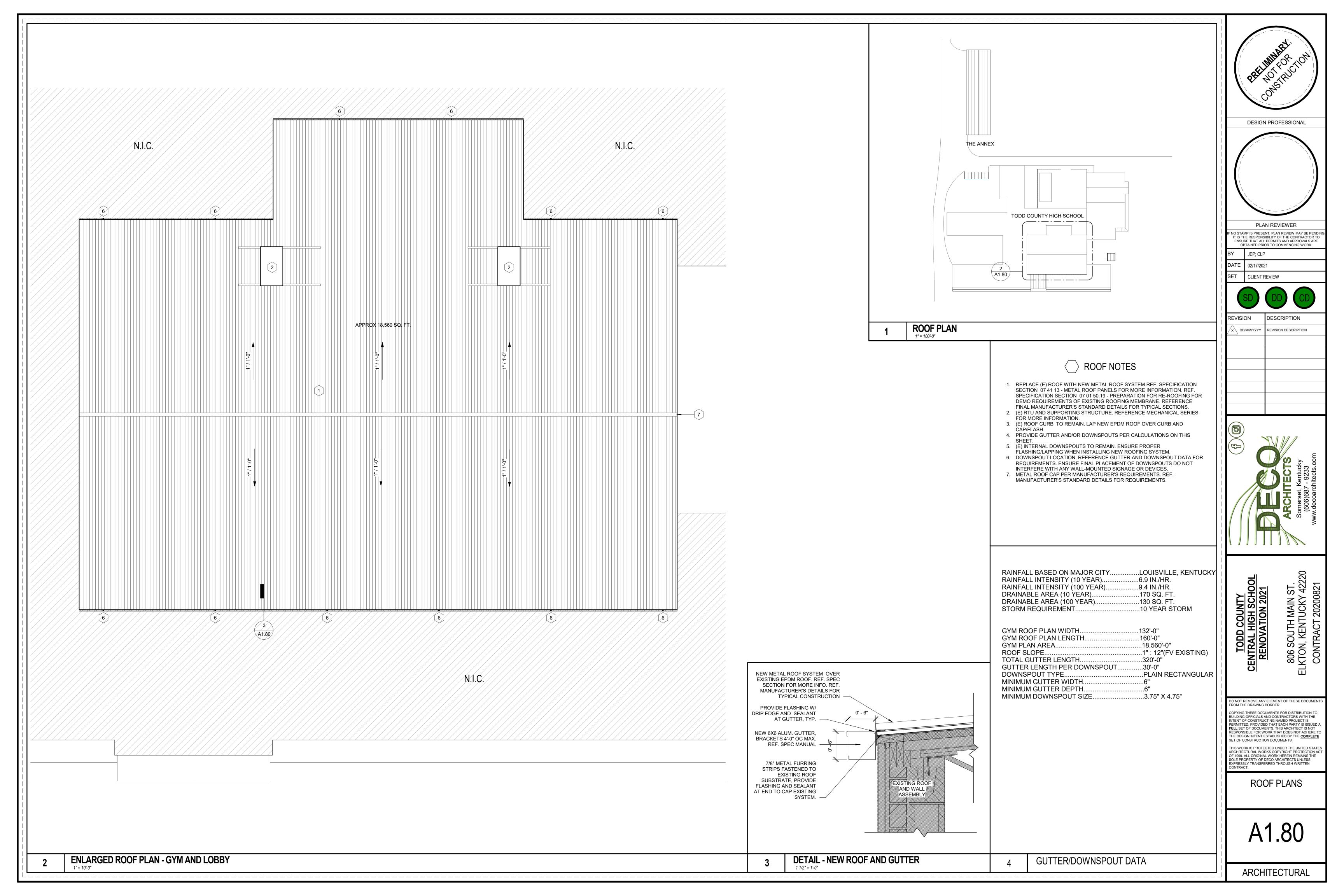
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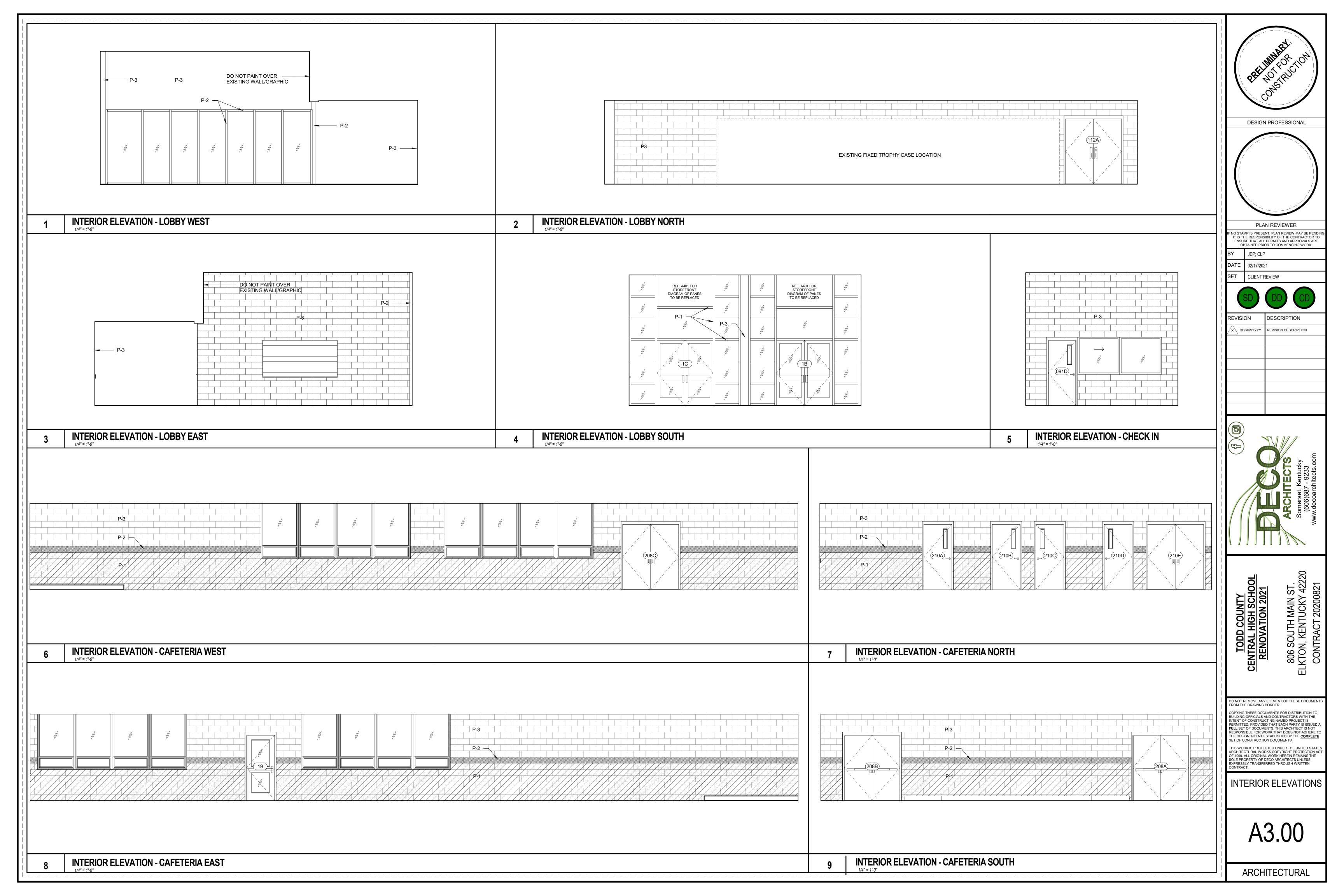
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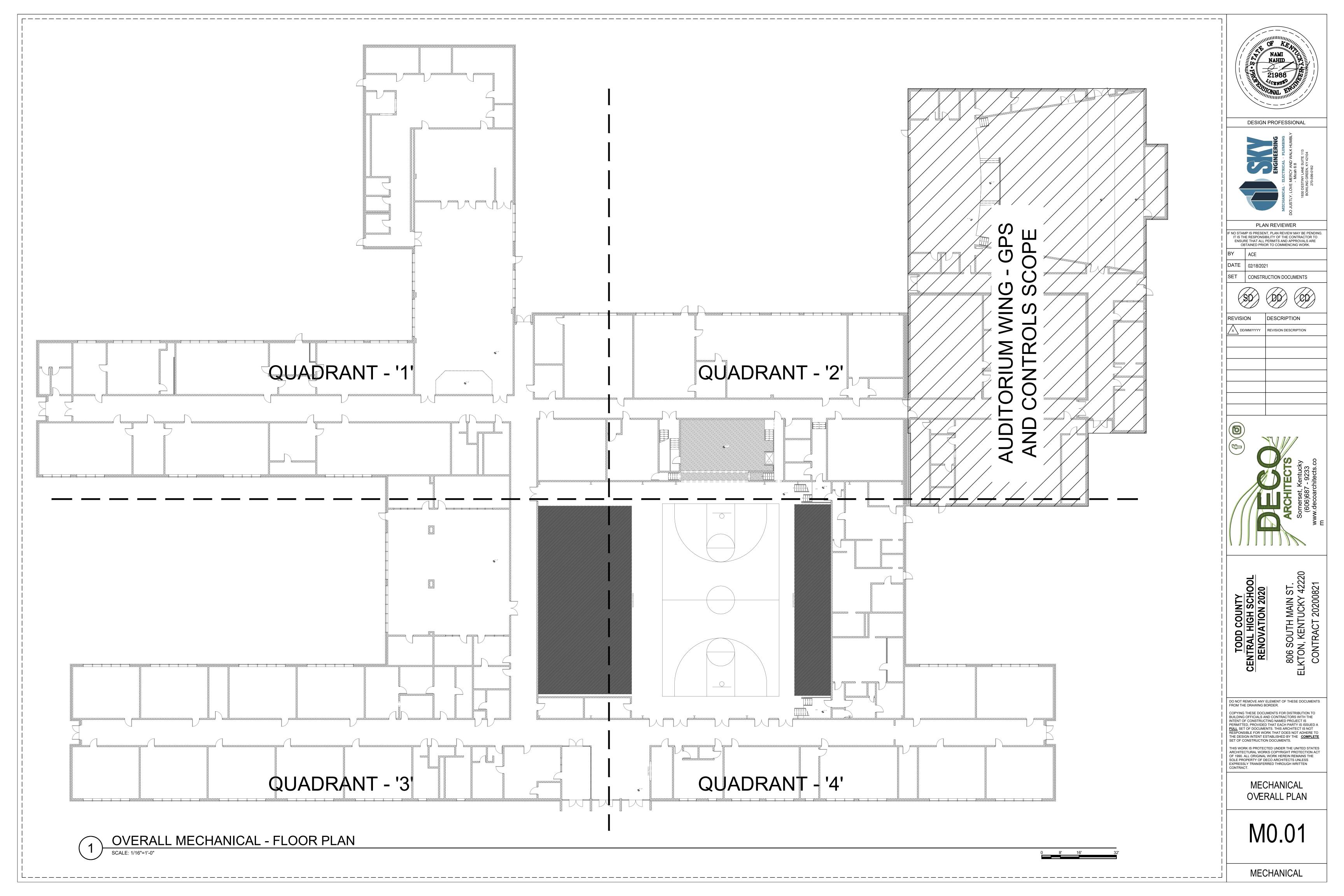
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ET OF CONSTRUCTION DOCUMENTS.

ENLARGED RESTROOM **PLANS** 







GPS UNIT SCHEDULE (BIPOLAR IONIZATION)					
EQUIPMENT UNIT TYPE	GPS MODEL	RATED	WEIGHT (LBS)		
3X3 CASSETTE	GPS-FC	1,200 CFM NOMINAL	0.25 LBS		
2X2 CASSETTE	GSP-FC	1,200 CFM NOMINAL	0.25 LBS		
CONCEALED DUCTED	GPS-FC	1,200 CFM NOMINAL	0.25 LBS		
CONCEALED DUCTED	GPS-FC	1,200 CFM NOMINAL	0.25 LBS		
WALL MOUNTED	GPS-iRIB-36	COILS UP TO 48" LONG	0.5 LBS		
PACKAGE ROOFTOP UNITS	GPS-IMOD	0-4800 CFM (1-12 TON)	0.24 LBS PER 6"		
FAN COIL UNITS	GPS-FC-3	UP TO 3200 CFM (8 TON)	0.23 LBS		
		2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2			

1. ALL NEW INDOOR UNITS TO INCLUDE A GPS AIR PURIFICATION, AS PER SCHEDULE

2. GPS UNIT SHALL ACTIVATE WHEN INDOOR UNIT IS OPERATING.

3. MECHANICAL CONTRACTOR SHALL COORDINATE WITH MFR FOR COMPLETE INSTALL OF UNITS

#### GPS AIR PURIFICATION ADDITION

**HVAC Equipment:** INSTALL A NEW GPS AIR PURIFICATION UNIT FOR ALL EXISTING HVAC UNITS SERVING BUILDING.

GPS UNIT POWER NEED SHALL BE TIED TO PACKAGE UNIT POWER SOURCE. PROVIDE ANY SPLITTER / TRANSFORMER NEEDED TO PROVIDE POWER TO THESE NEW DEVICES.

FIELD VERIFY ALL SCHOOLS AND AIR EQUIPMENT UNITS FOR SIZE AND LOCATION. PROVIDE GPS DEVICES

TO MATCH THE EQUIPMENT. PROVIDE A HAND HELD IONIZATION METERING DEVICE FOR EACH SCHOOL FOR CHECKING OF GPS EQUIPMENT ACTIVATION.

### HVAC CONTROLS UPGRADE - ANNEX BLDG.

#### Existing Control Demo:

Remove all existing unit controls with wall mounted thermostats. New thermostats to be installed in same location. Replace wiring if not compatible with new control system.

# **Building Automation System:**

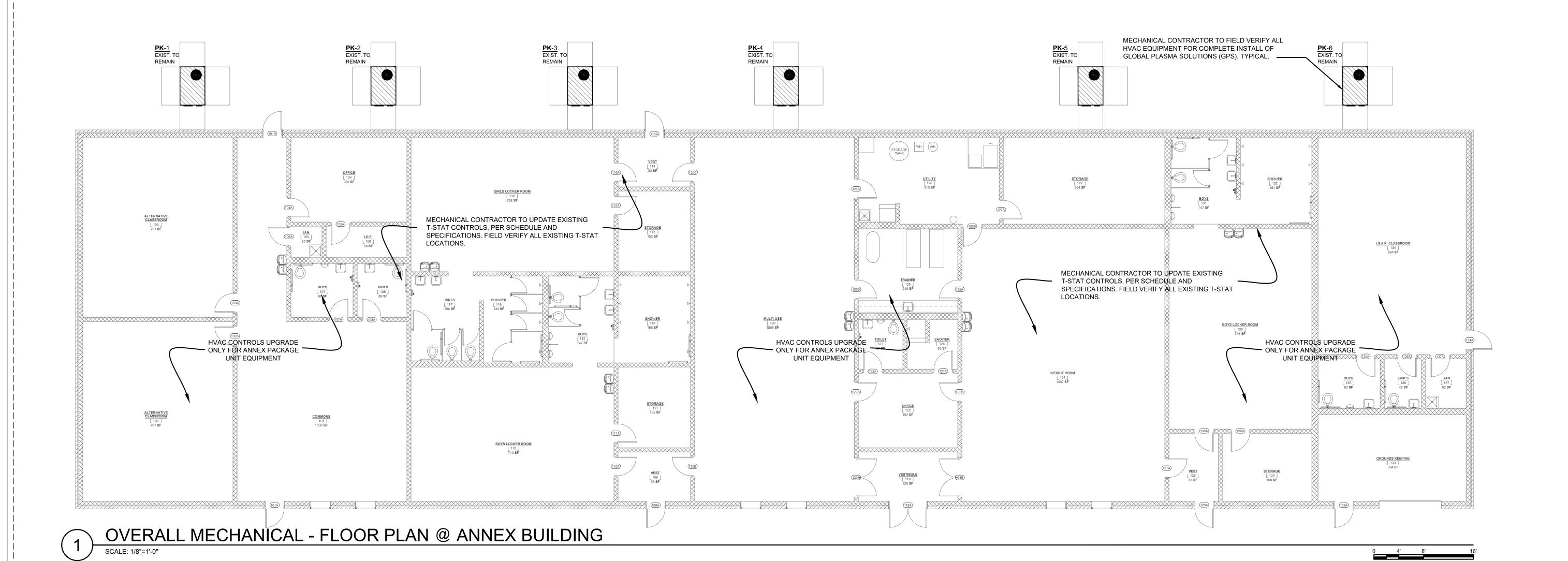
New system shall be based on Reliable Controls, see spec for other acceptable manufacturers.

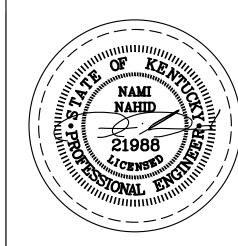
#### Existing Ground Mounted RTUs:

All existing ground mounted RTUs to have new control board installed with new local thermostats.

All system to tie back into main building campus controls.

Provide protective cover for all new Reliable wall mounted thermostats.





DESIGN PROFESSIONAL



PLAN REVIEWER

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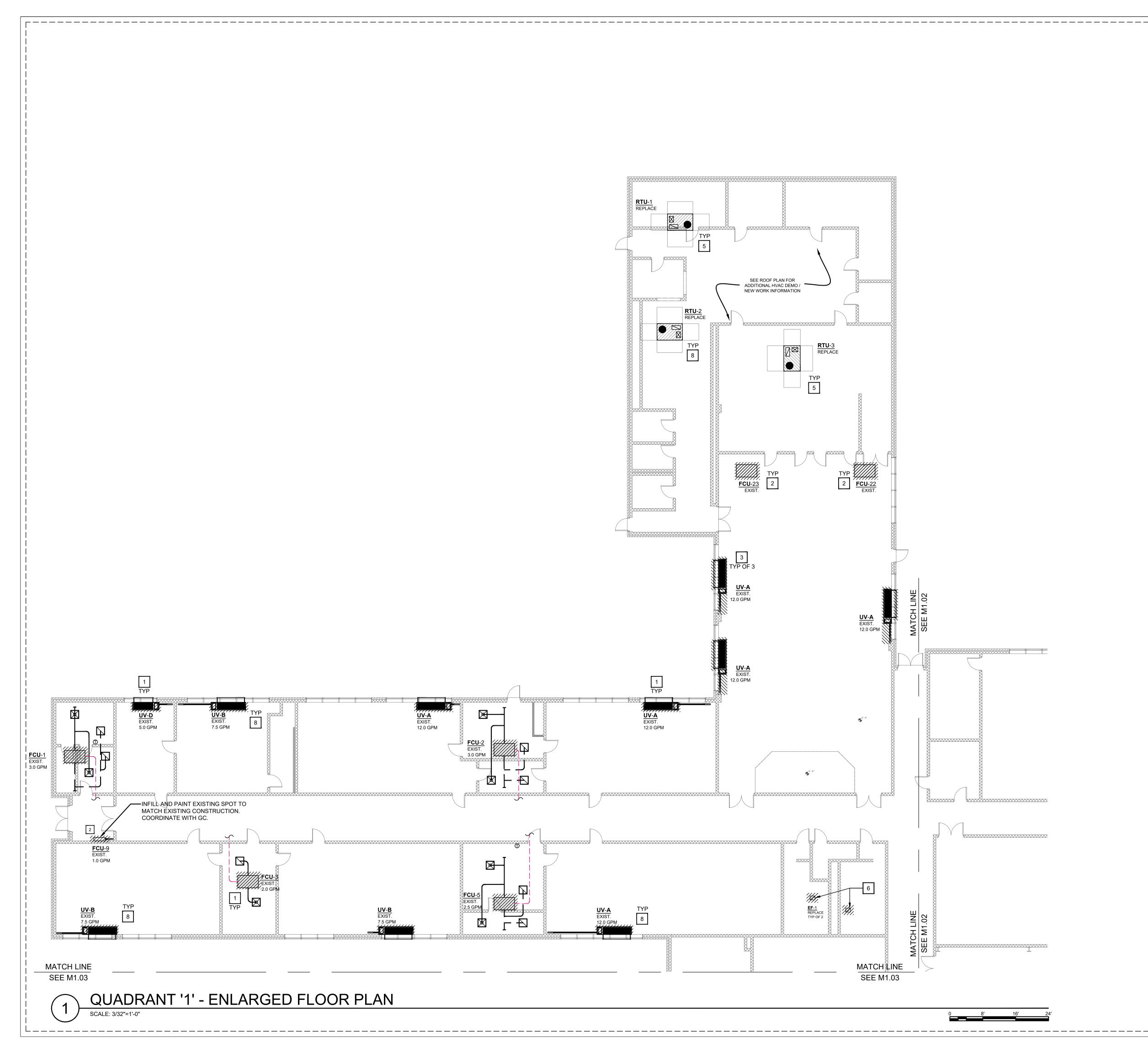


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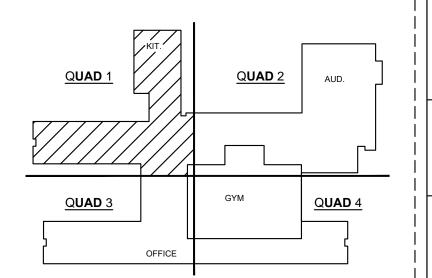
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MECHANICAL OVERALL PLAN ANNEX BUILDING



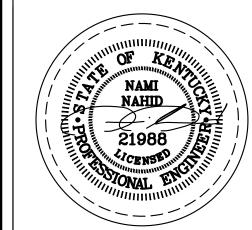
# **# DEMO NOTES:**

- EXISTING UNIT VENTILATOR (UV) AND ABOVE CEILING DUCTED FAN COIL UNITS (FCU) TO BE REPLACED WITH NEW EQUIPMENT. RECONNECT TO EXISTING PIPING, DUCTWORK, POWER, CONDENSATE, ETC (TYPICAL). COORDINATE WITH ELECTRICAL AND MANUFACTURER, AS REQUIRED, FOR EQUIPMENT ORIENTATION. FIELD VERIFY ALL EXISTING 'UV' AND 'FCU' EQUIPMENT PLACEMENT. SEE SCHEDULE AND NEW PLAN FOR ADDITIONAL INFORMATION. EXISTING LOUVERS TO BE REMOVED, CLEANED, AND REINSTALLED (WATER TIGHT). PAINT EXISTING LOUVERS. ARCH TO VERIFY COLOR.
- REMOVE EXISTING FAN COIL UNITS WITH ASSOCIATED PIPING, POWER, HANGERS, SUPPORTS, ETC. REWORK POWER, AS REQUIRED, FOR NEW EQUIPMENT, COORDINATE WITH ELECT. CAP ALL REMOVED PIPING BACK TO MAINS, TYPICAL. REMOVE ASSOCIATED DUCTWORK, AS REQUIRED, FOR NEW INSTALL OF EQUIPMENT. FIELD VERIFY EXISTING CONDITIONS.
- REMOVE EXISTING UNIT VENTILATORS IN CAFETERIA, IN THEIR ENTIRETY, TO INCLUDE POWER, PIPING, PIPE CHASE, ETC. CAP ALL PIPING ABOVE CEILING. COORDINATE WITH ELECTRICAL ,AS REQUIRED. PROVIDE AND INSTALL INSULATED METAL PANEL TO SEAL OPENING, ON INTERIOR. PAINT INTERIOR OF PANEL, AS REQUIRED, FOR NEW CAFETERIA.
- DISCONNECT AND REMOVE EXISTING CEILING DEVICES FROM GRID. CAP DUCTWORK, AS REQUIRED. ALL EXISTING DUCTWORK TO BE FIELD VERIFIED. REMOVE EXISTING DUCTWORK (AS NEEDED) FOR NEW INSTALL OF BOTH VRV EQUIPMENT AND OUTSIDE AIR DUCT FOR LIBRARY AND ADJACENT OFFICE SPACE. SEE NEW PLAN.
- 5. REPLACE EXISTING ROOFTOP UNIT WITH NEW. SEE SCHEDULE AND ROOF PLAN. RECONNECT POWER, DUCTWORK, ETC. PROVIDE TRANSITION TO EXISTING DUCT, AS REQUIRED (FIELD VERIFY DUCT SIZE). COORDINATE WITH ELECTRICAL. PROVIDE ADAPTOR CURB FOR NEW INSTALL AND COORDINATE WITH ROOFING CONTRACTOR FOR WATER TIGHT SEAL.
- 6. REMOVE AND REPLACE EXISTING TOILET AND LOCKER ROOM EXHAUST FANS AND PREPARE FOR
- REMOVE EXISTING LOCKER ROOM SPLIT SYSTEM IN ITS ENTIRETY, TO INCLUDE, REF PIPING, DUCTWORK, CONTROLS, ETC. COORDINATE WITH OTHER TRADES, AS REQUIRED.
- REMOVE EXISTING T-STAT CONTROLS AND PREPARE FOR NEW. SEE SCHEDULE FOR ADDITIONAL INFORMATION.
- 9. REMOVE EXISTING ROOF TOP UNITS (RTU) AND CAP EXISTING CURBS (TYP). CAP EXISTING GAS LINE, AS REQUIRED. REMOVE ASSOCIATED DUCTWORK BELOW ROOF, AS NEEDED, FOR NEW INSTALL OF EQUIPMENT.
- 10. REMOVE EXISTING RTU AND PREPARE FOR NEW OUTSIDE AIR UNIT. PROVIDE ADAPTOR CURB AND COORDINATE WITH ELECTRICAL. SEE NEW PLAN.
- 11. PREPARE ROOF FOR NEW RTU CURB LOCATION. COORDINATE WITH MFR FOR EXACT SIZE. FIELD VERIFY EXISTING CONDITIONS BELOW ROOF LINE. EXISTING GAS LINE SHALL BE PREPARED FOR NEW RTU CONNECTION. SEE NEW PLAN.



**KEY PLAN** 

NOT TO SCALE



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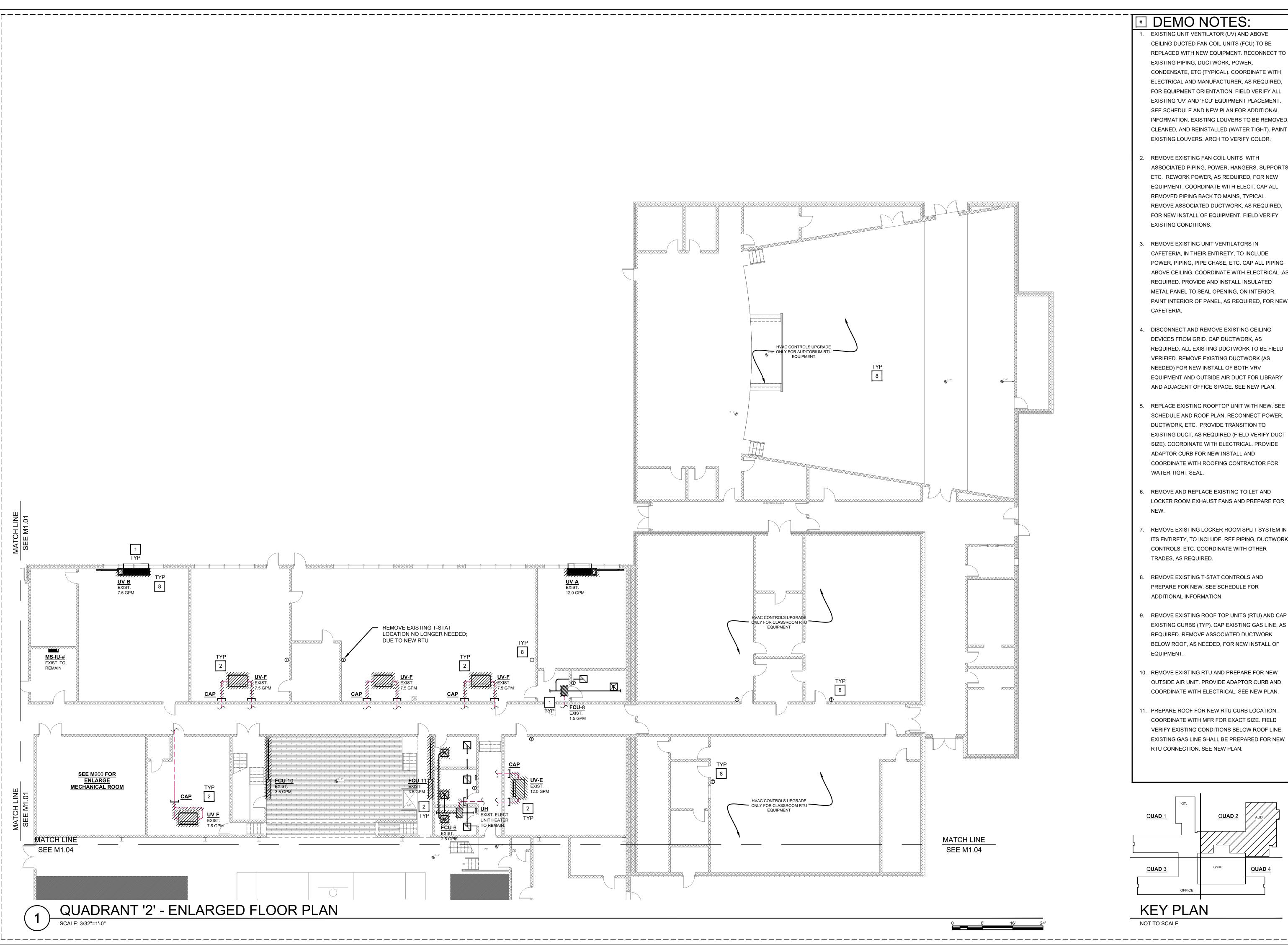
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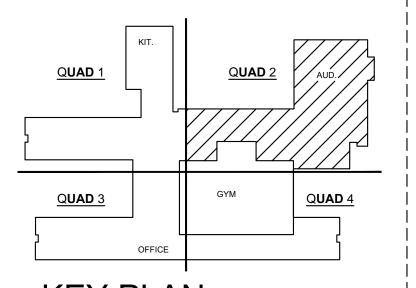
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> **MECHANICAL** QUADRANT 1



# **# DEMO NOTES:**

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- 3. REMOVE EXISTING UNIT VENTILATORS IN CAFETERIA, IN THEIR ENTIRETY, TO INCLUDE POWER, PIPING, PIPE CHASE, ETC. CAP ALL PIPING ABOVE CEILING. COORDINATE WITH ELECTRICAL ,AS REQUIRED. PROVIDE AND INSTALL INSULATED METAL PANEL TO SEAL OPENING, ON INTERIOR. PAINT INTERIOR OF PANEL, AS REQUIRED, FOR NEW CAFETERIA.
- DISCONNECT AND REMOVE EXISTING CEILING DEVICES FROM GRID. CAP DUCTWORK, AS REQUIRED. ALL EXISTING DUCTWORK TO BE FIELD VERIFIED. REMOVE EXISTING DUCTWORK (AS NEEDED) FOR NEW INSTALL OF BOTH VRV EQUIPMENT AND OUTSIDE AIR DUCT FOR LIBRARY AND ADJACENT OFFICE SPACE. SEE NEW PLAN.
- 5. REPLACE EXISTING ROOFTOP UNIT WITH NEW. SEE SCHEDULE AND ROOF PLAN. RECONNECT POWER, DUCTWORK, ETC. PROVIDE TRANSITION TO EXISTING DUCT, AS REQUIRED (FIELD VERIFY DUCT SIZE). COORDINATE WITH ELECTRICAL. PROVIDE ADAPTOR CURB FOR NEW INSTALL AND COORDINATE WITH ROOFING CONTRACTOR FOR WATER TIGHT SEAL.
- 6. REMOVE AND REPLACE EXISTING TOILET AND LOCKER ROOM EXHAUST FANS AND PREPARE FOR
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- 9. REMOVE EXISTING ROOF TOP UNITS (RTU) AND CAP EXISTING CURBS (TYP). CAP EXISTING GAS LINE, AS REQUIRED. REMOVE ASSOCIATED DUCTWORK BELOW ROOF, AS NEEDED, FOR NEW INSTALL OF EQUIPMENT.
- 10. REMOVE EXISTING RTU AND PREPARE FOR NEW OUTSIDE AIR UNIT. PROVIDE ADAPTOR CURB AND COORDINATE WITH ELECTRICAL. SEE NEW PLAN.
- 11. PREPARE ROOF FOR NEW RTU CURB LOCATION. COORDINATE WITH MFR FOR EXACT SIZE. FIELD VERIFY EXISTING CONDITIONS BELOW ROOF LINE. EXISTING GAS LINE SHALL BE PREPARED FOR NEW RTU CONNECTION. SEE NEW PLAN.



**KEY PLAN** 

NOT TO SCALE

DESIGN PROFESSIONAL

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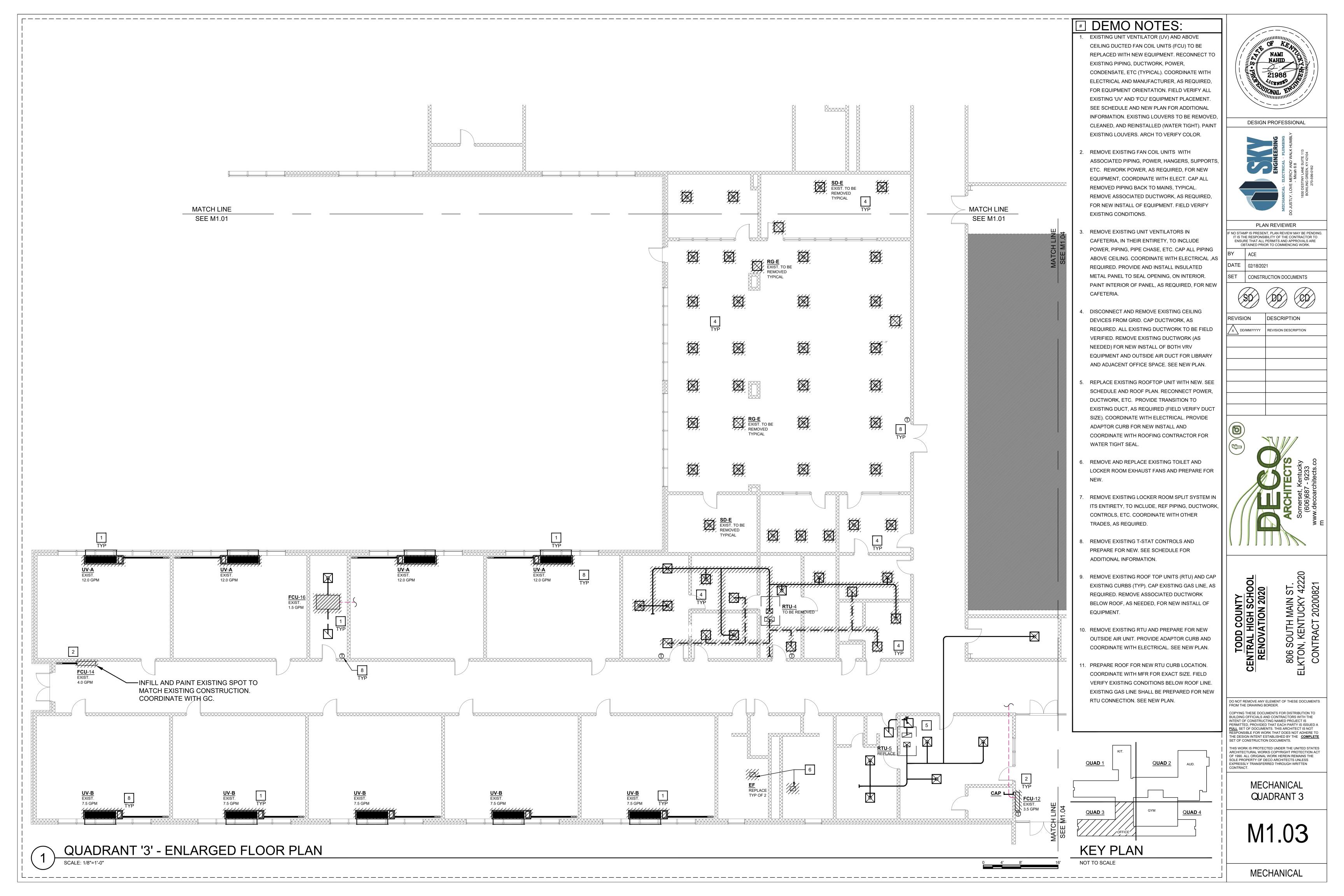
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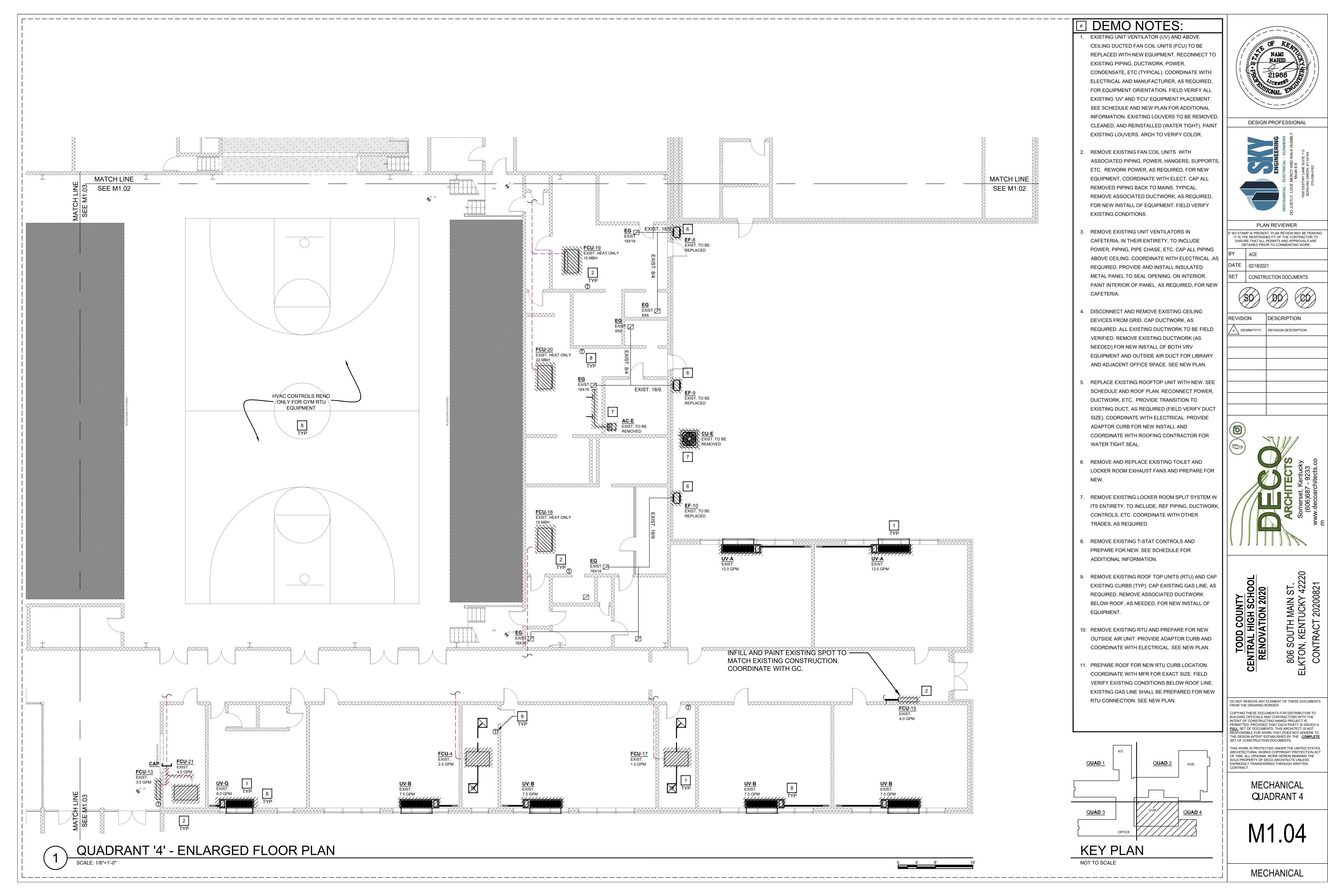
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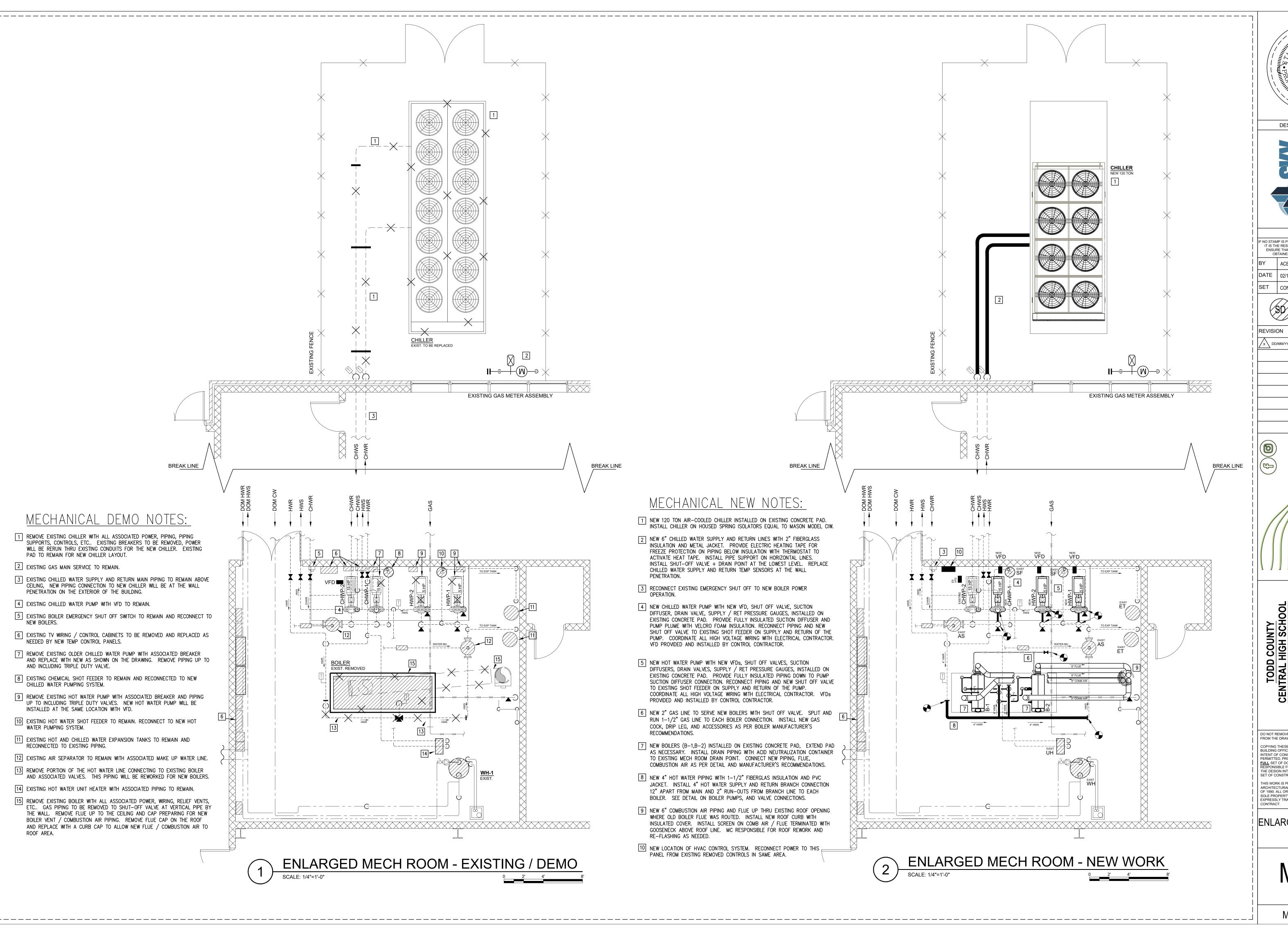
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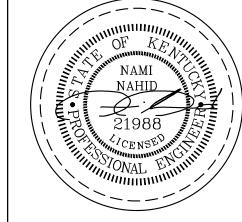
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> **MECHANICAL** QUADRANT 2











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ENLARGED MECHANICAL

## HVAC CONTROLS SYSTEM

### **Building Automation System:**

BUILDING WITH ALL NEW CONTROL SYSTEM BASED ON RELIABLE CONTROLS

MAIN CONTROL TOUCHSCREEN PANEL INSTALLED IN MAIN MECHANCIAL ROOM AND TIED TO NEW CAMPUS WIDE ON-LINE CONTROL SYSTEM. MAIN MECH ROOM CONTROLLER SHALL BE A UL CABINET WITH A TOUCHSCREEN PAD TO ACCESS HIGH SCHOOL HVAC SYSTEM OPERATION.

### VRV System Controller:

PROVIDE AN I-TOUCH MANAGER IN MECHANICAL ROOM NEXT TO MAIN TOUCHSCREEN CONTROL CABINET TO CONTROL ALL NEW VRV SYSTEMS ALL VRV SYSTEM INDOOR UNITS WITH ROOM CONTROLLERS (SAME MANUFACTURER AS VRV SYSTEM) WITH TEMPERATURE / RH SENSORS ON WALL I-TOUCH CONTROLLER TO RUN STAND-ALONE AND ALSO TIED TO CAMPUS WIDE ON-LINE CONTROL SYSTEM.

## Mechanical Room Controls:

Furnish and install new UL listed DDC control panel to control 2(ea) chill water pump VFD, including current transducers for status, 2(ea) hot water pumps VFD, including current transducers for pump status, 2(ea) boilers, 2(ea) boiler pumps, 1(ea) chillers (NEW), outside air temperature sensor, building hot water supply and return temperature sensors, boiler supply temperature sensor,

building chill supply and return temperature sensors. Provide any required programming for mechanical system. Tie directly into building MAIN controller.

## Classrooms Unit Ventilators / Misc FCUs:

Furnish and install new Reliable digital thermostat and RH sensor for each unit tied to main controller

Each Unit Ventilator / FCU furnished with BACnet module for control contractor to tie into.

CONTROL CONTRATOR TO FURNISH AND INSTALL 3-WAY MODULATING VALVES ON BOTH CHILLED AND HOT WATER PIPING KIT PROVIDED BY FCU MANUFACTURER.

## NEW RTUs SERVING FRONT OFFICE / CAFETERIA / KITCHEN / AG SHOP AREA:

ALL NEW PACKAGED RTUS WILL BE PROVIDED WITH BACNET CONTROL MODULE. CONTROL CONTRACTOR TO PROVIDE AND INSTALL NEW WALL THERMOSTAT / RH SENSOR AND TIE BACK INTO NEW CAMPUS CONTROLLER.

## EXISTING PACKAGED RTU SERVING BAND AND AUDITORIUM AREAS (TYPICAL OF 5 RTUS)

Existing PACKAGED RTUS BE UPDATED WITH NEW BACNET CONTROL MODULES WITH NEW WALL THERMOSTAT / CONTROLLERS AND TIED TO NEW RELIABLE CONTROL SYSTEM.

## **NEW EXHAUST FANS:**

INSULATION

**TEMPERATURE** 

SENSOR WELL-

PRESSURE GAUGE-

SHUT-OFF COCK (TYP.)-

CHILLER

NOT TO SCALE

ON SPRING ISOLATORS

CHILLER PIPING CONNECTION DETAIL

FANS TO OPERATE AS PER DEDICATED SPACE SENSORS / SWITCHES.

MAIN CONTROLLER WITH SYSTEM GRAPHICS TO MONITOR ALL FAN OPERATIONS STATUS WITH OVERRIDES. ALARM WHEN FAN FAILURE.

SPACES WITH TEMPERATURE ACTIVATION, SHOW TEMPERATURE AT THE ZONE ON GRAPHICS WITH FAN STATUS. MAIN GANG TOILET EXHAUST FANS TO RUN CONTINUOUSLY AS PER SCHEDULE (8AM TO 5PM) ADJUSTABLE.

## WALK-IN FREEZER / COOLER

INSTALL NEW TEMP SENSORS IN WALK IN FREEZER AND COOLER WITH MONITORING AT MAIN CONTROL SYSTEM PROGRAM TO ALERT USER THRU TEXT WHEN TEMP RISE ABOVE SETPOINT.

## PIPING, DUCTWORK AND INSULATION SCHEDULE

WEATHER EXPOSED PIPING AND INSULATION.

EXPOSED WEATHER PIPING AT CHILLER CONNECTIONS SHALL BE STEEL ASTM A-53 WITH FIBERGLASS INSULATION. INSTALL ALUMINUM EXTERNAL JACKET OVER FIBERGLASS INSULATION TO MATCH EXISTING. PROVIDE PRE=MOLDED INSULATION OVER ALL EXTERNAL EXPOSED VALVES.

MECHANICAL ROOM PIPING MATERIAL AND INSULATION.

STEEL ASTM A-53 WITH GROOVED VICTAULIC COUPLING FOR ALL PIPING ABOVE 2"

2" AND BELOW SHALL BE COPPER WITH SOLDERED JOINTS. ALL VALVE CONNECTIONS SHALL BE FLANGED WITH EPDM GASKET.

INSULATION FIBERGLASS: ONE-PIECE MOLDED THREE POUND DENSITY (ASTM C547, CLASS 2) WITH FACTORY APPLIED ALL-SERVICE JACKET WITH SELF-SEALING LAP.

NSULATION SUITABLE FOR PAINTING WITH LATEX PAINTS. INSULATION SUITABLE FOR PIPE TEMP. FROM 0 DEG. TO 350 DEG. JACKET WITH VAPOR BARRIER WITH A PERMEANCE OF LESS THAN 0.02 PERMS/IN. (ASTM E96)

MECHANICAL ROOM INSULATION SHALL HAVE ADDITIONAL PVC JACKET. STENCILE ALL PIPING IN THE MECHANICAL ROOM WITH CONTENT AND DIRECTION EVERY 6' INTERVAL.

## BUILDING PIPING AND INSULATION.

STEEL ASTM A-53 WITH GROOVED VICTAULIC COUPLING FOR ALL PIPING ABOVE 2"

2" AND BELOW SHALL BE COPPER WITH SOLDERED JOINTS. DRAIN PIPES SHALL EITHER COPPER OR PVC WITH 1/2" BLACK FOAM INSULATION.

INSULATION FIBERGLASS: ONE-PIECE MOLDED THREE POUND DENSITY (ASTM C547, CLASS 2) WITH FACTORY APPLIED ALL-SERVICE JACKET WITH SELF-SEALING LAP. INSULATION SUITABLE FOR PAINTING WITH LATEX PAINTS. INSULATION SUITABLE FOR PIPE TEMP. FROM 0 DEG. TO

## 850 DEG. JACKET WITH VAPOR BARRIER WITH A PERMEANCE OF LESS THAN 0.02 PERMS/IN. (ASTM E96)

DUCTWORK AND AIR DEVICES INSULATION. DUCTWORK AS PER LATEST SMACNA GUIDELINES FOR LOW PRESSURE SYSTEM. INSULATED ALL (SUPPLY, RETURN, EXHAUST, OUTSIDE AIR) WITH DOUBLE BUBBLE WRAP TYPE (R-8) ALL DIFFUSERS AND GRILLES SHALL HAVE ABOVE DIFFUSER MOLDED INSULATION ON FACE PLATES.

ALL PUMPS, AIR-SEPORATORS, AND EXPANSION TANKS. INSULATED WITH BLACK FOAM INSULATION. ALL CHILLED AND HOT WATER VALVES WITHIN THE PIPINGS. ONE PIECE PRE-MOLDED INSULATION.

## REFRIGERANT LINE INSULATION:

INSULATE ALL REFRIGERANT LINES WITH 3/4" PRE-MOLDED BLACK FOAM INSULATION. ALL EXTERIOR EXPOSED REFRIGERANT LINES SHALL HAVE ADDITIONAL PVC JACKET INSULATION.

BOILER #1, #2

LOCHINVAR KBN801 LOW NOx OPERATION

WITH BACnet CONNECTION TO BAS.

ASME HORIZONTAL DIRECT VENT WITH SIDEWALL CAPS

FLOW SWITCH / MULTIPLE BOILER CASCADE CONTROL

BOILER PIPING SCHEMATIC

SUPPLY HOT WATER HEADER

(GAS PIPING) BLACK STEEL

EMERG. GAS SHUT-OFF

VALVE AT EACH BOILER. DRIP LEG, UNION AT BASE

MANUAL SHUTOFF VALVE AT UNIT CONNECTION —

FULL 2" PORT BALL VALVES WITH STRAINER AND PUMP

CHECK VALVE WITH

- THERMOMETER AND WELL

- FLEX. CONNECTOR

WELD NECK FLANGE (TYP.)

- OFFSET CONDENSER PIPING

INTERFERING WITH TUBE PULL

- EXISTING CONCRETE PAD PROVIDE

TO PREVENT RISER FROM

PIPE STAND SUPPORT

ON SPRING ISOLATOR

2" DIE-ELECTRIC NIPLE

RELIEF, FLOW SWITCH,

AND TEMP/PRESS. GUAGES. ON SUPPLY LINE

NEW PUMPS (SEE DETAIL)

3/4" COPPER DRAIN W/ RELIEF VALVE

FLOOR DRAIN

NEUTRALIZER KIT

1/2" PVC DRAIN WITH

ALL INDOOR UNITS SHALL HAVE PVC CONDENSATE DRAIN PIPING ROUTED TO NEAREST FLOOR / JAN. SINK. PIPING CAN BE COMBINED FOR MULTIPLE INDOOR UNITS. SLOPE PIPING FOR GRAVITY DRAIN.

HILLER SCHED	ULE
T NO.	CH-1
UFACTURER	DAIKIN
EL	AGZ120E
	A IR-COOLED SCROLL
ACITY (TONS)	120
RIGERANT	R410A
R. WEIGHT (LBS)	3,500
CERTIFICATION	YES
PORATOR	
	287
	52
	42
SES	2
ING FACTOR	0.00025
WPD (FT OF HEAD)	10
ron	
TOR	007
SIZE	267 300
IS / PHASE	480 / 3
RTER TYPE	
RIERITPE	Across the Line
ESSORIES	
EFF. PURGE	YES
ATORS	YES
-	SEE NOTES
MIC CERTIFICATION	YES

POWER FACTOR CORRECTION TO 0.95 AT FULL LOAD.

LOW VOLTAGE PROTECTION SINGLE PHASE PROTECTION

. UNIT WITH COMPLETE BACNET CONTROL MODULE READY FOR SYSTEM CONNECTION. PROVIDE UNIT MOUNTED STARTER / DISCONNECT.

MODEL	KNIGHT KBX	KNIGHT KB
OUTPUT BTU/HR.	776,000	776,000
NPUT BTU/HR.	800,000	800,000
EFFICIENTY	97%	97%
/INIMUM BTU/HR	80,000	80,000
FUEL		
PRIMARY FUEL	NAT. GAS	NAT. GAS
GAS CFH (1000 BTU)	800	800
NLET GAS PRESS	4" - 14"	4" - 14"
ELECTRICAL		
OLTAGE / PHASE	120 / 1	120 / 1
USE SIZE	20	20
DIMENSIONS		
/ENT STACK (IN)	AL29-4C	AL29-4C
ACCESSORIES		
BURNER CONTROL	FULL MOD.	FULL MOD.
GNITION	ELECTRONIC	ELECTRONI
CODES	IRI	IRI

LOCHINVAR LOCHINVAR

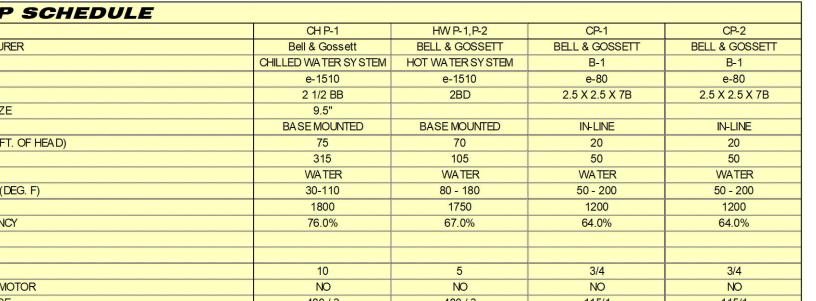
1. PROVIDE WITH CONDENSING NEUTRALIZATION KIT

**BOILER SCHEDULE** 

2. BA Cnet CONTROL MODULE 3. PROVIDE WITH BOILER CIRCULATING PUMP

4. SMART SY STEM SOFTWARE WITH BACNET INTERFACE 5. 150 PSI ASME RELIEF VALVE 6. HIGH / LOW GAS PRESSURE SWITCH

. STAINLESS STEEL VENT KIT

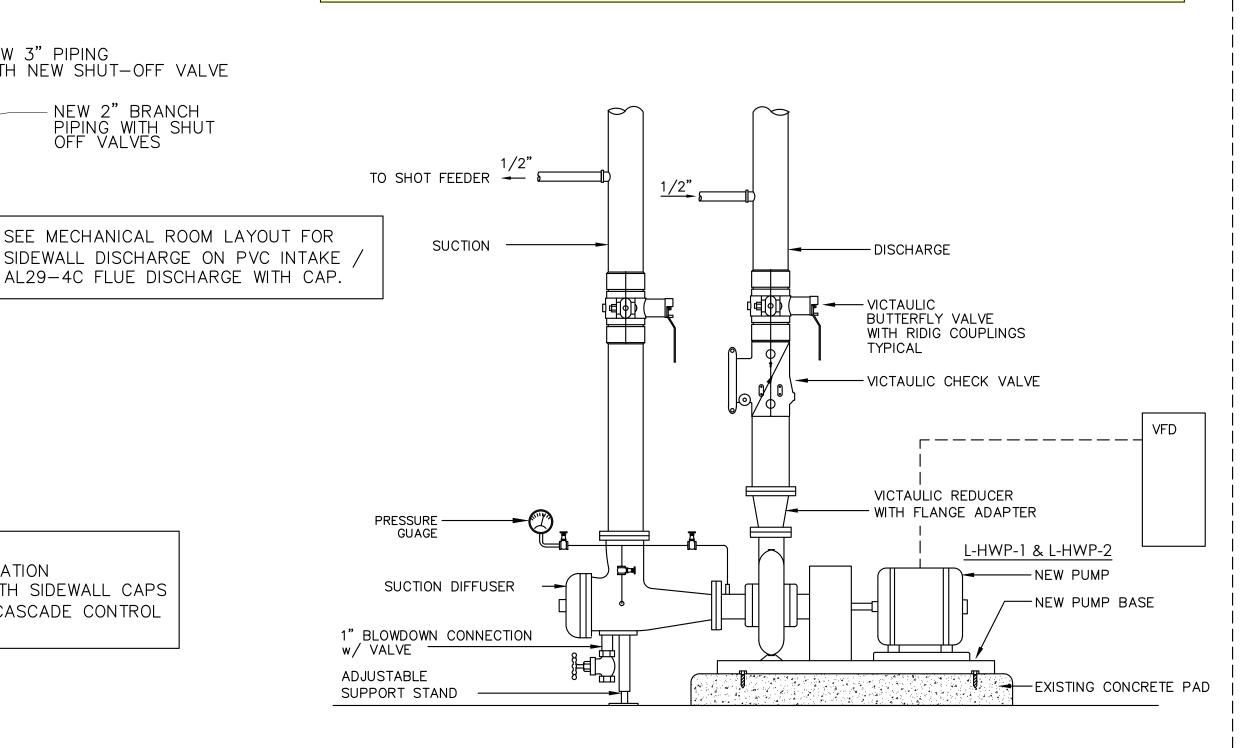


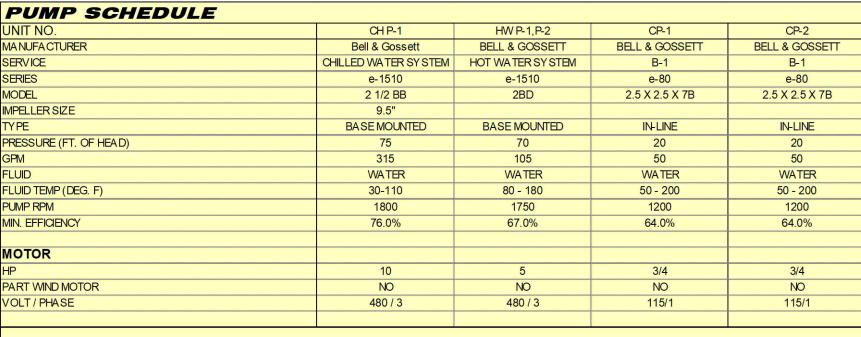
WITH NEW SHUT-OFF VALVE

WITH NEW SHUT-OFF VALVE

– NEW 2" BRANCH PIPING WITH SHUT OFF VALVES

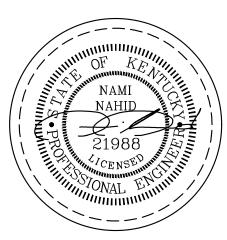
ALL PUMPS WITH SUCTION DIFFUSER AND TRIPLE DUTY VALVE - SEE DETAIL FOR ALL ACCESSORIES.





. CHP-1 IS EXISTING, CHP-2 WILL REPLACE EXISTING OLD PUMP IN MECH ROOM. ALL NEW PUMPS WITH VFD PROVIDED AND INSTALLED BY CONTROL CONTRACTOR

> VFD CONTROLLED PUMP PIPING SCHEMATIC NOT TO SCALE



DESIGN PROFESSIONAL

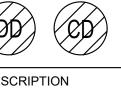


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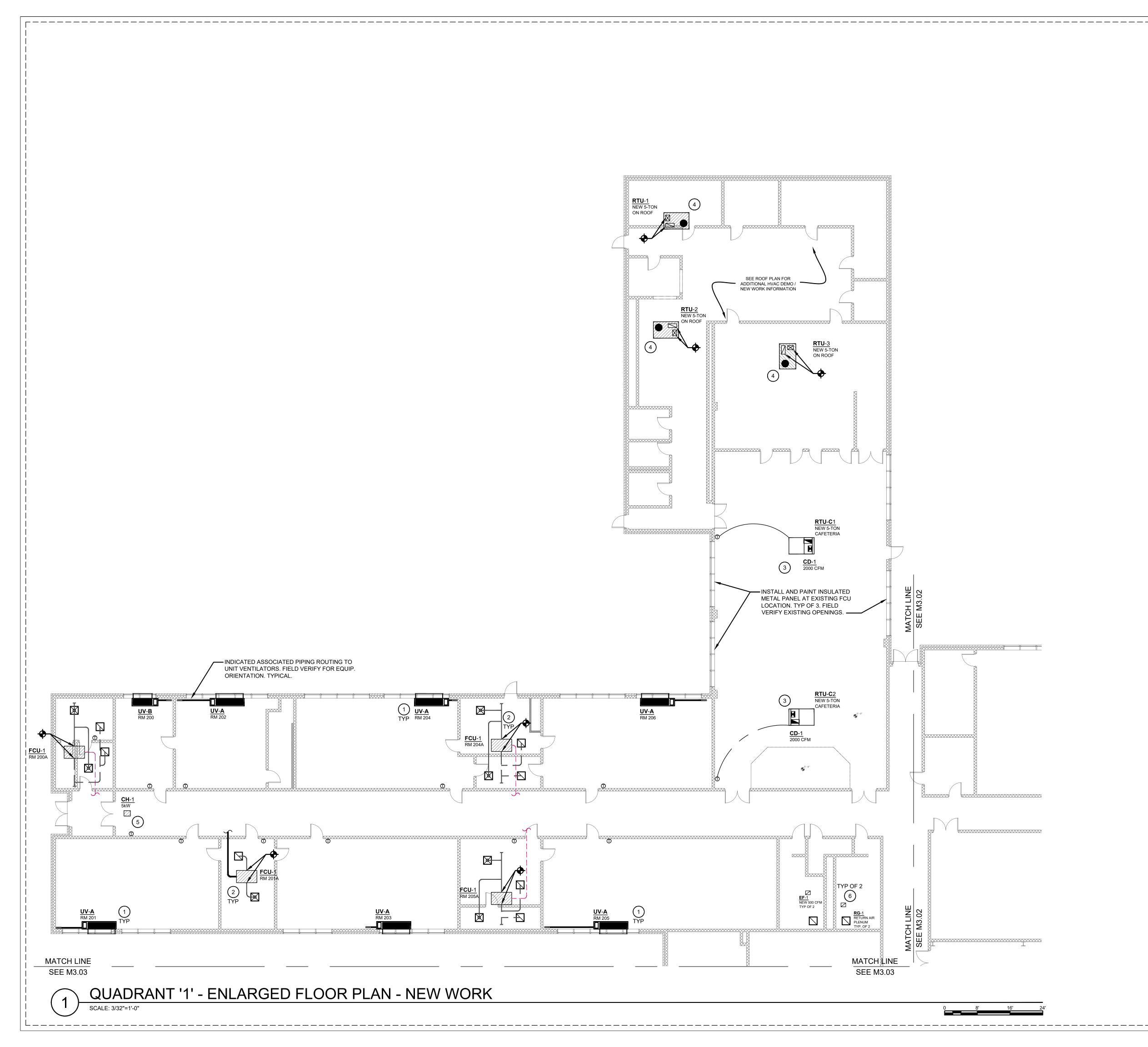


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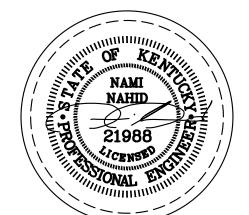
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**BOILER RM DETAILS AND** SCHEDULES



# # NEW WORK NOTES:

- INSTALL NEW UNIT VENTILATORS (UV) AT EXISTING LOCATION. RECONNECT TO EXISTING 4 PIPE SYSTEM. COORDINATE WITH ELECTRICAL, AS REQUIRED FOR COMPLETE INSTALL. FIELD VERIFY FOR EQUIPMENT ORIENTATION AND COORDINATE WITH MFR, BEFORE INSTALL. REINSTALL EXISTING LOUVERS (CLEAN AND PAINTED) FOR EACH 'U'V'. ALL NEW 'UV' SHALL HAVE NEW WALL MOUNTED CONTROLS, LOCATED NEAR ENTRY DOORWAY. SEE SCHEDULE AND SPECS FOR ADDITIONAL INFO.
- 2. INSTALL NEW HORIZONTAL FAN COIL UNIT (ABOVE CEILING) AND CONNECT TO EXISTING SUPPLY AND RETURN DUCTWORK. FIELD VERIFY EXISTING CONDITIONS, ABOVE CEILING. TRANSITION DUCTWORK, AS REQUIRED, TO CONNECT TO EQUIPMENT. COORDINATE WITH ELECTRICAL FOR COMPLETE INSTALL. TYPICAL.
- 3. INSTALL NEW ROOF TOP UNITS, WITH CURBS, AT BOTH CAFETERIA AND AG SHOP LOCATIONS. COORDINATE WITH ROOFING CONTRACTOR FOR FLASHING AND INSTALL. ROUTE DUCTWORK DOWN TO CONCENTRIC DIFFUSER IN CEILING SPACE. COORDINATE WITH MFR, AS REQUIRED FOR INSTALL. FIELD VERIFY EXISTING STRUCTURAL BEAM LOCATIONS BEFORE EXACT PLACEMENT. PROVIDE WALL MOUNTED T-STAT FOR EACH RTU. SEE CONTROLS SCHEDULE AND SPECS. PROVIDE AND CONNECT TO EXISTING GAS LINE ON ROOF. PROVIDE REGULATOR, SHUT-OFF, DRIP LEG, ETC. SEE ROOF PLAN.
- 4. COMPLETELY INSTALL NEW RTU'S AT EXISTING LOCATIONS. PROVIDE ADAPTOR CURB, AS REQUIRED. MAINTAIN 10'-0" MINIMUM DISTANCE FROM ROOF EDGE. RECONNECT TO GAS LINE, POWER, DUCTWORK, ETC. AS REQUIRED FOR EXISTING LOCATIONS. SEE ROOF PLAN. COORDINATE WITH ELECTRICAL, TYPICAL.
- 5. INSTALL NEW 5kW ELECTRIC CEILING HEATERS WITH WALL MOUNTED T-STATS, TIE TO NEW CONTROLS SYSTEM. COORDINATE WITH ELECTRICAL FOR COMPLETE INSTALL.
- NEW ROOF MOUNTED EXHAUST FANS SHALL BE INSTALLED AT EXISTING LOCATIONS AND RECONNECTED TO EXISTING DUCTWORK (FIELD VERIFY). PROVIDE ADAPTOR CURB, AS REQUIRED. SEE CONTROLS SPECS. INSTALL NEW 2X2 PLENUM EXHAUST GRILLE IN NEW 2X2 ACT CEILING AT TOILET LOCATIONS. COORDINATE WITH LIGHTING CONTRACTOR FOR EXACT LAYOUT.
- INSTALL NEW VRF CONDENSING UNITS ON 8" EQUIPMENT RAILS (ON ROOF) AND WITH HAIL GUARDS. ROUTE INSULATED REF. PIPING TO PIPE PORTAL BOX, DOWN TO ASSOCIATED INDOOR UNITS. COORDINATE WITH ROOFING CONTRACTOR AS REQUIRED FOR INSTALL AND FLASHING. SEE ROOF PLAN. ALL INDOOR UNITS SHALL HAVE WALL MOUNTED T-STAT, TIED TO CONTROLS SYSTEM. ROUTE CONDENSATE TO NEAREST JAN. SINK AND/OR FLOOR DRAIN, ETC.



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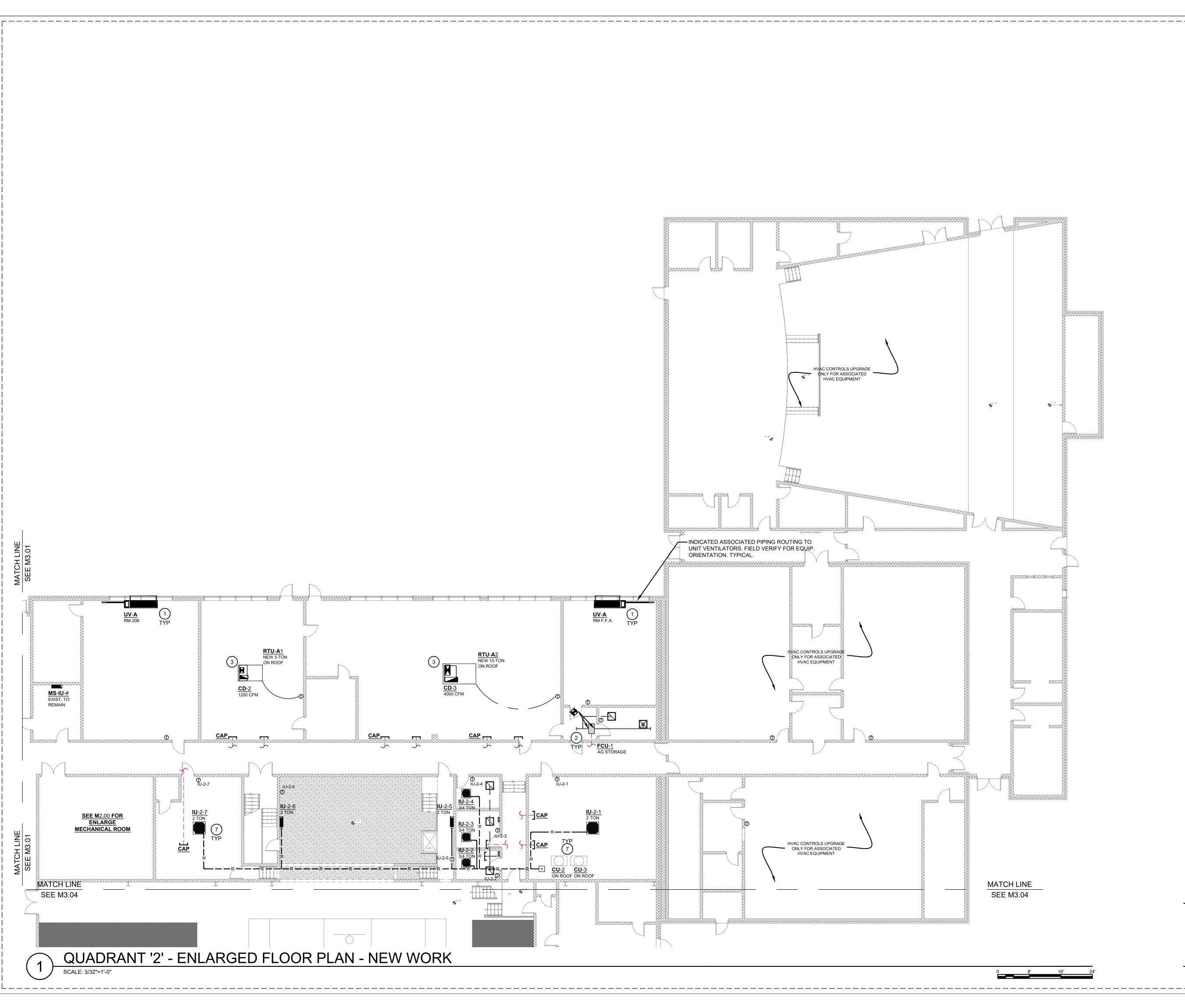
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MECHANICAL QUADRANT 1

**MECHANICAL** 

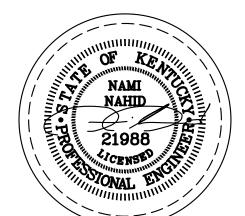
**KEY PLAN** 

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# # NEW WORK NOTES:

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- 2. INSTALL NEW HORIZONTAL FAN COIL UNIT (ABOVE CEILING) AND CONNECT TO EXISTING SUPPLY AND RETURN DUCTWORK. FIELD VERIFY EXISTING CONDITIONS, ABOVE CEILING. TRANSITION DUCTWORK, AS REQUIRED, TO CONNECT TO EQUIPMENT. COORDINATE WITH ELECTRICAL FOR COMPLETE INSTALL. TYPICAL.
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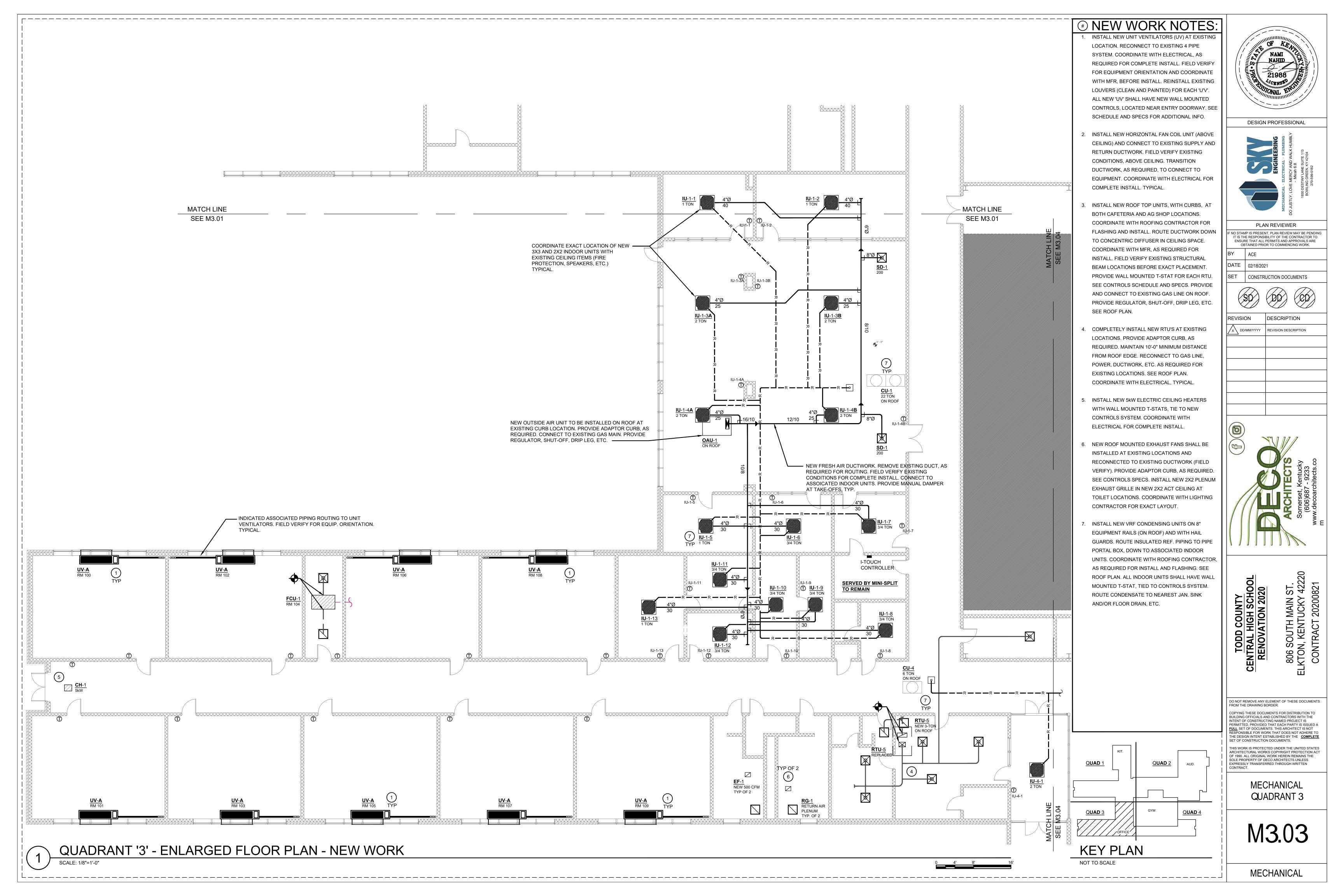
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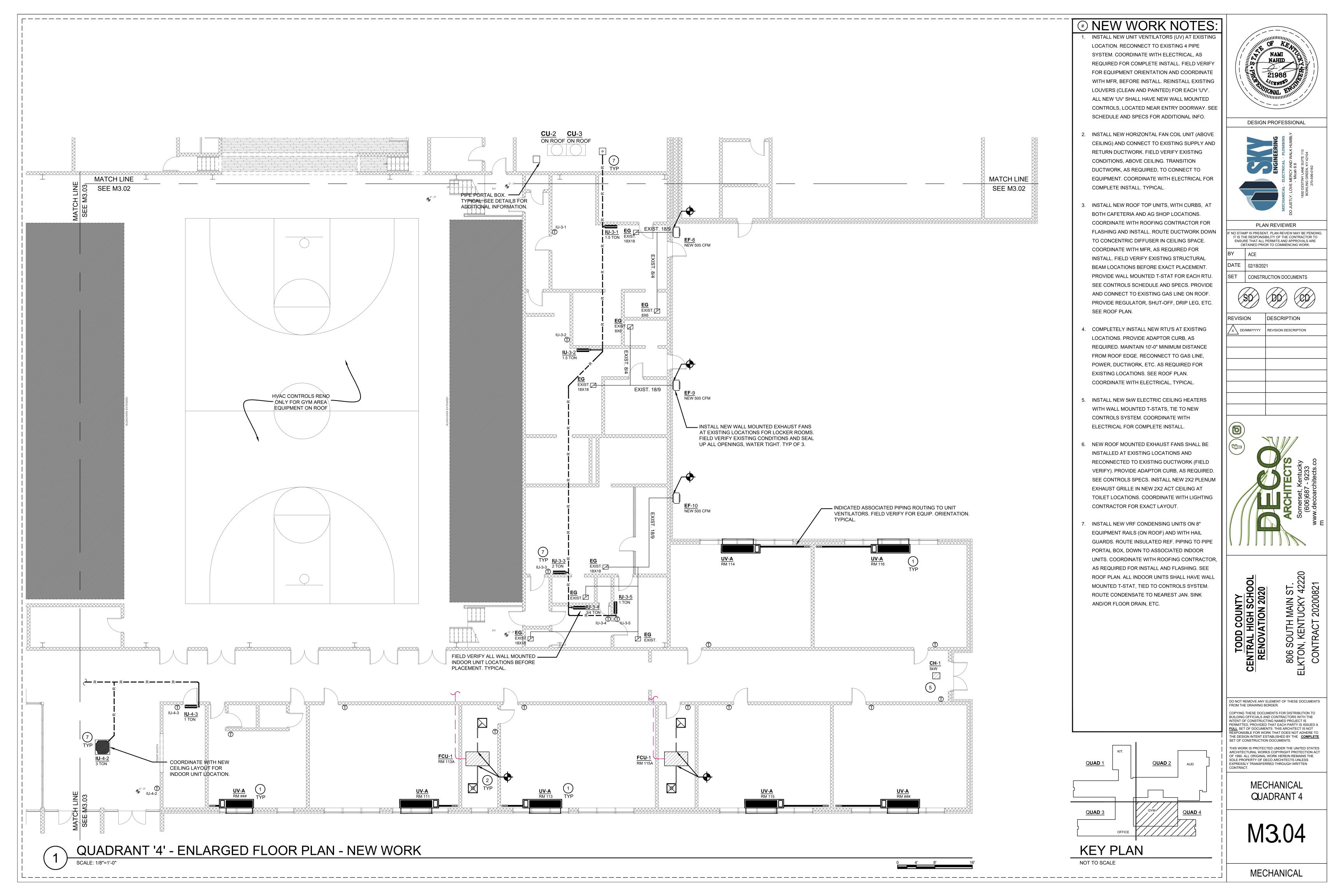
> **MECHANICAL** QUADRANT 2

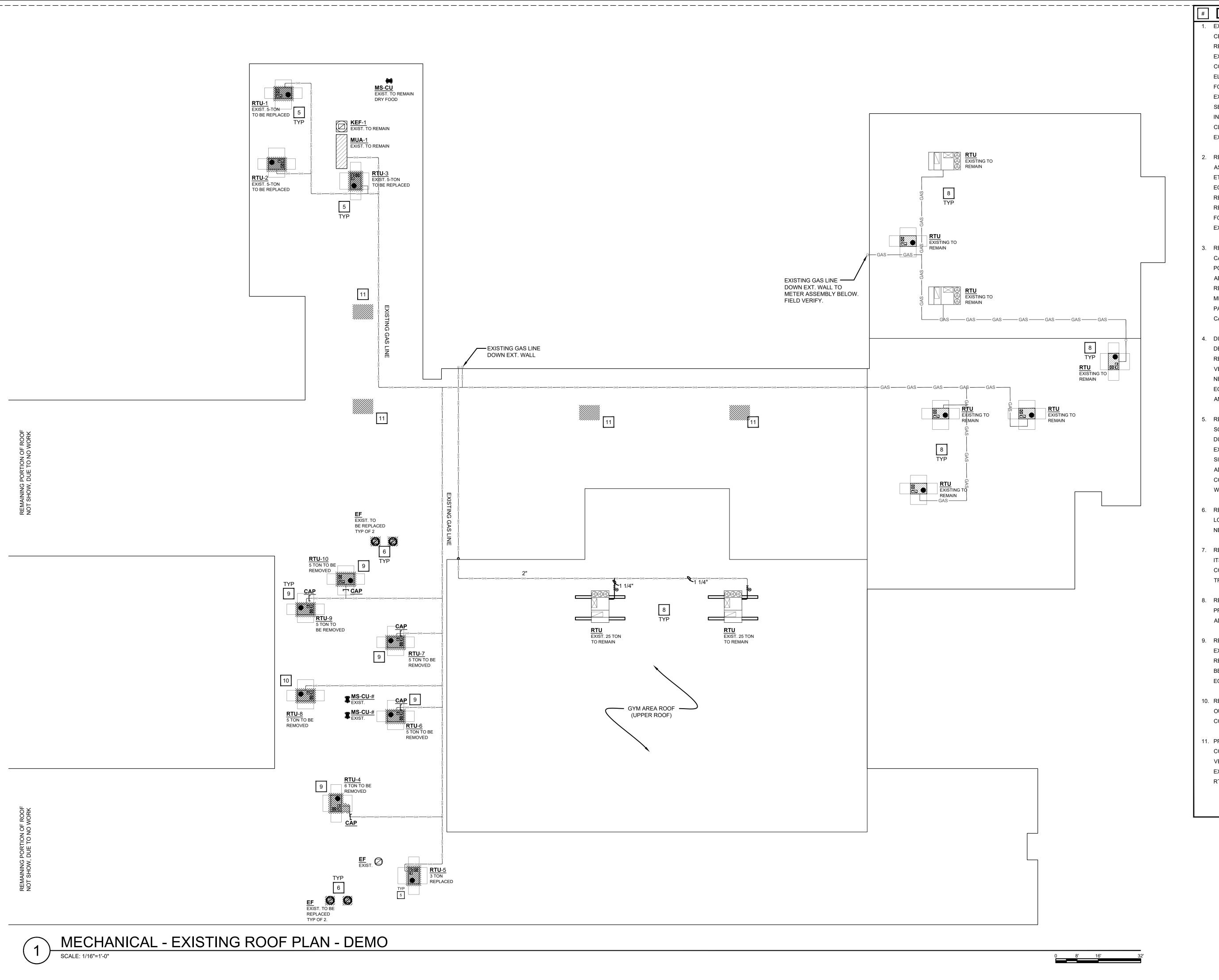
**QUAD** 4

**KEY PLAN** 

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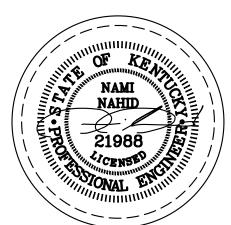






## **# DEMO NOTES:**

- EXISTING UNIT VENTILATOR (UV) AND ABOVE CEILING DUCTED FAN COIL UNITS (FCU) TO BE REPLACED WITH NEW EQUIPMENT. RECONNECT TO EXISTING PIPING, DUCTWORK, POWER, CONDENSATE, ETC (TYPICAL). COORDINATE WITH ELECTRICAL AND MANUFACTURER, AS REQUIRED, FOR EQUIPMENT ORIENTATION. FIELD VERIFY ALL EXISTING 'UV' AND 'FCU' EQUIPMENT PLACEMENT. SEE SCHEDULE AND NEW PLAN FOR ADDITIONAL INFORMATION. EXISTING LOUVERS TO BE REMOVED. CLEANED, AND REINSTALLED (WATER TIGHT). PAINT EXISTING LOUVERS. ARCH TO VERIFY COLOR.
- REMOVE EXISTING FAN COIL UNITS WITH ASSOCIATED PIPING, POWER, HANGERS, SUPPORTS, ETC. REWORK POWER, AS REQUIRED, FOR NEW EQUIPMENT, COORDINATE WITH ELECT. CAP ALL REMOVED PIPING BACK TO MAINS, TYPICAL. REMOVE ASSOCIATED DUCTWORK, AS REQUIRED, FOR NEW INSTALL OF EQUIPMENT. FIELD VERIFY EXISTING CONDITIONS.
- 3. REMOVE EXISTING UNIT VENTILATORS IN CAFETERIA, IN THEIR ENTIRETY, TO INCLUDE POWER, PIPING, PIPE CHASE, ETC. CAP ALL PIPING ABOVE CEILING. COORDINATE WITH ELECTRICAL ,AS REQUIRED. PROVIDE AND INSTALL INSULATED METAL PANEL TO SEAL OPENING, ON INTERIOR. PAINT INTERIOR OF PANEL, AS REQUIRED, FOR NEW CAFETERIA.
- DISCONNECT AND REMOVE EXISTING CEILING DEVICES FROM GRID. CAP DUCTWORK, AS REQUIRED. ALL EXISTING DUCTWORK TO BE FIELD VERIFIED. REMOVE EXISTING DUCTWORK (AS NEEDED) FOR NEW INSTALL OF BOTH VRV EQUIPMENT AND OUTSIDE AIR DUCT FOR LIBRARY AND ADJACENT OFFICE SPACE. SEE NEW PLAN.
- REPLACE EXISTING ROOFTOP UNIT WITH NEW. SEE SCHEDULE AND ROOF PLAN. RECONNECT POWER, DUCTWORK, ETC. PROVIDE TRANSITION TO EXISTING DUCT, AS REQUIRED (FIELD VERIFY DUCT SIZE). COORDINATE WITH ELECTRICAL. PROVIDE ADAPTOR CURB FOR NEW INSTALL AND COORDINATE WITH ROOFING CONTRACTOR FOR WATER TIGHT SEAL.
- 6. REMOVE AND REPLACE EXISTING TOILET AND LOCKER ROOM EXHAUST FANS AND PREPARE FOR
- REMOVE EXISTING LOCKER ROOM SPLIT SYSTEM IN ITS ENTIRETY, TO INCLUDE, REF PIPING, DUCTWORK, CONTROLS, ETC. COORDINATE WITH OTHER TRADES, AS REQUIRED.
- REMOVE EXISTING T-STAT CONTROLS AND PREPARE FOR NEW. SEE SCHEDULE FOR ADDITIONAL INFORMATION.
- 9. REMOVE EXISTING ROOF TOP UNITS (RTU) AND CAP EXISTING CURBS (TYP). CAP EXISTING GAS LINE, AS REQUIRED. REMOVE ASSOCIATED DUCTWORK BELOW ROOF, AS NEEDED, FOR NEW INSTALL OF EQUIPMENT.
- 10. REMOVE EXISTING RTU AND PREPARE FOR NEW OUTSIDE AIR UNIT. PROVIDE ADAPTOR CURB AND COORDINATE WITH ELECTRICAL. SEE NEW PLAN.
- 11. PREPARE ROOF FOR NEW RTU CURB LOCATION. COORDINATE WITH MFR FOR EXACT SIZE. FIELD VERIFY EXISTING CONDITIONS BELOW ROOF LINE. EXISTING GAS LINE SHALL BE PREPARED FOR NEW RTU CONNECTION. SEE NEW PLAN.



DESIGN PROFESSIONAL

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DATE | 02/18/2021

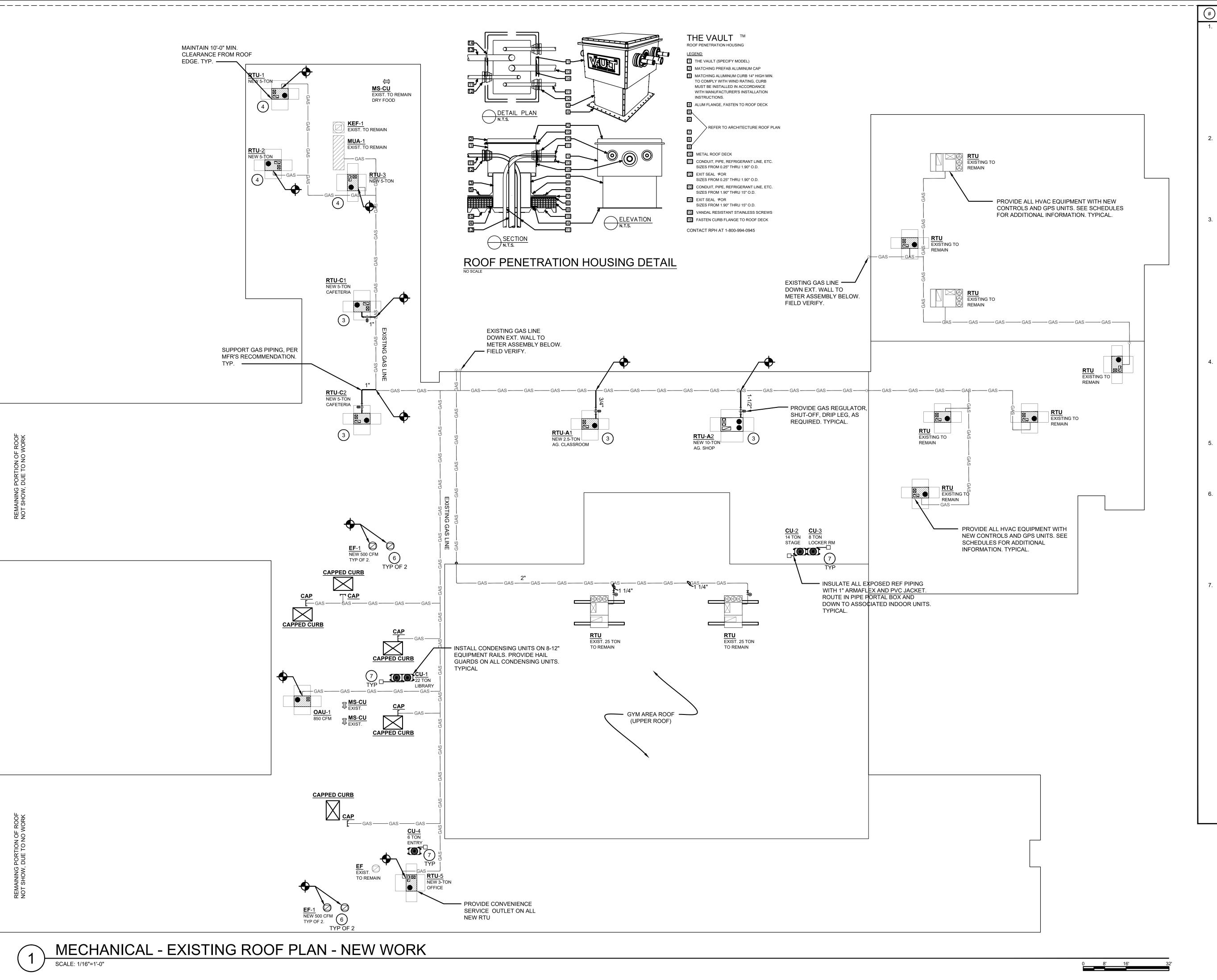
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**MECHANICAL ROOF PLAN - DEMO** 



# NEW WORK NOTES:

- 1. INSTALL NEW UNIT VENTILATORS (UV) AT EXISTING LOCATION. RECONNECT TO EXISTING 4 PIPE SYSTEM. COORDINATE WITH ELECTRICAL, AS REQUIRED FOR COMPLETE INSTALL. FIELD VERIFY FOR EQUIPMENT ORIENTATION AND COORDINATE WITH MFR, BEFORE INSTALL. REINSTALL EXISTING LOUVERS (CLEAN AND PAINTED) FOR EACH 'U'V'. ALL NEW 'UV' SHALL HAVE NEW WALL MOUNTED CONTROLS, LOCATED NEAR ENTRY DOORWAY. SEE SCHEDULE AND SPECS FOR ADDITIONAL INFO.
- 2. INSTALL NEW HORIZONTAL FAN COIL UNIT (ABOVE CEILING) AND CONNECT TO EXISTING SUPPLY AND RETURN DUCTWORK. FIELD VERIFY EXISTING CONDITIONS, ABOVE CEILING. TRANSITION DUCTWORK, AS REQUIRED, TO CONNECT TO EQUIPMENT. COORDINATE WITH ELECTRICAL FOR COMPLETE INSTALL. TYPICAL.
- 3. INSTALL NEW ROOF TOP UNITS, WITH CURBS, AT BOTH CAFETERIA AND AG SHOP LOCATIONS.
  COORDINATE WITH ROOFING CONTRACTOR FOR FLASHING AND INSTALL. ROUTE DUCTWORK DOWN TO CONCENTRIC DIFFUSER IN CEILING SPACE.
  COORDINATE WITH MFR, AS REQUIRED FOR INSTALL. FIELD VERIFY EXISTING STRUCTURAL BEAM LOCATIONS BEFORE EXACT PLACEMENT.
  PROVIDE WALL MOUNTED T-STAT FOR EACH RTU.
  SEE CONTROLS SCHEDULE AND SPECS. PROVIDE AND CONNECT TO EXISTING GAS LINE ON ROOF.
  PROVIDE REGULATOR, SHUT-OFF, DRIP LEG, ETC. SEE ROOF PLAN.
- 4. COMPLETELY INSTALL NEW RTU'S AT EXISTING LOCATIONS. PROVIDE ADAPTOR CURB, AS REQUIRED. MAINTAIN 10'-0" MINIMUM DISTANCE FROM ROOF EDGE. RECONNECT TO GAS LINE, POWER, DUCTWORK, ETC. AS REQUIRED FOR EXISTING LOCATIONS. SEE ROOF PLAN. COORDINATE WITH ELECTRICAL, TYPICAL.
- 5. INSTALL NEW 5kW ELECTRIC CEILING HEATERS
  WITH WALL MOUNTED T-STATS, TIE TO NEW
  CONTROLS SYSTEM. COORDINATE WITH
  ELECTRICAL FOR COMPLETE INSTALL.
- 6. NEW ROOF MOUNTED EXHAUST FANS SHALL BE INSTALLED AT EXISTING LOCATIONS AND RECONNECTED TO EXISTING DUCTWORK (FIELD VERIFY). PROVIDE ADAPTOR CURB, AS REQUIRED. SEE CONTROLS SPECS. INSTALL NEW 2X2 PLENUM EXHAUST GRILLE IN NEW 2X2 ACT CEILING AT TOILET LOCATIONS. COORDINATE WITH LIGHTING CONTRACTOR FOR EXACT LAYOUT.
- INSTALL NEW VRF CONDENSING UNITS ON 8"

  EQUIPMENT RAILS (ON ROOF) AND WITH HAIL

  GUARDS. ROUTE INSULATED REF. PIPING TO PIPE

  PORTAL BOX, DOWN TO ASSOCIATED INDOOR

  UNITS. COORDINATE WITH ROOFING CONTRACTOR

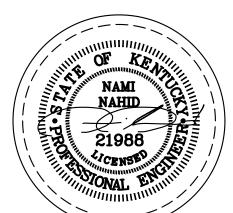
  AS REQUIRED FOR INSTALL AND FLASHING. SEE

  ROOF PLAN. ALL INDOOR UNITS SHALL HAVE WALL

  MOUNTED T-STAT, TIED TO CONTROLS SYSTEM.

  ROUTE CONDENSATE TO NEAREST JAN. SINK

  AND/OR FLOOR DRAIN, ETC.



DESIGN PROFESSIONAL

ENGINEERING

MECHANICAL • ELECTRICAL • PLUMBIN

DO JUSTLY, LOVE MERCY AND WALK HUM!

- Micah 6:8

1830 DESTINY LANE SUITE 113

BOWLING GREEN, KY 42104

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BY ACE

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TODD COUNTY
TRAL HIGH SCHOOL
ENOVATION 2020

806 SOUTH MAIN SELKTON, KENTUCKY

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MECHANICAL ROOF PLAN - NEW WORK

M4.02

Name	FCU				Coo	ling			
		Tmp C	Rq TC	Rv TC	Max TC	Rq SC	Tevap	Tdis C	Max SC
		°F (DBT/RH)	BTU/h	BTU/h	BTU/h	BTU/h	°F	°F	BTU/h
IU-1-4B	FXFQ24TVJU	72.0/55%	n/a	0	19,351	n/a	42.8	53.5	15,815
IU-1-3B	FXFQ24TVJU	72.0/55%	n/a	0	19,351	n/a	42.8	53.5	15,815
IU-1-2	FXFQ12TVJU	72.0/55%	n/a	0	9,663	n/a	42.8	56.3	7,500
IU-1-1	FXFQ12TVJU	72.0/55%	n/a	0	9,663	n/a	42.8	56.3	7,500
IU-1-3A	FXFQ24TVJU	72.0/55%	n/a	0	19,351	n/a	42.8	53.5	15,815
IU-1-4A	FXFQ24TVJU	72.0/55%	n/a	0	19,351	n/a	42.8	53.5	15,815
IU-1-7	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
IU-1-5	FXFQ12TVJU	72.0/55%	n/a	0	9,663	n/a	42.8	56.3	7,500
IU-1-6	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
IU- 11	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
IU- 13	FXFQ12TVJU	72.0/55%	n/a	0	9,663	n/a	42.8	56.3	7,500
IU- 10	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
IU- 9	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
IU- 12	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
IU-8	FXFQ09TVJU	72.0/55%	n/a	0	7,646	n/a	42.8	57.8	6,810
			0						

Name	FCU		Hea	ting				
		Tmp H	Rq HC	Max HC	Tdis H	Min coil	Max coil	Air Flow Rate
		°F	BTU/h	BTU/h	°F	in <sup>3</sup>	in <sup>3</sup>	cfm
IU-1-4B	FXFQ24TVJU	68.0	n/a	28,014	100.8	n/a	n/a	777
IU-1-3B	FXFQ24TVJU	68.0	n/a	28,014	100.8	n/a	n/a	777
IU-1-2	FXFQ12TVJU	68.0	n/a	13,990	97.2	n/a	n/a	436
IU-1-1	FXFQ12TVJU	68.0	n/a	13,990	97.2	n/a	n/a	436
IU-1-3A	FXFQ24TVJU	68.0	n/a	28,014	100.8	n/a	n/a	777
IU-1-4A	FXFQ24TVJU	68.0	n/a	28,014	100.8	n/a	n/a	777
IU-1-7	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
IU-1-5	FXFQ12TVJU	68.0	n/a	13,990	97.2	n/a	n/a	436
IU-1-6	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
IU- 11	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
IU- 13	FXFQ12TVJU	68.0	n/a	13,990	97.2	n/a	n/a	436
IU- 10	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
IU- 9	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
IU- 12	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
IU- 8	FXFQ09TVJU	68.0	n/a	10,885	90.7	n/a	n/a	436
			n/a					

Name	Room	Sound	PS	MCA	МОР	WxHxD	Weight
		dBA		Α		inch	lbs
IU-1-4B		28 - 36	208-230V	0.7	15 A	33.1 x 9.7 x	50.7
			1ph			33.1	
IU-1-3B		28 - 36	208-230V	0.7	15 A	33.1 x 9.7 x	50.7
			1ph			33.1	
IU-1-2		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU-1-1		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU-1-3A		28 - 36	208-230V	0.7	15 A	33.1 x 9.7 x	50.7
			1ph			33.1	
IU-1-4A		28 - 36	208-230V	0.7	15 A	33.1 x 9.7 x	50.7
			1ph			33.1	
IU-1-7		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU-1-5		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU-1-6		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU- 11		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU- 13		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU- 10		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU- 9		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU- 12		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	
IU-8		27 - 30	208-230V	0.3	15 A	33.1 x 9.7 x	41.9
			1ph			33.1	

# INDOOR UNIT SCHEDULE (CU-1 - LIBRARY)

Name	FCU	Cooling									
		Tmp C °F (DBT/RH)	Rq TC BTU/h	Rv TC BTU/h	Max TC BTU/h	Rq SC BTU/h	Tevap °F	Tdis C °F	Max SC BTU/h		
IU-4-1	FXFQ24TVJU	72.0/55%	n/a	0	19,351	n/a	42.8	53.5	15,815		
IU-4-2	FXFQ36TVJU	72.0/55%	n/a	0	28,956	n/a	42.8	54.5	22,399		
IU-4-3	FXAQ12PVJU	72.0/55%	n/a	0	9,669	n/a	42.8	49.2	7,268		
			0								

Name	FCU		Hea	ting				
		Tmp H	Rq HC	Max HC	Tdis H	Min coil	Max coil	Air Flow Rate
	-	°F	BTU/h	BTU/h	°F	in <sup>3</sup>	in <sup>3</sup>	cfm
IU-4-1	FXFQ24TVJU	70.0	n/a	26,989	101.6	n/a	n/a	777
IU-4-2	FXFQ36TVJU	70.0	n/a	39,989	101.3	n/a	n/a	1,165
IU-4-3	FXAQ12PVJU	70.0	n/a	13,499	112.4	n/a	n/a	290
			n/a					

Name	Room	Sound	PS	MCA	МОР	WxHxD	Weight
		dBA		Α		inch	lbs
IU-4-1	ENTRY	28 - 36	208-230V	0.7	15 A	33.1 x 9.7 x	50.7
			1ph			33.1	
IU-4-2	LOBBY	32 - 44	208-230V	1.5	15 A	33.1 x 11.3 x	57.3
			1ph			33.1	
IU-4-3	CONCESSION	31 - 38	208-230V	0.4	15A	31.3 x 11.4 x	26.5
			1ph			9.3	

# INDOOR UNIT SCHEDULE (CU-4 - ENTRY)

Name	FCU				Coo	ling			
		Tmp C	Rq TC	Rv TC	Max TC	Rq SC	Tevap	Tdis C	Max SC
		°F (DBT/RH)	BTU/h	BTU/h	BTU/h	BTU/h	°F	°F	BTU/h
IU-2-1	FXFQ24TVJU	75.0/55%	n/a	0	21,421	n/a	42.8	56.1	16,117
IU-2-2	FXZQ09TAVJU	75.0/55%	n/a	0	8,513	n/a	42.8	58.8	5,669
IU-2-3	FXZQ09TAVJU	75.0/55%	n/a	0	8,513	n/a	42.8	58.8	5,669
IU-2-4	FXZQ09TAVJU	75.0/55%	n/a	0	8,513	n/a	42.8	58.8	5,669
IU-2-5	FXAQ24PVJU	75.0/55%	n/a	0	21,456	n/a	42.8	54.3	14,431
IU-2-6	FXAQ24PVJU	75.0/55%	n/a	0	21,456	n/a	42.8	54.3	14,431
IU-2-7	FXFQ24TVJU	75.0/55%	n/a	0	21,421	n/a	42.8	56.1	16,117
			0						

Name	FCU		Hea	iting				
		Tmp H	Rq HC	Max HC	Tdis H	Min coil	Max coil	Air Flow Rate
		°F	BTU/h	BTU/h	°F	in³	in³	cfm
IU-2-1	FXFQ24TVJU	68.0	n/a	28,014	100.8	n/a	n/a	777
IU-2-2	FXZQ09TAVJU	68.0	n/a	10,919	99.3	n/a	n/a	317
IU-2-3	FXZQ09TAVJU	68.0	n/a	10,919	99.3	n/a	n/a	317
IU-2-4	FXZQ09TAVJU	68.0	n/a	10,919	99.3	n/a	n/a	317
IU-2-5	FXAQ24PVJU	68.0	n/a	27,500	107.4	n/a	n/a	635
IU-2-6	FXAQ24PVJU	68.0	n/a	27,500	107.4	n/a	n/a	635
IU-2-7	FXFQ24TVJU	68.0	n/a	28,014	100.8	n/a	n/a	777
			n/a					

Name	Room	Sound	PS	MCA	MOP	WxHxD	Weight
		dBA		Α		inch	lbs
IU-2-1		28 - 36	208-230V 1ph	0.7	15 A	33.1 x 9.7 x 33.1	50.7
IU-2-2		26 - 33	208-230V 1ph	0.3	<b>1</b> 5A	22.6 x 10.2 x 22.6	35.3
IU-2-3		26 - 33	208-230V 1ph	0.3	15A	22.6 x 10.2 x 22.6	35.3
IU-2-4		26 - 33	208-230V 1ph	0.3	15A	22.6 x 10.2 x 22.6	35.3
IU-2-5		41 - 47	208-230V 1ph	0.6	15A	41.4 x 11.4 x 9.3	30.9
IU-2-6		41 - 47	208-230V 1ph	0.6	15A	41.4 x 11.4 x 9.3	30.9
IU-2-7		28 - 36	208-230V 1ph	0.7	15 A	33.1 x 9.7 x 33.1	50.7

# INDOOR UNIT SCHEDULE (CU-2 - STAGE)

Name	FCU	Cooling									
		Tmp C	Rq TC	Rv TC	Max TC	Rq SC	Tevap	Tdis C	Max SC		
		°F (DBT/RH)	BTU/h	BTU/h	BTU/h	BTU/h	°F	°F	BTU/h		
IU- 3-1	FXAQ18PVJU	72.0/55%	n/a	0	14,467	n/a	42.8	52.3	10,817		
IU-3-2	FXAQ18PVJU	72.0/55%	n/a	0	14,467	n/a	42.8	52.3	10,817		
IU-3-3	FXAQ24PVJU	72.0/55%	n/a	0	19,266	n/a	42.8	51.7	14,165		
IU-3-4	FXAQ09PVJU	72.0/55%	n/a	0	7,641	n/a	42.8	52.5	5,991		
IU-3-5	FXAQ12PVJU	72.0/55%	n/a	0	9,669	n/a	42.8	49.2	7,268		
			0								

Name	FCU		Hea	ting				
		Tmp H	Rq HC	Max HC	Tdis H	Min coil	Max coil	Air Flow Rate
		°F	BTU/h	BTU/h	°F	in <sup>3</sup>	in³	cfm
IU- 3-1	FXAQ18PVJU	70.0	n/a	19,999	106.4	n/a	n/a	500
IU-3-2	FXAQ18PVJU	70.0	n/a	19,999	106.4	n/a	n/a	500
IU-3-3	FXAQ24PVJU	70.0	n/a	26,499	108.0	n/a	n/a	635
IU-3-4	FXAQ09PVJU	70.0	n/a	10,500	104.1	n/a	n/a	280
IU-3-5	FXAQ12PVJU	70.0	n/a	13,499	112.4	n/a	n/a	290
			n/a					

Name	Room	Sound	PS	MCA	MOP	WxHxD	Weight
		dBA		Α		inch	lbs
IU- 3-1	LOCKER RM	37 - 43	208-230V 1ph	0.4	15A	41.3 x 11.4 x 9.3	30.9
IU-3-2	LOCKER RM	37 - 43	208-230V 1ph	0.4	15A	41.3 x 11.4 x 9.3	30.9
IU-3-3	LOCKER RM	41 - 47	208-230V 1ph	0.6	15A	41.4 x 11.4 x 9.3	30.9
IU-3-4	LOCKER RM	31 - 37	208-230V 1ph	0.3	15A	31.3 x 11.4 x 9.3	26.5
IU-3-5	LOCKER RM	31 - 38	208-230V 1ph	0.4	15A	31.3 x 11.4 x 9.3	26.5

## INDOOR UNIT SCHEDULE (CU-3 - LOCKERS) NOT TO SCALE

UNIT TAG	EF-1	EF-2		
MANUFACTURER	GREENHECK	GREENHECK		
MODEL	G-090-VG	CW-095-VG		
LOCATION	RENO TOILETS	LOCKER RM.		
QUANTITY	4	2		
CFM	500 @ 0.5" STATIC	500 @ 0.125" STATIC		
ELECTRICAL	115/60/1	115/60/1		
AMPS	1.38			
SIZE HP	1/10	1/6		
FAN RPM	1601	1550		
NOTES:	1,2,3,4	2,5,6		

- 1. NEW EXHAUST FANS SHALL BE TIED TO CONTROLS FOR SCHEDULING
- 2. PROVIDE BACKDRAFT DAMPER ON FANS.
- 3. COORDINATE WITH LIGHTING AND NEW 2X2 CEILING
- 4. PROVIDE ADAPTOR CURB, AS REQUIRED, FOR MOUNTING OF NEW EXHAUST FAN.
- 5. TIE EXHAUST FAN PILOT LIGHT SWITCH
- 6. SEAL EXISTING SIDEWALL OPENING, AS REQUIRED, WATER TIGHT. \*\*\*OTHER ACCEPTABLE MFR'S: COOK AND PENNBARRY

Name	Model	CR		Cooling		Н	eating		Piping	
			Tmp C	CC	Rq CC	Tmp H	HC	Rq HC		
		%	°F	BTU/h	BTU/h	°F (DBT/RH)	BTU/h	BTU/h	ft	
CU- 1	RXYQ264TAYDA	79.7	95.0	203,270	118,707	4.0/55%	175,715	170,945	24.6	
CU-2	RXYQ168XAYDA	74.1	95.0	145,812	77,904	4.0/55%	103,048	100,649	24.6	
CU- 3	RXYQ96XAYDA	84.9	95.0	73,516	45,857	4.0/55%	72,548	63,348	24.6	
CU-4	RXYQ72XATJA	100.0	95.0	55,058	40,584	4.0/55%	59,553	56,334	24.6	

Name	Model	PS	MCA	MOP	RLA	FLA	WxHxD	Weight
			Α	Α	Α	Α	inch	lbs
CU- 1	RXYQ264TAYDA	460V 3ph						
А	- RXYQ144TAYDA		25.9	35.0	15.2		48.9 x 66.7 x 30.2	709.9
В	- RXYQ120TAYDA		20.6	25.0	11.7		48.9 x 66.7 x 30.2	555.6
CU-2	RXYQ168XAYDA	460V 3ph	25.9	35.0	17.0		48.9 x 66.7 x 30.2	709.9
CU- 3	RXYQ96XAYDA	460V 3ph	20.6	25.0	10.2		48.9 x 66.7 x 30.2	553.4
CU-4	RXYQ72XATJA	208V - 230V 3ph	27.6	35.0	15.7		36.7 x 66.7 x 30.2	436.5

Name		Efficiency Metrics															
	Cor	Combination			Ducted					Non-Ducted							
	EER	SEER	HSPF	EER	IEER	COP47	COP17	SCHE	SEER	HSPF	EER	IEER	COP47	COP17	SCHE	SEER	HSP
CU- 1				9.9	19.6	3.27	2.3				10.8	20.3	3.33	2.43			
CU-2				10.6	19.8	3.2	2.27				10.6	22.6	3.4	2.34			
CU- 3				12.6	22.5	3.49	2.48				14.3	27.3	4.21	2.71			
CU-4				12.7	20.7	3.3	2.25				14.8	25.9	3.88	2.49			

# **OUTDOOR UNIT SCHEDULE**

NOT TO SCALE

CON	ICENTRI	C DIFF	USER SCH	EDULE				
UNIT TAG	FRAME SIZE	AIR FLOW	TYPE	LOCATION & MOUNTING	MATERIAL	FINISH	MODEL NO.	NOTES
CD-1	24X48	2000 CFM	FLUSH MOUNT	CAFETERIA - LAY-IN CEILING	ALUM.	OFF-WHITE	01-515-18	1,2,3
CD-2	24X48	1200 CFM	FLUSH MOUNT	AG CLASSRM LAY-IN CEILING	ALUM.	OFF-WHITE	01-515-16	1,2,3
CD-3	36X48	4000 CFM	EXPOSED	AG SHOP - OPEN CEILING	ALUM.	OFF-WHITE	01-530-22	1,2,3

- 1. BASED ON RUSKIN ROOTOP SYSTEM
- 2. PROVIDE COVER INSULATION OVER DIFFUSER OR INSULATION WRAP.
- 3. PROVIDE AND INSTALL 1" RETURN FILTER GRILLE.

DIF	FUSER,	GRILLE,	. & REGIS	TER SCHEDUL	.E			
UNIT TAG	FRAME SIZE	NECK SIZE	TYPE	LOCATION & MOUNTING	MATERIAL	FINISH	MODEL NO.	NOTES
SD-1	24X24	SEE PLAN	SQUARE CONE	CEILING / LAY-IN	ALUM.	OFF-WHITE	SCD	1,2,4
RG-1	24X24	SEE PLAN	EGGCRATE	CEILING / LAY-IN	ALUM.	OFF-WHITE	80FF	1,3

## 1. BASED ON PRICE

- 2. PROVIDE COVER INSULATION OVER DIFFUSER.
- 3. PROVIDE AND INSTALL 1" RETURN FILTER GRILLE.
- 4. PROVIDE SQUARE CONE WITH 4TH CONE OPTION.

<b>CEILING HEATER</b>	SCHEDULE
UNIT TAG	CH-1
MANUFACTURER	QMARK
MODEL	EFF4804
QTY	3
MOUNTING	LAY-IN CEILING KIT
ELEC. INPUT	4800 / 3600 W
ELECTRICAL	240/208 - 1PH
AMDS	17

- 1. WALL MOUNTED 24V TSTAT, TIED TO CONTROL SYSTEM 2. COORDINATE HEATER LOCATION IN EXIST. CEILING TILE
- 3. COORINDATE WITH ELECTRICAL FOR COMPLETE INSTALL.

## LOUVER SCHEDULE

EXISTING LOUVERS FROM UNIT VENTILATORS SHALL BE REMOVED CLEANED, AND RESEALED, ACCORDINGLY. SEE ARCH. SPEC FOR ADDITIONAL INFO. COLOR TO BE SELECTED BY THE ARCHITECT ALL LOUVERS SHALL BE PROVIDED WITH BIRD AND INSECT SCREENING.

# PIPING, DUCTWORK, AND INSULATION SCHEDULE

## REFRIGERANT PIPING

## WEATHER EXPOSED REFRIGERANT PIPING:

RIDGID COPPER TYPLE L, INSULATED WITH 1" BLACK FOAM AND ADDITIONAL UV PROTECTED PVC JACKET OVER INSTALLATION. PENETRATE REFRIGERANT PIPING THRU SIDE-WALL WITH A SLEEVED OPENING AND SEALED WATER TIGHT AFTER INSTALLATION.

## REFRIGERANT PIPING WITHIN BUILDING:

RIDGID COPPER TYPLE L, INSULATE PIPING WITH 1" BLACK FOAM. SUPPORT PIPING FROM STRUCTURE WITH UNISTRUTS FLEXIBLE INSULATED COPPER SHALL ONLY BE USED FOR SINGLE UNIT CONNECTION WITH MAXIMUM LENGTH OF 6'-0".

## DUCTWORK AND AIR DEVICES INSULATION.

DUCTWORK AS PER LATEST SMACNA GUIDELINES FOR LOW PRESSURE SYSTEM.

INSULATED ALL (SUPPLY, RETURN, EXHAUST, OUTSIDE AIR) WITH FIBERGLASS INSULATION (R-8) AND VAPOR BARRIER WRAP. ALL DIFFUSERS AND GRILLES SHALL HAVE ABOVE DIFFUSER MOLDED INSULATION ON FACE PLATES.

ALL EXPOSED OUTSIDE DUCTWORK SHALL BE INSULATED WITH (R-8) THERMADUCT EXTERIOR WEATHERPROOF WRAPPING.

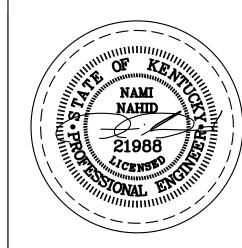
SEAL WATER TIGHT.

DUCT SMOKE DETECTORS SHALL BE INSTALLED ON RETURN AIR DUCTWORK FOR ALL UNITS LARGER THAN 2000 CFM. COORDINATE WITH ELECTRICAL, AS REQUIRED, FOR COMPLETE INSTALLATION.

## CONDENSATE DRAIN PIPING

ALL INDOOR UNITS SHALL HAVE PVC CONDENSATE DRAIN PIPING ROUTED TO NEAREST FLOOR / JAN. SINK. PIPING MAY BE COMBINED FOR MULTIPLE INDOOR UNITS. SLOPE PIPING FOR GRAVITY DRAIN.

INSULATE CONDENSATE LINE WITH 3/4" ARMAFLEX INSULATION THROUGHOUT, TO DRAIN POINT LOCATION



DESIGN PROFESSIONAL

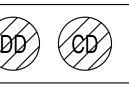


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DATE | 02/18/2021







DESCRIPTION X DD/MM/YYYY REVISION DESCRIPTION



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SCHEDULE

UNIT TAG	RTU-1, 2, 3	RTU-5	RTU-A1	RTU-A2	RTU-C1, C2	OAU-1
MAKE	DAIKIN	DAIKIN	DAIKIN	DAIKIN	DAIKIN	DAIKIN
GENERAL LOCATION	KTICHEN REPLACEMENT	OFFICE REPLACEMENT	AG CLASSROOM	AG SHOP	CAFETERIA	LIBRARY
MODEL	MPSA05D	MPSA03D	MPSA03D	MPSA10D	MPSA05D	DPS006A
STAGES	1	1	1	2	1	
TYPE	5-TON PACKAGE RTU VERTICAL	3-TON PACKAGE RTU VERTICAL	3-TON PACKAGE RTU VERTICAL	10-TON PACKAGE RTU VERTICAL	5-TON PACKAGE RTU VERTICAL	100% OUTSIDE AIRPACKAGE RT
	DISCHARGE	DISCHARGE	DISCHARGE	DISCHARGE	DISCHARGE	VERTICAL DISCHARGE
VOLTAGE	208V/3PH/60	460/60/3	460/60/3	460/60/3	208V/60/3	460/60/3
MCA (A)	34	10	10	34	34	10.8
MOP (A)	45	15	15	45	45	15
EER / SEER	11.2 / 14	11.2/14.0	11.2/14.0	11.0/12.7	11.2 / 14	11.3/
AIRFLOW (CFM)	2,000	1,175	1,175	5,000	2,000	850
ESP (in. H2O)	1.1	1.5	1.5	0.25	1.1	0.8
MOTOR SIZE (HP)	1	1	1	3	1	1.3
TOTAL CAPACITY (COOLING)	55,666	34,853	34,853	124,352	55,666	72,203
SENSIBLE CAPACITY	36,047	26,721	26,721	111,905	36,047	38,245
REFRIGERANT	R410a	R410a	R410a	R410a	R410a	R410a
COMPRESSOR TYPE	ON / OFF	ON / OFF	ON / OFF	ON / OFF, 2 STEP	ON / OFF	VARIABLE SPEED
HEATING TYPE	NATURAL GAS	NATURAL GAS				
INPUT SIZE (BTU)	75,000	75,000	75,000	150,000	75,000	80,000
OUTPUT	60,750	60,750	60,750	121,500	60,750	64,000
STAGES	2	2	2	2	2	5:1 TURNDOWN MODULATING
EFFICIENCY	81%	81%	81%	81%	81%	80%
HOT GAS REHEAT COIL	YES	YES	YES	NO	YES	YES
CAPACITY	8,973 BTU	15455 BTU	15455 BTU		8,973 BTU	14,892 BTU
	5,676 516	10 100 101	10 100 2 10		0,010 210	11,552.510
ACCESSORIES	ECONOMIZER W/ SINGLE ENTHALPY					
NOTES	1,2,3,4,5,7	1,2,3,4,5,7	1,2,3,4,5,6	1,2,3,4,5,6	1,2,3,4,5,6	1,2,3,4,5,7
WEIGHT (LBS)	715	623	623	1,2,3,4,3,0	649	1346
WEIGHT (LBS)	/15	623	623	1058	649	1346

|--|

1. PROVIDE WITH UNIT MOUNTED DISCONNECT

2. 2" MERV 8 FILTER WITH HINGED ACCESS AT UNIT.

3. PROVIDE WITH PROGRAMMABLE THERMOSTAT. SEE CONTROLS SCHEDULE FOR ADDITIONAL INFO.

4. PROVIDE WITH HAIL GUARD

5. PROVIDE DUCT SMOKE DETECTORS FOR ALL UNITS GREATER THAN 2000 CFM. INSTALL ON RETURN AIR SIDE. COORDINATE WITH ELECTRICAL.

6. PROVIDE NEW ROOF CURB FOR RTU. COORDINATE WITH ROOFING CONTRACTOR FOR INSTALL. SEAL, WATER TIGHT.

7. PROVIDE ADAPTOR CURB, AS REQUIRED, FOR COMPLETE INSTALL. FIELD VERIFY EXISTING CONDITIONS.

\*\*\*OTHER ACCEPTABLE MANUFACTURERS: MAMMOTH, VALENT

		4/4 OOIL OITI (/ C	O) SCHEDULE (	4-PIPE SYSTEM)	
UNIT TAG	UV-A	UV-B	UV-C	FCU-1	FCU-2
MANUFACTURER	DAKIN	DAIKIN	DAIKIN	DAKIN	DAIKIN
CABINET STYLE	UNIT VENTILATOR	UNIT VENTILATOR	UNIT VENTILATOR	ECONOMY HIDEAWAY (THC)	ECONOMY HIDEAWAY (THC)
MODEL TYPE	FACE & BYPASS, REHEAT	FACE & BYPASS, REHEAT	FACE & BYPASS, REHEAT	1-TON HORIZONTAL FAN COIL UNIT	2-TON HORIZONTAL FAN COIL UNIT
MOUNTING	FLOOR	FLOOR	FLOOR	ABOVE CEILING - HORIZONTAL	ABOVE CEILING - HORIZONTAL
RETURN AIR LOCATION	LOWFRONT	LOWFRONT	LOWFRONT	REAR	REAR
OUTLET LOCATION	TOP GRILLED DISCHARGE	TOP GRILLED DISCHARGE	TOP GRILLED DISCHARGE		
OUTSIDE AIR LOCATION	BACK OF UNIT	BACK OF UNIT	BACK OF UNIT		
OUTSIDE AIR DAMPER	MOTORIZED OPEN/CLOSED	MOTORIZED OPEN/CLOSED	MOTORIZED OPEN/CLOSED	ENGOTING TO DEMAN	ENACTING TO DELAIN
OUTSIDE AIR POSITION	SET TO OA CFM WHEN OPEN	SET TO OA CFM WHEN OPEN	SET TO OA CFM WHEN OPEN	EXISTING TO REMAIN	EXISTING TO REMAIN
OUTSIDE AIR DAMPER	RIGIT DOUBLE WALL INSULATED	RIGIT DOUBLE WALL INSULATED	RIGIT DOUBLE WALL INSULATED		
CABINET INSULATION	INTERNAL LINED	INTERNAL LINED	INTERNAL LINED	INTERNAL LINED	INTERNAL LINED
HEATING / COOLING	CHILLED / HOT WATER	CHILLED / HOT WATER			
COOLING COIL	4 ROWS FACE / BYPASS	4 ROWS FACE / BYPASS	4 ROWS FACE / BYPASS	3 ROWS	3 ROWS
HEATING COIL	2 ROWS	2 ROWS	2 ROWS	1 ROW	1 ROW
COIL POSITIONS	COOLING COIL BEFORE HEATING	COOLING COIL BEFORE HEATING	COOLING COIL BEFORE HEATING	COOLING BEFORE HEATGIN	COOLING BEFORE HEATGIN
ELECTRICAL	115 / 1 PHASE	115 / 1 PHASE			
CONDESATE DRAIN	7/8" CONNECTION	7/8" CONNECTION	7/8" CONNECTION	7/8" CONNECTION	7/8" CONNECTION
PIPE CONNECTIONS	REVIEW PLANS / SITE VERIFY	REVIEW PLANS / SITE VERIFY	REMEW PLANS / SITE VERIFY	REVIEW PLANS / SITE VERIFY	REVIEW PLANS / SITE VERIFY
MOTOR SPEED	1/3 HP ECM MOTOR	1/3 HP ECM MOTOR	1/3 HP ECM MOTOR	1/12 HP ECM MOTOR	1/12 HP ECM MOTOR
VENTING	MANUAL WITH DRAIN PLUG	MANUAL WITH DRAIN PLUG	MANUAL WITH DRAIN PLUG	MANUAL DRAIN PLUG	MANUAL DRAIN PLUG
DRAIN PAN	STAINLESS STEEL	STAINLESS STEEL	STAINLESS STEEL	STAINLESS STEEL	STAINLESS STEEL
FILTERS	1" THROW-AWAY	1"THROW-AWAY	1" THROW-AWAY	1" FILTERS	1" FILTERS
AIR PURIFICATION	GPS AIR PURIFICATION NOTE 3	GPS AIR PURIFICATION NOTE 3	GPS AIR PURIFICATION NOTE 3	GPS PURIFICATION	GPS PURIFICATION
DISCONNECT SWTCH	INTERNAL DISCONNECT	INTERNAL DISCONNECT	INTERNAL DISCONNECT	INTERNAL DISCONNECT	INTERNAL DISCONNECT
UNIT SIZE	1250 CFM	1000 CFM	750 CFM	443 CFM	750 CFM
COOLING EDB TEMP	80.00	80.00	80.00	80	80
COOLING EWB TEMP	67.00	67.00	67.00	67	67
CHILLED WATER ENT	45.00	45.00	45.00	45	42
FOTAL COOLING MBh	43.3	35.6	24.5	13.2	20.7
COOLING SENS MBh	28.7	23.3	15.3	9.9	15.9
COOLING WATER FLOWIN GPM	9	7.5	6	3	6
HEATING EDB TEMP	60.00	60.00	60.00	70	70
HEATING ENTERING WATER TEMP	160	160	160	180	180
HEATING CAPACITY	40.5	32.4	24.3	25.8	28.5
HEATING WATER FLOW	5.0	3.5	2.5	1.8	2.6
MCA	6.25	6.25	6.25	2.2	3.6
FUSE SIZE	15	15	15	15	15
UNIT DIMENTIONS	86 X 22 X 30	74 X22 X30	62 X 22 X 30	46 X 24 X 10	62 X 24 X 10

1. UL LISTED / AHRI CERTIFIED CHILLED WATER

2. INSULATED UNIT BACK WITH BUILT IN PIPE TUNNEL

3. INSTALL GPS AIR PURIFICATION ON DISCHARGE AIR TIED TO EQUIPMENT OPERATION 4. DRAIN ROUTED TO EXTERIOR AND DISCHARGE AT GRADE

5. UNIT WITH REMOTE THERMOSTAT AND INTERNAL BACnet CONTROLLER

6. UNIT WITH CHILLED AND HOT WATER HOSE KITS

7. CONTROL CONTRACTOR PROVIDE AND INSTALL BELIMO CONTROL VALVES.

8. CHILLED WATER WITH 20% GLYCOL

9. ALL NEW UV / FCU WITH ON BOARD BACNET CONTROL MODULE READY FOR CONTROL CONTRACTOR TO TIE INTO.

EXHAUST FAN SCHEDULE						
JNIT TAG	EF-1	EF-2				
MANUFACTURER	GREENHECK	GREENHECK				
MODEL	G-090-VG	CW-095-VG				
OCATION	RENO TOILETS	LOCKER RM.				
QUANTITY	4	2				
CFM	500 @ 0.5" STATIC	500 @ 0.125" STATIC				
ELECTRICAL	115/60/1	115/60/1				
MPS	1.38					
SIZE HP	1/10	1/6				
AN RPM	1601	1550				
IOTES:	1,2,3,4	2,5,6				

1. NEW EXHAUST FANS SHALL BE TIED TO CONTROLS FOR SCHEDULING

2. PROVIDE BACKDRAFT DAMPER ON FANS.

3. COORDINATE WITH LIGHTING AND NEW 2X2 CEILING

4. PROVIDE ADAPTOR CURB, AS REQUIRED, FOR MOUNTING OF NEW EXHAUST FAN. 5. TIE EXHAUST FAN PILOT LIGHT SWITCH

6. SEAL EXISTING SIDEWALL OPENING, AS REQUIRED, WATER TIGHT. \*\*\*OTHER ACCEPTABLE MFR'S: COOK AND PENNBARRY

# GPS AIR PURIFICATION ADDITION

INSTALL A NEW GPS AIR PURIFICATION UNIT FOR ALL EXISTING AND NEW AIR HANDLING HVAC UNITS. GPS UNIT POWER NEED SHALL BE TIED TO AIR HANDLING UNIT POWER SOURCE. PROVIDE ANY SPLITTER / TRANSFORMER

NEEDED TO PROVIDE POWER TO THESE NEW DEVICES.

FIELD VERIFY ALL SCHOOLS AND AIR EQUIPMENT UNITS FOR SIZE AND LOCATION. PROVIDE GPS DEVICES

TO MATCH THE EQUIPMENT. PROVIDE A HAND HELD IONIZATION METERING DEVICE FOR EACH SCHOOL FOR CHECKING OF GPS EQUIPMENT ACTIVATION.

EQUIPMENT UNIT TYPE	GPS MODEL	RATED	WEIGHT (LBS)
3X3 CASSETTE	GPS-FC	1,200 CFM NOMINAL	0.25 LBS
2X2 CASSETTE	GSP-FC	1,200 CFM NOMINAL	0.25 LBS
CONCEALED DUCTED	GPS-FC	1,200 CFM NOMINAL	0.25 LBS
CONCEALED DUCTED	GPS-FC	1,200 CFM NOMINAL	0.25 LBS
WALL MOUNTED	GPS-iRIB-36	COILS UP TO 48" LONG	0.5 LBS
PACKAGE ROOFTOP UNITS	GPS-IMOD	0-4800 CFM (1-12 TON)	0.24 LBS PER 6"
FAN COIL UNITS	GPS-FC-3	UP TO 3200 CFM (8 TON)	0.23 LBS

1. ALL NEW INDOOR UNITS TO INCLUDE A GPS AIR PURIFICATION, AS PER SCHEDULE

2. GPS UNIT SHALL ACTIVATE WHEN INDOOR UNIT IS OPERATING.

3. MECHANICAL CONTRACTOR SHALL COORDINATE WITH MFR FOR COMPLETE INSTALL OF UNITS

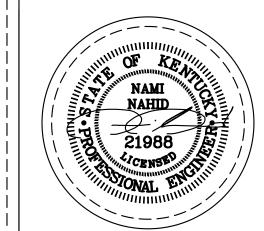
	Unit Served	AREA	DESIGNED	People load	REQUIRED CFM
		SQ FT	O.A. CFM		2012 IMC
LIBRARY	OAU-1	4213	900	30	805.56
CAFETERIA	RTU-C1 & C2	3460	800	75	770.1
AG. CLASSROOM	RTU-A1	917	185	25	180.02
AG SHOP	RTU-A2	2069	250	25	249.14
OFFICE	RTU-5	713	65	4	62.78
	<u>.                                      </u>		TOTAL IMC REQUIREM	ENTS:	2067
			TOTAL DESIGN CFM:		2200

ALL REMAINING ROOMS ARE EQUIPMENT CHANGE OUTS AND EXISTING OUTSIDE AIR REQUIREMENT ARE TO REMAIN, AS IS.

## TESTING AND BALANCE

TEST AND BALANCE CONTRACTOR:

A CERTIFIED TESTING AND BALANCE (T&B) CONTRACTOR SHALL PROVIDE SERVICES FOR THE REFERENCED ASSOICATED PROJECT. MECHANICAL CONTRACTOR SHALL COORDINATE WITH T&B CONTRACTOR, AS REQUIRED FOR SERVICE.

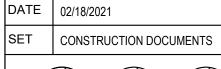


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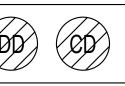


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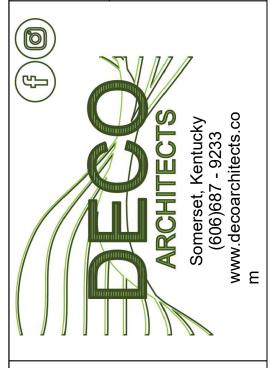
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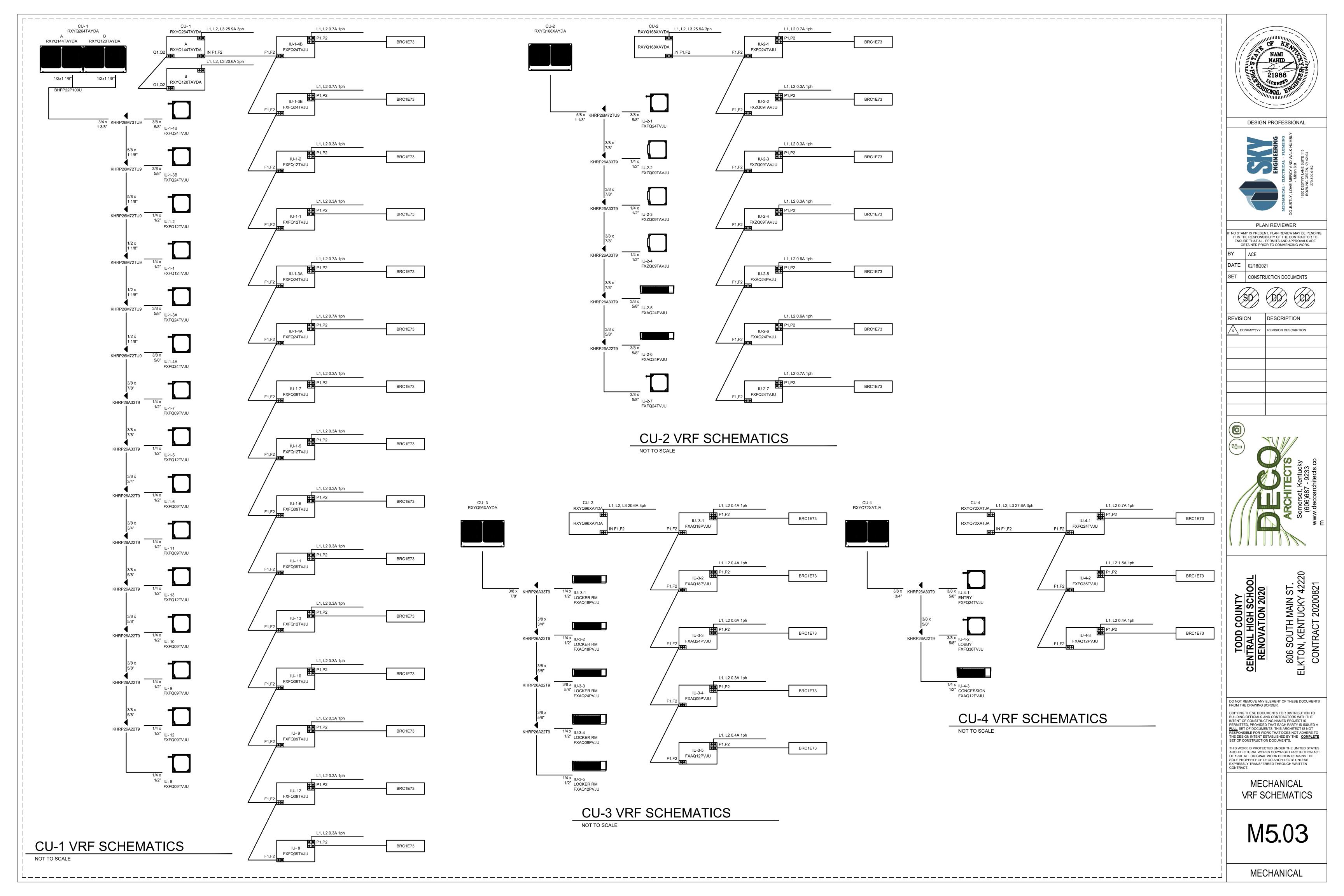
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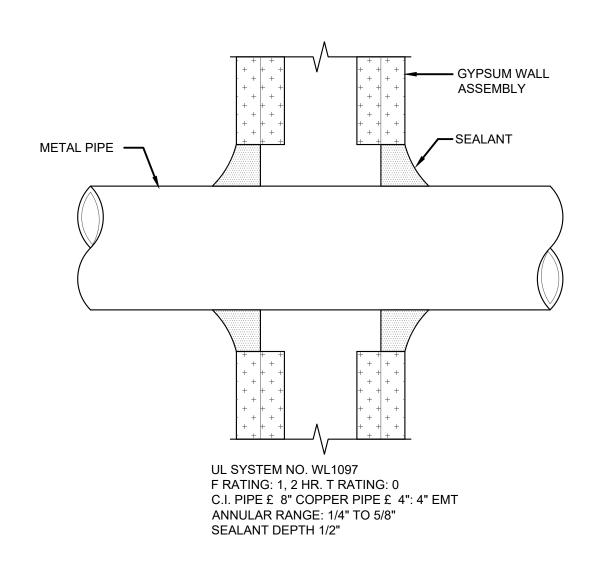


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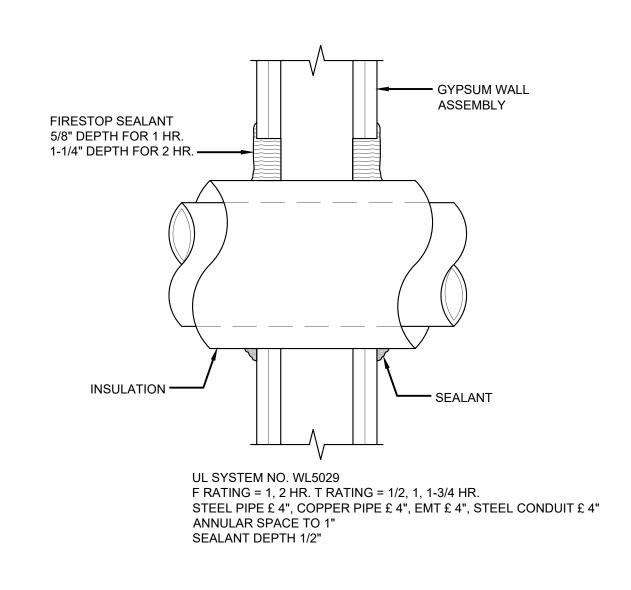
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**MECHANICAL** 



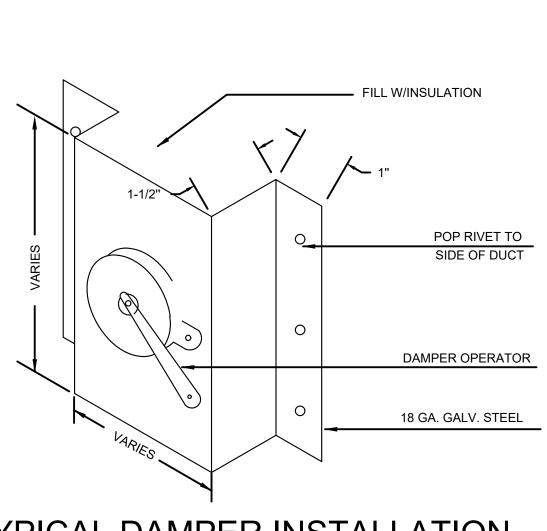


# METAL PIPE THROUGH **GYPSUM WALLS**



INSULATED METAL PIPE THROUGH

1-HR. OR 2-HR. GYPSUM WALL



—GASKET MATERIAL • THERMAL INSULATION FACOUSTICAL LINING -INSULATION -PLYWOOD — NOTES: 1. ROOFING MATERIAL SHALL EXTEND UP AND OVER TOP OF CURB AS SHOWN IN DETAIL. 2. CURB HEIGHT SHALL BE 12" TO 18" AS SET FORTH IN MECHANICAL SPECIFICATIONS. SECURE CURB TO ROOF WITH SHEET METAL SCREWS, LAG BOLTS, OR OTHER METHODS

· ADJUSTABLE PITCH

**DIRECT OR V-BELT** 

DRIVEN SPUN ALUM.

HOUSING W/REMOVABLE

UNFUSED DISCONNECT

LUBRICATED PILLOW

CENTRIFUGAL FAN WHEEL BACKWARDLY

SPUN ALUMINUM

INLET VENTURI

SPUN ALUMINUM

— SPUN ALUMINUM

CURB CAP

DISCHARGE APRON

THERMAL-ACOUSTICAL

LOUVERS - SEE PLANS

FOR EXACT LOCATION

ROOF STRUCTURE -SEE

ARCHITECTURAL AND

STRUCTURAL PLANS

CURB (SEE DETAIL)

MOTOR SHEAVE

MOTOR DOME

BALL BEARING

PERMANENTLY

SWITCH

BLOCKS

INCLINED

SEE NOTE 1 ·

TYPICAL DAMPER INSTALLATION

MOTOR OUT

VIBRATION

ELIMINATOR-

MANUAL RESET

NON-FERROUS

ALL AROUND —

FASTENER TO PERMIT

DOME REMOVAL FOR

ELECTRICAL CONDUIT

STATIC PRESSURE

PLASTIC CAP

W/ S.M. SCREWS

PROBE-1/4" TUBING

SECURE FAN TO CURB

FOAM-RUBBER GASKET

OF FAN CURB CAP —

**RUN POWER SUPPLY** 

LEADS IN CORNER

INSIDE CURB -

APPLIED TO UNDERSIDE

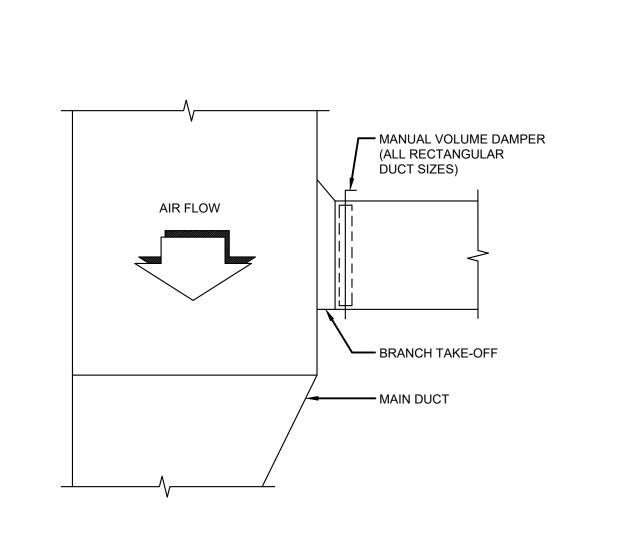
ACCESS TO MOTOR -

ALUMINUM BIRD SCREEN

OF AIRSTREAM

# THERMAL/ACOUSTICAL ROOF CURB

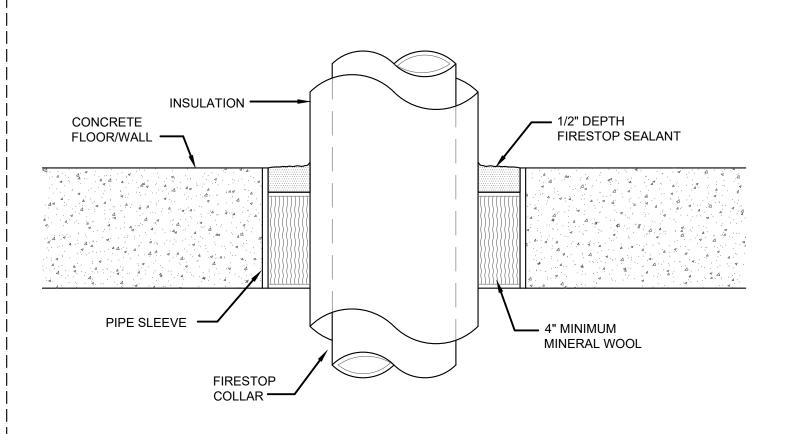
CONSISTANT WITH ROOF CONSTRUCTION.



LOW PRESSURE DUCT BRANCH TAKE-OFF DETAIL CENTRIFUGAL ROOF EXHAUST FAN

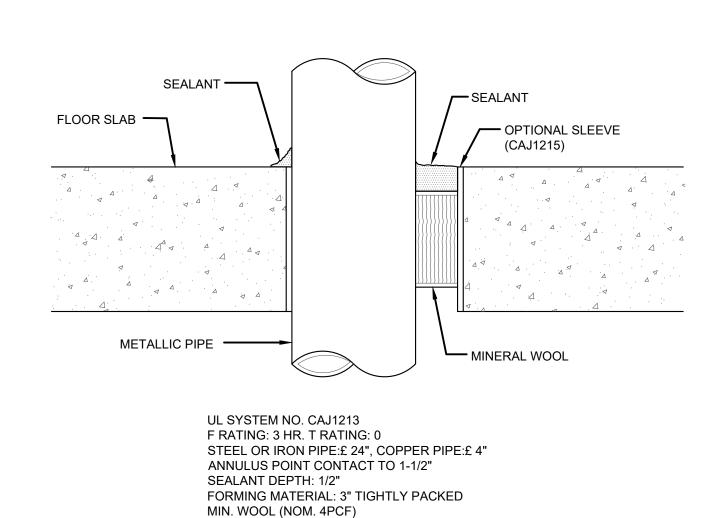
FOR DETAILS

HVAC RECEPTACLE DETAIL



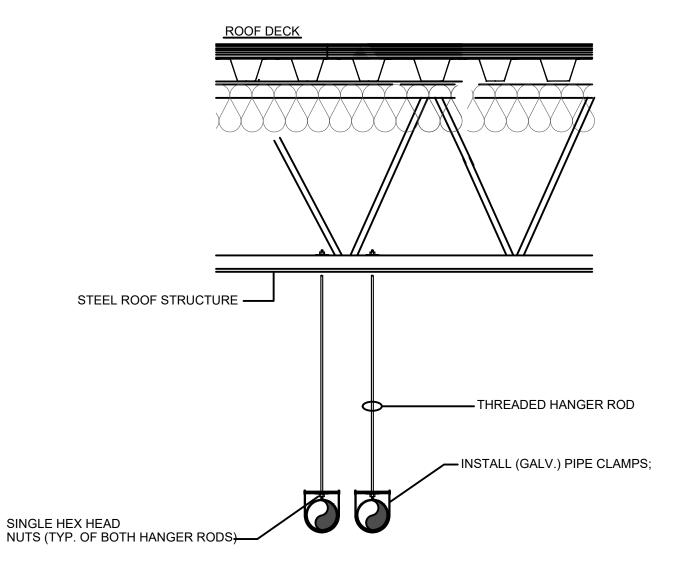
UL SYSTEM NO. CAJ5091 F RATING = 2 HR. T RATING = 1 HR. STEEL PIPE £ 12", COPPER PIPE £ 6", EMT £ 4", STEEL CONDUIT £ 6" ANNULAR SPACE BETWEEN 1/2" TO 2-1/4" SEALANT DEPTH 1/2"

INSULATED STEEL PIPE THROUGH CONCRETE FLOOR OR WALL

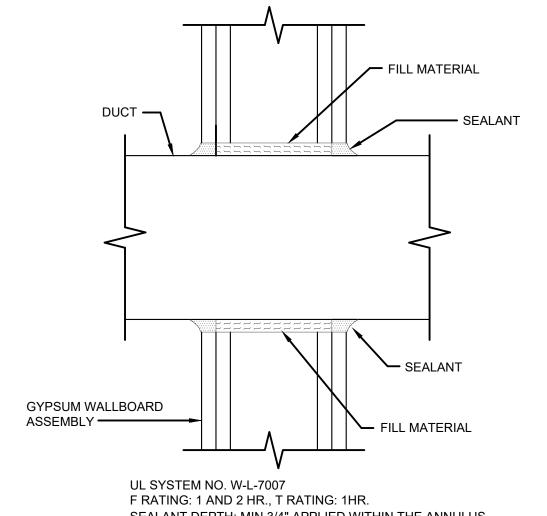


NOTE: CURBS AND FANS SHALL BE FROM THE SAME MANUFACTURER.

METALLIC PIPE PENETRATION CONCRETE FLOOR



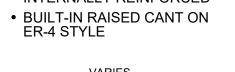
TYP. SINGLE PIPING HANGER DTL.

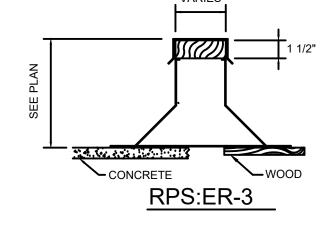


SEALANT DEPTH: MIN 3/4" APPLIED WITHIN THE ANNULUS PLACING MATERIAL: MIN. 3-1/2" THICK OF MIN. 4 PCF MINERAL WOOL STEEL DUCT OF NOM. 12"x12" OR SMALLER

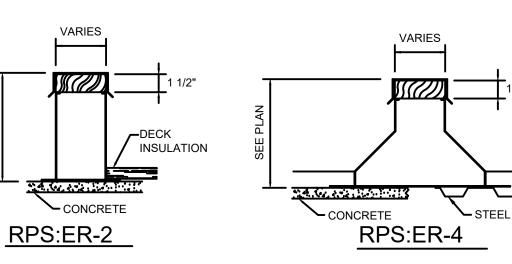
## STANDARD CONSTRUCTION: • 18 GAUGE GALVANIZED

- UNITIZED CONSTRUCTION WITH INTREGAL BASE
- WELDED CONSTRUCTION
- WOOD NAILER
- GALVANIZED COUNTERFLASHING WITH LAG SCREWS
- INTERNALLY REINFORCED

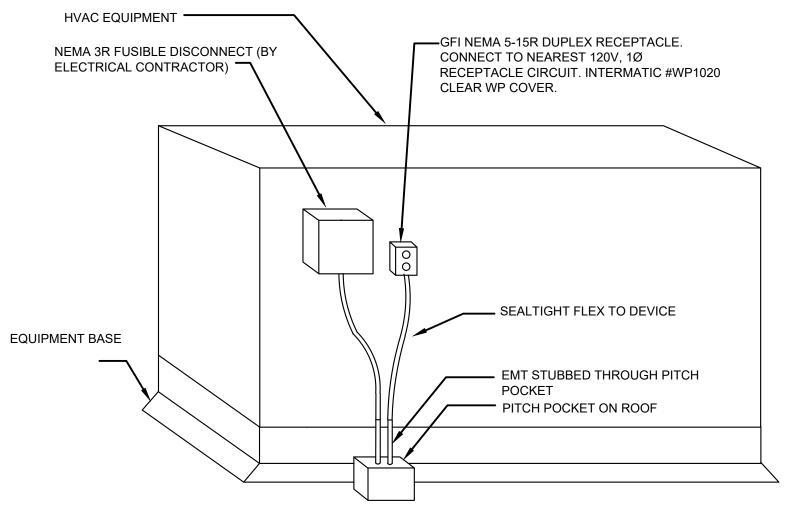




REQUIRED)-

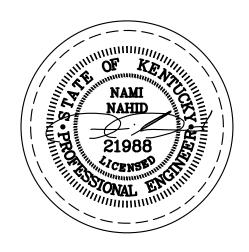


# ROOFTOP EQUIPMENT SUPPORT RAIL DTL.



NOTE: TYPICAL FOR ALL ROOF MOUNTED HVAC EQUIPMENT

**DUCT PENETRATION THRU WALL** 



DESIGN PROFESSIONAL

PLAN REVIEWER NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

DATE | 02/18/2021

CONSTRUCTION DOCUMENTS

DESCRIPTION REVISION  $/_{\chi}$  DD/MM/YYYY REVISION DESCRIPTION



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> **MECHANICAL DETAILS**

## **MATERIALS**

DOMESTIC WATER PIPE - ABOVE SLAB TYPE L COPPER UNDERGROUND TYPE K COPPER

COPPER PIPE FITTINGS SHALL BE WROT COPPER, SOCKET TYPE. MIL-F-1183 WITH 95/5 SOLDER OR "NO LEAD" SOLDER FOR POTABLE WATER.

WASTE PIPING BELOW SLAB - SCHEDULE 40 PVC

WASTE AND VENT PIPING ABOVE SLAB CAN BE SCH. 40 PVC PVC PIPE FITTINGS 4" AND SMALLER SHALL BE ASTM D-1785, TYPE 1, GRADE 1, SOCKET TYPE WITH ASTM D-2564 SOLVENT

ALL DOMESTIC WATER LINES INSULATED WITH 1" BLACK FOAM STENCILED EVERY 10'-0" INSTALLED

## **SPECIFICATIONS**

CEMENT.

HANDICAP LAVATORY P-TRAP AND ANGLE VALVE ASSEMBLIES SHALL BE INSULATED WITH THE FULLY MOLDED, TRUEBRO, HANDI LAV-GUARD INSULATION KIT WITH 3-PIECE INTERLOCKING TRAP

ASSEMBLY AND 2-PIECE INTERLOCKING ANGLE VALVE ASSEMBLIES. FASTENERS SHALL BE NYLON-TYPE SUPPLIED WITH KIT

# P.O. BOX 429, ELLINGTON, CT 06029

PHONE: (203) 875-2868

HANDI LAV-GUARD KIT FITS:

1 1/4" OR 1 1/2" TUBULAR PLASTIC P-TRAPS 1 1/4" OR 1 1/2" TUBULAR BRASS P-TRAPS

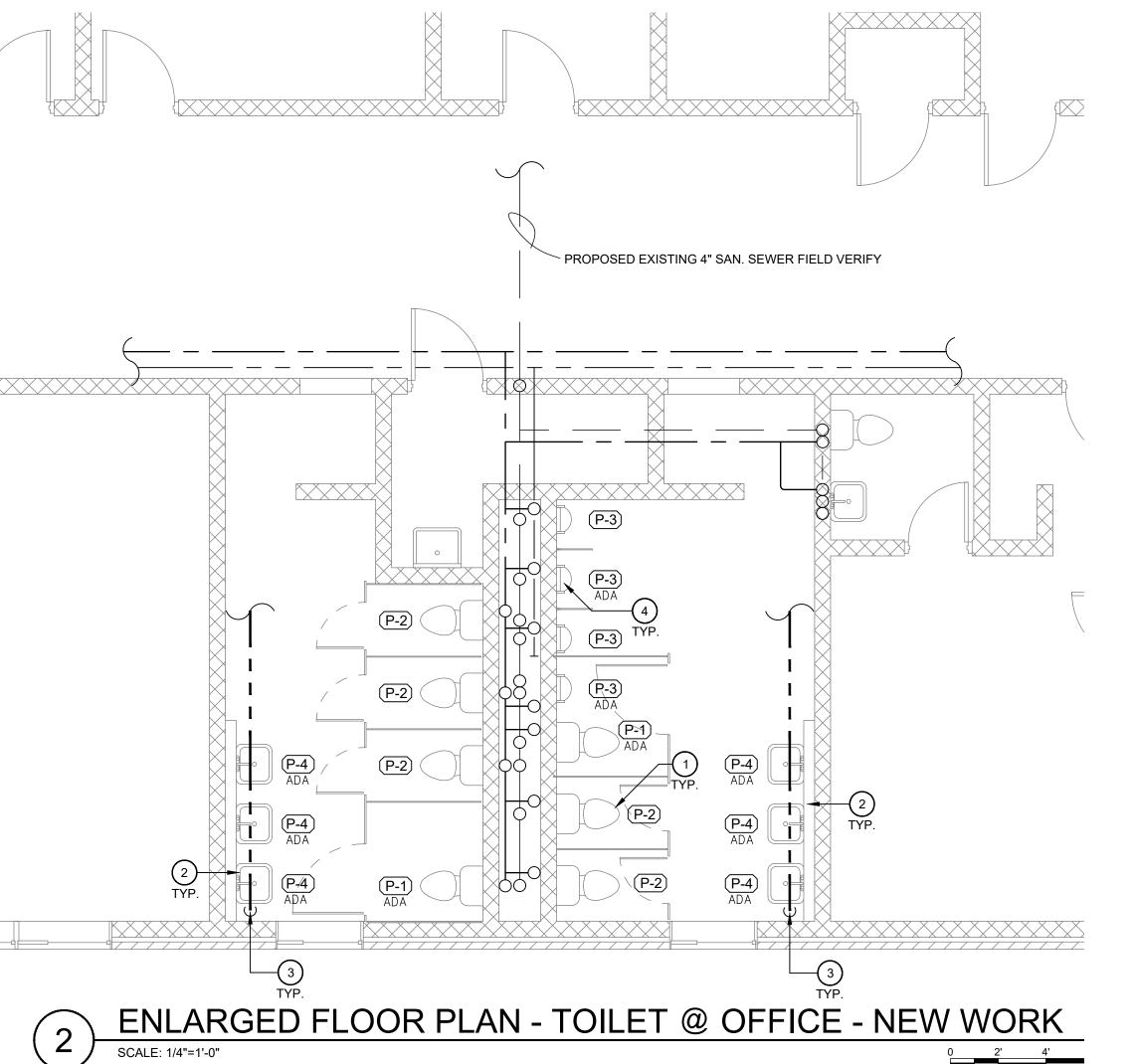
1 1/4" OR 1 1/2" SEMI-CAST BRASS P-TRAPS 1 1/4" STRAIGHT LAVATORY TAIL PIECE 1/2" SWEAT ANGLE STOP VALVE, KEYED OR REGULAR 1/2" COMP. ANGLE STOP VALVE. KEYED OR REGULAR 3/8" I.P. ANGLE STOP VALVE, KEYED OR REGULAR 3/8" 0.D. SUPPLY TUBE

## **GENERAL PLUMBING NOTES**

- 1. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- 2. THERE SHALL BE NOTHING ABANDONED IN PLACE, UNLESS SPECIFICALLY IDENTIFIED AS SUCH OR AHJ APPROVED.
- 3. EXISTING SANITARY SEWER THAT CONTAINS HUMAN WASTE SHALL BE JET CLEANED IN REMODELED AREA, PRIOR TO INSTALLATION OF NEW FIXTURES.
- 4. THESE PLANS ARE DIAGRAMMATIC IN NATURE, CONTRACTORS SHALL INCLUDE APPROPRIATE ALLOWANCES FOR OFFSETS AS REQUIRED TO ACCOMMODATE VERTICAL AND HORIZONTAL VARIATIONS IN THE LOCATIONS, ELEVATIONS OF PIPING AND EXISTING CONDITIONS.
- 5. EACH TRADE SHALL COORDINATE THE ROUTING AND INSTALLATION OF THEIR WORK WITH THAT OF ALL OTHER TRADES THROUGH THE GENERAL CONTRACTOR. IN ANY INSTANCES OF CONFLICT, SYSTEMS REQUIRING "GRADE" OR "SLOPE" FOR DRAINAGE (SANITARY SEWER, SANITARY VENT, EQUIPMENT DRAINS, ETC...) SHALL HAVE PRIORITY.
- PENETRATIONS OF WALLS OR FLOORS FOR THE PASSAGE OF PIPING, OR OTHER EQUIPMENT SHALL BE PROPERLY SEALED AFTER INSTALLATION OF EQUIPMENT. FIELD VERIFY EXISTING WALL PENETRATIONS AND PROPERLY SEAL AS REQUIRED TO MAINTAIN WALL OR FLOOR RATING. PIPING PENETRATING FIRE RATED WALLS SHALL HAVE UL FIRE RATED CAULKING. SMOKE TIGHT FOR PIPING PENETRATION THRU SMOKE TIGHT WALL.
- ALL UNDERGROUND PIPE TO BE MINIMUM OF 2" CHARLOTTE PVC UNLESS OTHERWISE NOTED. PIPING SHALL NOT RUN THRU FOUNDATION OR FOOTERS WITH A LENGTH GREATER THAN 2 FEET. WITHIN THE FOOTER CONTRACTOR SHALL PROVIDE A PIPE SLEEVE THE LENGTH OF THE PENETRATION, 2 INCHES LARGER THAN THE PENETRATING PIPE. LASTLY, THE PIPE MUST BE ARMAFLEX INSULATED AND APPROVED BY LOCAL AHJ.
- PROVIDE ALL EQUIPMENT, MATERIAL, LABOR, SUPERVISION, COSTS AND SERVICES REQUIRED TO INSTALL COMPLETE AND WORKING SYSTEMS, INCLUDING ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLE, INCIDENTAL OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFIED OR SHOWN.
- 9. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, INCLUDING ADDENDA, AND APPLICABLE CODES AND STANDARDS.
- 10. PROVIDE ACCESS TO ALL CONCEALED EQUIPMENT AND VALVES. COORDINATE LOCATION OF ACCESS PANELS WITH ARCHITECT.
- 11. ALL FLOOR DRAINS, FLOOR SINKS, HUB DRAINS, OR INDIRECT CONNECTIONS SHALL BE PROVIDED WITH TRAP PRIMER VALVE(S) EXTENDING TO NEAREST COLD WATER SUPPLY UNLESS SHOWN OTHERWISE.
- 12. VENT STACK SHALL BE LOCATED A MINIMUM OF 10'-0" AWAY FROM ANY HVAC UNIT.
- 13. EXTEND SANITARY SEWER. DOMESTIC WATER, STORM, AND FIRE MAIN PIPING AS REQUIRED IN ORDER TO CONNECT TO STUB-OUT PROVIDED BY CIVIL

OFFICE

- 14. INSTALL STOPS IN SUPPLIES TO ALL FIXTURES.
- 15. INSTALL SHUT-OFF VALVES AT ALL EQUIPMENT/FIXTURES
- 16. PROVIDE VENTS, CLEANOUTS, AND PLUMBING AS REQ'D BY STATE PLUMBING CODE.
- 17. PIPING SHALL BE CONCEALED IN FINISHED AREAS, UNLESS NOTED OTHERWISE.
- 18. CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE STARTING WORK.
- ALL EQUIPMENT INSTALLED AS PER CERTIFIED SHOP DRAWING FROM MFR.
- 20. PROVIDE ACCESS PANELS FOR CONCEALED VALVES AND OPEN SITE DRAINS.
- 21. PROVIDE HYDRAULIC SHOCK ABSORBERS WHERE QUICK-CLOSING VALVES ARE UTILIZED AND AS OTHERWISE REQUIRED BY CODE.
- 22. ROOF OPENINGS SHALL MEET ROOF BOND CANTS AND FLASHINGS BY ROOFING CONTRACTOR, ALL COLLARS ON VENTS, ETC. BY ROOFING CONTRACTOR.
- 23. HOSE BIBBS & WALL HYDRANTS SHALL BE A MIN. OF 18" ABOVE FR. GRADE.
- 24. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS.
- 25. BACK TO BACK FLUSH VALVE WATER CLOSETS TO BE INSTALLED USING A DOUBLE "Y" CONNECTION. SEE RISER
- 26. PIPING MUST CONFORM TO LOCAL AND STATE SEISMIC CODES.
- 27. C-CLAMPS ARE NOT TO BE USED WITHOUT A SEISMIC RETAINER STRAP ON ANY PROJECTS LOCATED WITHIN A SEISMIC ZONE.
- 28. EXPOSED PIPING IN FINISHED SPACES SHALL BE PAINTED.
- 29. NO PIPING SHALL BE RUN DIRECTLY OVER ANY ELECTRICAL PANELS, TRANSFORMERS, SWITCHGEAR ETC. PROVIDE DRAIN PANS UNDER PIPES, IF NO OTHER ROUTING IS AVAILABLE.
- 30. WHEN BRANCH LINE EXCEEDS 20FT IN LENGTH, AN ADDITIONAL WATER HAMMER ARRESTER SHOULD BE INSTALLED, USING BRANCH LINE PIPE SIZE, AT THE END OF THE BRANCH LINE BETWEEN THE LAST TWO FIXTURES. WATER HAMMER ARRESTER FOR A BRANCH SERVING A PIECE OF EQUIPMENT WITH A QUICK-CLOSING VALVE SHOULD BE PLACED AS CLOSE AS POSSIBLE TO THE EQUIPMENT ISOLATION VALVE.

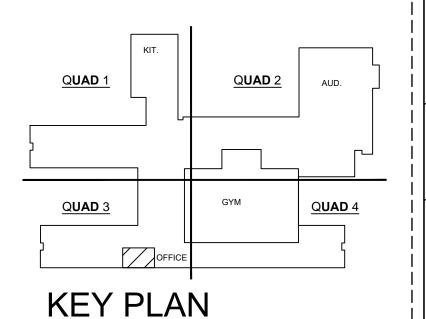


## # DEMO NOTES:

- EXISTING 3/4" MIXED WATER BRANCH TO REMAIN. CONTRACTOR TO FIELD VERIFY OPERATION, CONDITION AND LOCATION OF MIXING VALVE ABOVE CEILING. WATER TEMPERATURE NOT TO EXCEED 90 DEGREE AT FAUCET. FIELD VERIFY EXISTING CONDITIONS. REPLACE AS NEEDED FOR COMPLETE INSTALL
- 2. ALL EXISTING LAVATORIES SHALL REMAIN. REMOVE EXISTING FAUCETS IN THEIR ENTIRETY INCLUDING VALVES AND BATTERY PACK. TEMPORARILY CAP WATER LINE AND PREPARE FOR NEW CONNECTION. CLEAN LAVATORY FIXTURE AND P-TRAP PRIOR TO NEW FAUCET INSTALL. REPLACE PIPING AS NEEDED AND CAP UNUSED PIPING FOR COMPLETE INSTALL. REMOVE ALL EXCESS PIPE FROM PREVIOUS PROJECTS BACK TO MAIN AND CAP. FIELD VERIFY EXISTING CONDITIONS. TYPICAL
- REMOVE EXISTING FLOOR MOUNTED TOILETS. TYPICAL, PREPARE EXISTING LOCATIONS FOR NEW FLOOR MOUNTED AUTOMATIC FLUSH VALVE TOILETS. SEE PLUMBING SCHEDULE AND ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- . REMOVE EXISTING URINALS AND PREPARE EXISTING CONNECTIONS FOR NEW URINAL CONNECTIONS. FIELD VERIFY WALL CARRIER IS REUSABLE, REPLACE AS NEEDED. COORDINATE WITH GC.
- FLOOR DRAINS TO REMAIN. FIELD VERIFY CONDITION OF PIPING AND FIXTURE. PROVIDE TRAP PRIMER IF NOT PRESENT OR IN WORKING CONDITION.
- PROPOSED LOCATION OF EXISTING MAIN UNDER PLUMBING CHASE WALL. FIELD VERIFY CONDITION SIZE AND LOCATION. REPLACE ANY PIPE NEEDED FOR COMPLETE INSTALL OF FIXTURES PER CODE. JET CLEAN EXISTING SEWER MAIN THAT CONTAINS HUMAN WASTE, IN BATHROOM PRIOR TO NEW **FIXTURE INSTALLATION.**

## # NEW WORK NOTES:

- CONTRACTOR TO INSTALL NEW TOILETS UTILIZING EXISTING SEWER AND WATER CONNECTIONS. FIELD VERIFY EXISTING DWV AND WATER PIPING CONDITIONS, SIZING AND LOCATION, REPLACE ANY PIPING NEEDED FOR COMPLETE INSTALLATION.
- EXISTING WALL HUNG LAVATORIES SHALL REMAIN INSTALL NEW BATTERY POWERED FAUCETS UTILIZING EXISTING WATER CONNECTION OR REPLACE PIPE AS NEEDED FOR COMPLETE INSTALL. PROVIDE VALVES AND ADA TRAP COVERS FOR ALL LAVS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND FINISHING TYPES.
- EXISTING 3/4" MIXED WATER PIPE UNDERNEATH LAVS TO REMAIN, INSULATE TO MATCH EXISTING PAINT INSULATION TO MATCH NEW WALL COLOR COORDINATE WITH ARCHITECT. FIELD VERIFY CONDITION, SIZE AND LOCATION OF PIPING. UTIL OR REPLACE PIPE AS NEEDED FOR COMPLETE
- RECONNECT EXISTING PIPING TO NEW URINAL FIXTURES. FIELD VERIFY EXISTING DWV, WATER PIPING AND WALL CARRIER CONDITIONS, SIZING



DESIGN PROFESSIONAL



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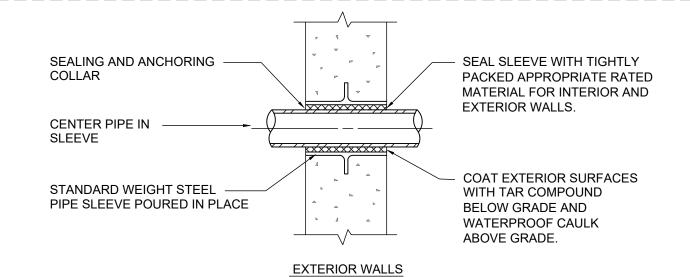
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PLUMBING ENLARGED FLOOR PLAN

PLUMBING

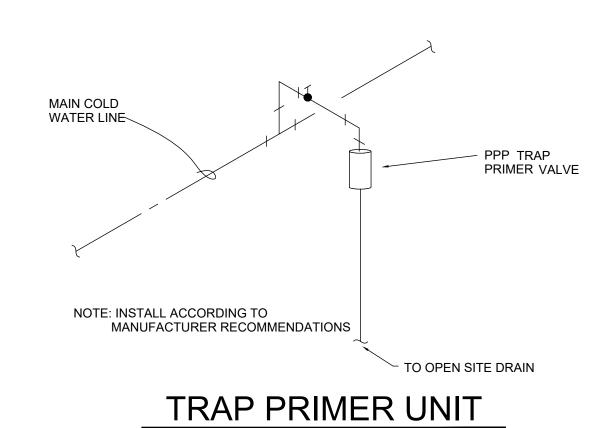
ENLARGED FLOOR PLAN - TOILET @ OFFICE - DEMO

EXISTING 4" SAN. SEWER



# PIPE SLEEVE THRU WALL DETAIL

NOT TO SCALE



EXISTING 4" SAN. SEWER

EXISTING HW / CW / GAS

ENLARGED FLOOR PLAN - TOILET @ CAFE - DEMO

RR

	PLUMBING ABBREVIATION LEGEND  NOTE: ALL ABBREVIATIONS MAY NOT APPLY								
AFD	AREA FLOOR DRAIN	LAV	LAVATORY						
AFF	ABOVE FINISH FLOOR	LB	POUND						
AHJ	AUTHORITY HAVING JURISDICTION	МВН	THOUSAND BTU'S PER HOUR						
ARCH	ARCHITECT	MFR	MANUFACTURER						
BF	BOTTLE FILLER	MIN	MINIMUM						
BFF	BELOW FINISH FLOOR	NG	NATURAL GAS						
ВОР	BOTTOM OF PIPE	NIC	NOT IN CONTRACT						
BTU/H	BRITISH THERMAL UNIT / PER HOUR	NTS	NOT TO SCALE						
CD	CONDENSATE DRAIN	OR	OPEN RECEPTACLE						
CFM	CUBIC FEET PER MINUTE	PEX	CROSS-LINKED POLYETHYLENE						
СО	CLEAN OUT	PK	PACKAGED UNIT						
CPVC	CHLORINATED POLY VINYL CHLORIDE	PRV	PRESSURE REDUCING VALVE						
CW	COLD WATER	PSI	PRESSURE PER SQUARE INCH						
DF	DRINKING FOUNTAIN	PVC	POLY VINYL CHLORIDE						
DN	DOWN	RTU	ROOF TOP UNIT						
DTL	DETAIL	RPZ	REDUCED PRESSURE ZONE ASSEMBLY						
DWG	DRAWING	SAN. SEWER	SANITARY SEWER						
ECO	EXTERIOR CLEAN OUT	SHW	SHOWER						
EM	EMERGENCY	SPEC	SPECIFICATION						
EQUIP	EQUIPMENT	SQ FT	SQUARE FOOT						
FD	FLOOR DRAIN	SQ IN	SQUARE INCH						
FS	FLOOR SINK	SS	STAINLESS STEEL / SAN. SEWER						
FT HD	FEET OF HEAD	TD	TRENCH DRAIN						
GC	GENERAL CONTRACTOR	TDH	TOTAL DYNAMIC HEAD						
GPM	GALLONS PER MINUTE	ТН	TUBE HEATER						
НВ	HOSE BIBB	TYP	TYPICAL						
HD	HUB DRAIN	UH	UNIT HEATER						
HP	HORSE POWER	UR	URINAL						
HW	HOT WATER	V	VENT						
HWR	HOT WATER RETURN	VTR	VENT THRU ROOF						
HZ	HERTZ	W/	WITH						
IU	INDOOR UNIT	WC	WATER CLOSET / WATER COLUMN						
KW	KILOWATT	wco	WALL CLEAN OUT						
		1							

WH

WALL HYDRANT

PLUMBING FIXTURE SCHEDULE								
MARK	FIXTURE DESCRIPTION							
P-1 ADA	ADA AMERICAN STANDARD MODEL NUMBER 3461.576.020 FLOOR MOUNTED TOP SPUD 1.1-1.6 GPF TOILET, BATTERY POWERED AUTOMATIC FLUSH VALVE INCLUDED IN PACKAGE. PROVIDE OPEN FRONT TOILET SEAT TO MATCH EQUIPMENT. PROVIDE ALL ACCESSORIES FOR COMPLETE UNIT INSTALLATION.							
(P-2)	AMERICAN STANDARD MODEL NUMBER 3451.576.020 FLOOR MOUNTED TOP SPUD 1.1-1.6 GPF TOILET, BATTERY POWERED AUTOMATIC FLUSH VALVE INCLUDED IN PACKAGE. PROVIDE OPEN FRONT TOILET SEAT TO MATCH EQUIPMENT. PROVIDE ALL ACCESSORIES FOR COMPLETE UNIT INSTALLATION.							
P-3 ADA	AMERICAN STANDARD TOP SPUD URINAL .50 GPF MODEL # 6590.505.020. BATTERY AUTOMATIC FLUSH VALVE INCLUDED IN PACKAGE. PROVIDE ANY OTHER ACCESSORIES NEEDED FOR COMPLETE INSTALLATION.							
(P-4) ADA	EXISTING LAVATORY WALL MOUNT TO REMAIN. REPLACE FAUCET WITH TOP-DECK BATTERY POWERED AMERICAN STANDARD MODEL # 7755.105.775P.400. PROVIDE ANY OTHER ACCESSORIES NEEDED FOR COMPLETE UNIT INSTALLATION. PROVIDE ADA TRAP INSULATION FOR ALL EXISTING LAVATORIES							
C.O.	INTERIOR: ZURN MODEL ZN1400-4NL EXTERIOR: ZURN MODEL Z1400-4NL WALL: ZURN MODEL Z1441							
F.D.	FLOOR DRAIN ZURN MODEL # FD2210.							
H.B.	HOSE BIB: ZURN MODEL Z1341							

\*\*\* ACCEPTABLE MANUFACTURERS FOR PLUMBING FIXTURES IN ADDITION TO MANUFACTURERS ALREADY SPECIFIED IN SCHEDULE: ZURN, KHOLER, ELKAY, WATTS, BRADLEY

FIXTURE CONNI	ECTION SC	HED	JLE			
	CON	CONNECTION SIZE				
DESCRIPTION	WASTE	C.W.	H.W.	VENT		
SINK	2"	1/2"	1/2"	1-1/2"		
URINAL	2"	3/4"	-	1-1/2"		
LAVATORY	2"	1/2"	1/2"	1-1/2"		
WATER CLOSET (FLUSH VALVE)	3"	1-1/2"	-	1-1/2"		
SHOWER	3"	3/4"	3/4"	1-1/2"		
MOP BASIN	3"	3/4"	3/4"	1-1/2"		
DRINKING FOUNTAIN	2"	1/2"	-	1-1/2"		
FLOOR DRAIN	3" OR 4"	1/2" T.P.	-	1-1/2"		
TRAP PRIMER UNIT	-	1/2"	-	-		
NOTE: FIXTURE CONNECTION SCHEDULES	SHVII BEIISED EUD	TVDICAL		TION		

NOTE: FIXTURE CONNECTION SCHEDULE SHALL BE USED FOR TYPICAL CONNECTION. SEE RISER AND PLANS FOR ADDITIONAL WASTE, CW, HW, AND VENT SIZES.

## # DEMO NOTES:

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**KEY PLAN** 



DESIGN PROFESSIONAL

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REVISION

SET

RAL HIGH SCHOOL

806 SOUTH MAIN ST ELKTON, KENTUCKY 42

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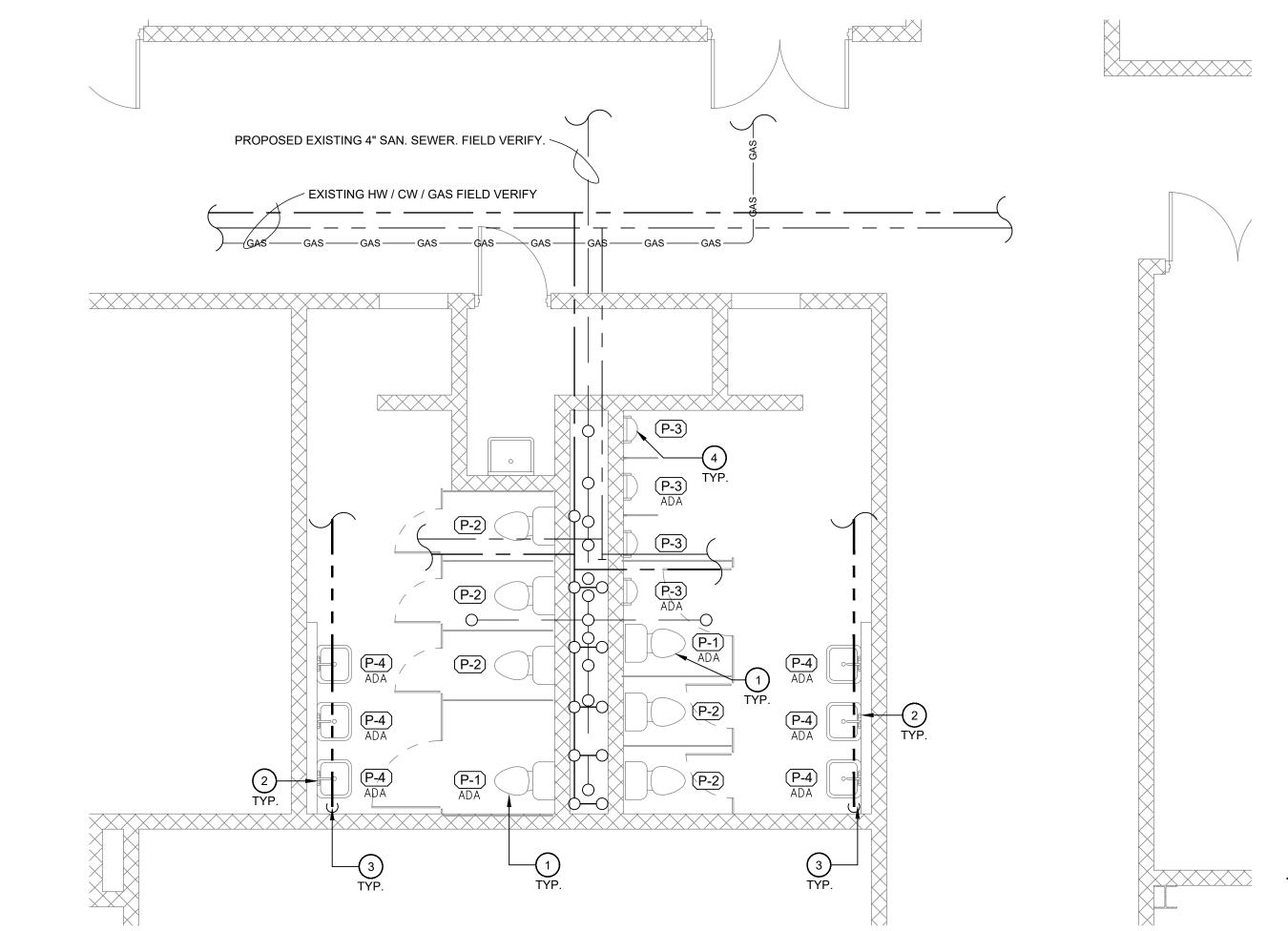
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PLUMBING ENLARGED FLOOR PLAN

P1.02

PLUMBING



ENLARGED FLOOR PLAN - TOILET @ CAFE - NEW WORK

## **ELECTRICAL LEGEND - LIGHTING**

SYMBOL DESCRIPTION

CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.

CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.

CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.

REMOTE HEAD, CONTROLLED BY EXIT LIGHT.

REQUIREMENTS.

SWITCHED.

CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED.

WALL OUTLET AND LIGHTING FIXTURE AS SCHEDULED.

WALL MOUNTED EMERGENCY LIGHT AS SCHEDULED. WALL OUTLET AND LIGHTING FIXTURE AS SCHEDULED.

SYMBOL INDICATES FIXTURE TYPE WHEN SHOWN ON LIGHTING PLANS ADJACENT TO FIXTURE SYMBOL.

REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE

OUTLET BOX AND 20-AMP. SINGLE-POLE SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE.

OUTLET BOX AND 20-AMP, THREE-WAY SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.

SUB-TEXT INDICATES CIRCUIT SWITCHED.

OUTLET BOX AND 20-AMP. FOUR-WAY SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.

OUTLET BOX AND 20-AMP, SINGLE-POLE DIMMER SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT

OUTLET BOX AND 20-AMP, THREE-WAY DIMMER SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.

OUTLET BOX AND 20-AMP, COMBINATION SWITCH AND OCCUPANCY SENSOR. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER. UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. OTHER TEXT INDICATES SWITCH CONFIGURATION AND CIRCUIT SWITCHED AS OTHER NON-OCCUPANCY SENSOR SWITCHES.

OUTLET BOX AND 10-AMP, COMBINATION SWITCH AND LOW-VOLTAGE (0-10V) DIMMER. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED S XXD ABOVE FINISHED FLOOR TO GENTER, STATES STRIKE SIDE OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. OTHER TEXT INDICATES SWITCH CONFIGURATION AND CIRCUIT SWITCHED AS OTHER NON-DIMMER SWITCHES.

CEILING-MOUNT OCCUPANCY SENSOR. THE LETTER(S) DESIGNATION ADJACENT TO THE SYMBOL (IF SHOWN) INDICATE SWITCHING ZONES TO BE CONTROLLED BY THE SENSOR. IF A LETTER DESIGNATION IS NOT SHOWN, THE SENSOR SHALL CONTROL ALL LIGHTING FIXTURES WITHIN THE ROOM.

WALL-MOUNT OCCUPANCY SENSOR. THE LETTER(S) DESIGNATION ADJACENT TO THE SYMBOL (IF SHOWN) INDICATE SWITCHING ZONES TO BE CONTROLLED BY THE SENSOR. IF A LETTER DESIGNATION IS NOT SHOWN, THE SENSOR SHALL CONTROL ALL LIGHTING FIXTURES WITHIN THE ROOM.

## **ELECTRICAL LEGEND - TELCOM**

## SYMBOL DESCRIPTION

VOICE/DATA OUTLET. MOUNT OUTLET BOX AT 18 INCHES A.F.F. TO CENTER (EVEN WITH ADJACENT RECEPTACLE IF PRESENT) OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPLASH TO CENTER, UNLESS NOTED OTHERWISE. PROVIDE 1 INCH CONDUIT WITH PULLSTRING FROM OUTLET BOX TO NEAREST ACCESSIBLE CEILING CAVITY. BUSH CONDUIT ENDS. OUTLET BOX SHALL BE 4 INCH SQUARE BY 2-3/4 INCH DEEP WITH A SINGLE GANG PLASTER RING, UNLESS NOTED OTHERWISE. "W" TEXT ADJACENT TO SYMBOL DENOTES WALL PHONE LOCATION (MOUNT AT 56 INCHES A.F.F. TO CENTER). WHERE SHOWN ADJACENT TO A POWER RECEPTACLE, INSTALL OUTLET AT SAME HEIGHT, WITHIN 6 INCHES OF RECEPTACLE, UNLESS OTHERWISE NOTED.

VIDEO MONITOR OUTLET. MOUNT OUTLET BOX AT 18 INCHES A.F.F. TO CENTER (EVEN WITH ADJACENT RECEPTACLE). PROVIDE 1 INCH CONDUIT FROM OUTLET BOX TO NEAREST ACCESSIBLE ATTIC SPACE. BUSH CONDUIT ENDS. OUTLET BOX SHALL BE 4 INCH SQUARE BY 2-3/4 INCH DEEP WITH A SINGLE GANG PLASTER RING, UNLESS NOTED OTHERWISE.

CEILING MOUNTED COMMUNICATIONS OUTLET BOX FOR WIRELESS ACCESS POINT. OUTLET BOX SHALL BE FOUR INCHES WITH A SINGLE GANG PLASTER RING. WAP

## **ELECTRICAL LEGEND - POWER**

SYMBOL DESCRIPTION

WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. MOUNT 18 INCHES ABOVE FINISHED FLOOR TO TO CENTER, UNLESS NOTED OTHERWISE.

WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. MOUNT 48 INCHES ABOVE FINISHED FLOOR TO TO CENTER, OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPLASH TO CENTER, UNLESS NOTED OTHERWISE.

CEILING MOUNTED OUTLET WITH 20A, 125V DUPLEX RECEPTACLE.

WALL OUTLET WITH 20A, 125V DOUBLE-DUPLEX RECEPTACLE. MOUNT 18 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE.

WALL OUTLET WITH 20A, 125V DOUBLE-DUPLEX RECEPTACLE. MOUNT 48 INCHES ABOVE FINISHED FLOOR TO TO CENTER, OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPLASH TO CENTER, UNLESS NOTED OTHERWISE.

WALL OUTLET WITH SIMPLEX RECEPTACLE AS NOTED ON POWER PLANS.

FLOOR OUTLET WITH DUPLEX RECEPTACLE AND 2 PORT

FLOOR OUTLET WITH DOUBLE-DUPLEX RECEPTACLE AND 2 PORT DATA OUTLET.

SYMBOL INDICATES GROUND FAULT CIRCUIT GFCI INTERRUPTER TYPE RECEPTACLE WHEN SHOWN

ADJACENT TO RECEPTACLE SYMBOL ON PLANS. SYMBOL INDICATES WESTHER-PROOF WHILE-IN-USE TYPE ENCLOSURE WHEN SHOWN ADJACENT TO

NUMBER TEXT INDICATES CIRCUIT NUMBERS WHEN SHOWN ADJACENT TO SYMBOLS ON PLAN.

RECEPTACLE SYMBOL ON PLANS.

LOWER-CASE LETTER TEXT INDICATES CIRCUIT SWITCHING ARRANGEMENT WHEN SHOWN WITHIN OR ADJACENT TO SYMBOLS ON PLAN.

NUMBER TEXT INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR TO CENTER OF OUTLET BOX WHEN SHOWN ADJACENT TO SYMBOLS ON PLAN.

⊢ WALL-MOUNT JUNCTION BOX AS NOTED ON PLANS.

CEILING-MOUNT JUNCTION BOX AS NOTED ON PLANS.

⊢P JUNCTION BOX WITH PHOTO EYE.

WALL-MOUNT PUSH BUTTON FOR ADA DOORS. MOUNTED AT ADA REQUIRED HEIGHTS.

30A/3 NON-FUSIBLE DISCONNECT SWITCH. TEXT INDICATES AMP AND ENCLOSURE RATINGS.

FUSIBLE DISCONNECT SWITCH. TEXT INDICATES AMP 30A/3 FUSIBLE DISCONNECT SWITC NEMA 3R AND ENCLOSURE RATINGS.

30A/3 COMBINATION MOTOR STARTER AND DISCONNECT WITH THERMAL OVERLOADS.

PHASE CONDUCTOR<sub>7</sub>

GROUND -

NEUTRAL ---

CIRCUIT. NUMBER OF CROSSBARS INDICATE QUANTITY OF CONDUCTORS REQUIRED. MINIMUM CONDUIT SIZE SHALL BE 3/4 INCH TRADE SIZE. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG.



HOME RUN TO PANEL. NUMBER OF ARROW HEADS INDICATES NUMBER OF CIRCUITS. PREFIX INDICATES PANEL NOMENCLATURE. NUMBERS INDICATE CIRCUIT NUMBERS.

## FIRE ALARM LEGEND

REPLACE CURRENT (S) PHOTO ELECTRIC SMOKE DETECTOR REPLACE H AUDIO VISUAL NOTIFICATION DEVICE CURRENT REPLACE CURRENT REPLACE HEAT DETECTOR ROR AND FIXED CURRENT REPLACE MANUAL PULL STATION CURRENT REPLACE ADDRESSABLE FIRE ALARM CONTROL PANEL REPLACE NOTIFICATION DEVICE POWER SUPPLY CURRENT REPLACE CURRENT ANNUNCIATOR PANEL SINGLE GANG AUDIO-VISUAL NOTIFICATION DEVICE 80-96" TO NEW LOCATION - MANUAL PULL STATION WF SPRINKLER WATERFLOW MONITOR CURRENT REPLACE TS SPRINKLER TAMPER VALVE MONITOR

## PA SYSTEM LEGEND

CURRENT

TAG	DESCRIPTION	MOUNTING
INT	INTERCOM HEADEND - REPLACE WITH QUANTITY OF ZONES AND AMPLIFIERS TO ACCOMODATE SYSTEM. MINIMUM 64 ROOM POINTS WITH CLASSROOM CALL-IN.	RACK MOUNT
PH	INTERCOM SYSTEM PHONE - PERFORM FUNCTIONS OF NEW INTERCOM SYSTEM	DESK MOUNT
DP	DOOR PHONE - CALL IN STATION TO RING OFFICE INTERCOM PHONE	SURFACE MOUNT 44" TO BOTTOM AFF
S	EXISTING INTERCOM SPEAEKER. REUSE SPEAKER AND EXISTING CABLING.	CEILING
СВ	CLASSROOM CALL IN BUTTON - NEW LOCATION	SINGLE GANG
S VANDAL	VANDAL RESITANT SURFACE MOUNT SPEAKER - NEW LOCATION	SURFACE
S 2X2	2X2 LAY-IN CEILING SPEAKER - NEW LOCATION	CEILING
Н	OUTDOOR HORN - NEW LOCATION	SURFACE

1. Existing fire alarm device location. Remove device and wiring. Install blank cover plate.

	ACCESS CONTROL	LEGEND
TAG	DESCRIPTION	MOUNTING
WL	WIRELESS LOCKSET	REPLACE CURRENT LOCKSET
PIM	PANEL INERFACE MODULE	SURFACE MOUNT ABOVI CEILING
CR	CARD READER	SINGLE GANG 44" TO BOTTOM AFF
EL	ELECTRONIC DOOR HARDWARE	NA
RX	REQUEST TO EXIT DEVICE	SINGLE GANG ABOVE DOOF HEADER
DPS	DOOR POSITION SWITCH	3/4" HOLE IN FRAME AND DOOR
PS	DOOR POWER SUPPLY	SURFACE MOUNT 48" TO BOTTOM AFF
ACH	ACCESS CONROL HEADEND	SURFACE MOUNT 48" TO BOTTOM AFF

# ACCESS CONTROL LEGEND

	CCTV LEGEND							
TAG	DESCRIPTION	MOUNTING						
CN	OUTDOOR BULLET CAMERA - 5MP	SURFACE MOUNT BOX INCLUDED						
© (	INDOOR DOME CAMERA - 5MP	CEILING MOUNT						
NŽVI	FISHEYE CAMERA - 12MP	CEILING MOUNT						
NVR	VMS SERVER - HDD AND CHANNELS TO ACCOMADATE ALL CAMERAS	RACK MOUNT						

C-LITE

SAME FIXTURE AS SCHEDULED ABOVE, EXCEPT WITH

EMERGENCY BACKUP OPTION.

WILLIAMS

BARRON

C-LITE

TRACE-LITE

C-TR-C-FP24

LP-24

LPA24

C-TR-C-FP24

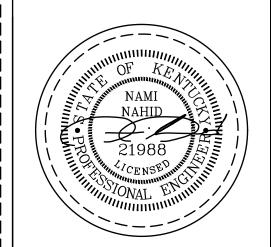
# 1. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR DOOR HARDWARE.

	CCTV LEGEND						
TAG	DESCRIPTION	MOUNTING					
CN	OUTDOOR BULLET CAMERA - 5MP	SURFACE MOUNT BOX INCLUDED					
©\( \)	INDOOR DOME CAMERA - 5MP	CEILING MOUNT					
NŽI	FISHEYE CAMERA - 12MP	CEILING MOUNT					
NVR	VMS SERVER - HDD AND CHANNELS TO ACCOMADATE ALL CAMERAS	RACK MOUNT					

RA	CK MOUNT						
			HA	HEDULI			
	SYMBOL	DESCRIPTION	MANUFACTUR	ER SERIES	WATTAGE	VOLTAGE	REMARKS
			EXCEL	THIN-AIR	375 WATTS	110V/120V OF 208-277V	COORDINATE DRYER MODEL, FINISH, AND ACCESSORY SELECTIONS WITH     THE OWNER.
	D1	ADA COMPLIANT SURFACE MOUNTED HAND DRYEF	WORLD DRYE	R SLIMDRI	300 WATTS	120/208/240V	2. HAND DRYER SHALL BE INSTALLED WITH NO HEAT OPTION/HEAT OFF OPTION.  3. HAND DRYER POWER SUPPLY SELECTION SHALL MATCH CIRCUITRY INDICATED ON SHEET E1.03 AND PANEL SCHEDULES ON SHEET E0.01.
			SLOAN	ОРТІМА	375 WATTS	110V/120V OF 208-277V	4. HAND DRYERS SHALL BE INSTALLED AT ADA HEIGHT, PER MANUFACTURER RECOMMENDATIONS.

	OCCUPANCY SENSOR SCHEDULE								
SYMBOL	DESCRIPTION	MANUFACTUR	ER SERIES	MAX. LOAD	VOLTAGE	REMARKS			
		WATTSTOPPE	R DT-355	800 WATTS @ 120VAC	) 120/230/277/34 VAC	471. COORDINATE OCCUPANCY SENSOR SELECTION AND FINISH WITH THE OWNER.			
01	DUAL TECHNOLOGY LINE VOLTAGE CEILING SENSO	R. LITHONIA	CMR PDT 9	800 WATTS @ 120VAC	120/277VAC	2. OCCUPANCY SENSORS SHALL BE INSTALLED TO SWITCH A 120VAC LINE.			
		HUBBELL	OMNI	16 AMPS @ 120VAC	120-277VAC				

LIGHTING FIXTURE SCHEDULE															
	DESCRIPTION	MANUFACTURER FIXTURE SERIES			LAMP	FIXTURE DALLACT		LIGHT CONTROL					1		
YMBOL			FIXTURE SERIES	TYPE	QTY. PER FIXTURE	WATTS	VOLTAGE	BALLAST	MOUNTING	LENS	REFLECTOR	LOUVER FINISH	REMARKS		
(F1)	ROUND HIGH BAY	ATLANTIC INDUSTRIAL	AIHB31C310X20U5KLLW	LED 5000K 78000 HOURS L70	AS REQD.	197 SYSTEM WATTS	120-277V		SINGLE POINT SUSPENSION	UPLIGHT	WH	WH	1. COORDINATE STYLE & FINISH WITH THE OWNER.		
		HOLOPHANE	PHS 30L 5K												
		DIGITAL LUMENS	RLE-D15T/HV												
F2	ROUND HIGH BAY	ATLANTIC INDUSTRIAL	AIHB31C36X20U5KLLW	LED 5000K 78000 HOURS L70		123 SYSTEM WATTS	120-277V		SINGLE POINT SUSPENSION	UPLIGHT	WH	WH	1. COORDINATE STYLE & FINISH WITH		
		HOLOPHANE	PHS 24L 5K										THE OWNER.		
		DIGITAL LUMENS	RLE-D15T/HV										2. TO BE INSTALLED WITH EMERGENCY BATTERY PACK.		
(F4)	1X4 LED PANEL.	HE WILLIAMS	LP14L401835LP1425LUNV	LED 3500K 50000 HOURS	RS AS REQD.	39.7 SYSTEM	1 120-277V		SUSPENDED CEILING	GRID	WH	WH	1. COORDINATE STYLE & FINISH WITH THE OWNER.		
		TRACE LITE	LPA14-CP-LP14SL-UNV			WATTS								İ	
		GENERAL ELECTRIC	LPL14B03XMM835VQLWH	1										j	
(F5)	2X2 FLAT PANEL.	WILLIAMS	LP-22	LED 4000K 4000 LUMENS 80 CRI	AS REQD.	34 SYSTEM WATTS	120-277V		RECESSED CEILING				1. COORDINATE STYLE & FINISH WITH THE OWNER.		
		BARRON TRACE-LITE	LPA22												DO
		C-LITE	C-TR-C-FP22												FF
(F5E)	2X2 FLAT PANEL.	WILLIAMS	LP-22	LED 4000K 4000 LUMENS 80 CRI	AS REQD.	34 SYSTEM WATTS	120-277V		RECESSED CEILING				1. COORDINATE STYLE & FINISH WITH THE OWNER.		BU IN PE <b>FU</b>
		BARRON TRACE-LITE	LPA22										2. TO BE INSTALLED WITH		RE TH
		C-LITE	C-TR-C-FP22										EMERGENCY BATTERY PACK.		Th
F6 >	2X4 FLAT PANEL.	WILLIAMS	LP-24	LED 4000K 5000 LUMENS 80 CRI	AS REQD.	43 SYSTEM WATTS	120-277V		RECESSED CEILING				1. COORDINATE STYLE & FINISH WITH THE OWNER.		AF OF SC EX
		BARRON TRACE-LITE	LPA24										2. TO BE INSTALLED WITH		C



**GENERAL NOTES:** 

AUTHORITIES HAVING JURISDICTION.

ALL WORK SHALL COMPLY WITH THE

CONTRACTOR.

OTHERWISE.

STANDARDS.

CONTRACTOR.

SPECIFICATIONS.

1. ALL WORK SHALL BE DONE BY A LICENSED

THE CONTRACTOR SHALL BE RESPONSIBLE FOR

3. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED

THERE SHALL BE NOTHING ABANDONED IN PLACE,

REQUIREMENTS OF THE CONTRACT DOCUMENTS.

6. ALL TRADES SHALL COORDINATE THE ROUTING AND

INSTALLATION OF HIS WORK WITH THAT OF ALL

SUPERVISION, COST, AND SERVICES REQUIRED TO

CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND

ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE

RACEWAYS, WIREWAYS, AND CONDUIT REQUIRED

EMERGENCY BATTERY PACK.

2. TO BE INSTALLED WITH EMERGENCY BATTERY PACK.

THE OWNER.

1. COORDINATE STYLE & FINISH WITH

FOR THE INSTALLATION OF SECURITY DEVICES.

10. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED

WITH WITH ALL APPLICABLE STATE AND LOCAL

OTHER TRADES THROUGH THE GENERAL

PROVIDE ALL EQUIPMENT, MATERIAL, LABOR,

INSTALL COMPLETE AND WORKING SYSTEMS.

INCLUDING ALL ITEMS AND APPURTENANCES

NECESSARY, REASONABLE, INCIDENTAL, OR

EVERY ITEM IS NOT SPECIFIED OR SHOWN.

9. SECURITY CONTRACTOR IS RESPONSIBLE FOR

BUILDING CODES, INCLUDING THE NEC.

IN ACCORDANCE WITH MANUFACTURER

INCLUDING ADDENDA, AND APPLICABLE CODES AND

UNLESS SPECIFICALLY IDENTIFIED AS SUCH.

OF BY THE CONTRACTOR, UNLESS NOTES

JOBSITE SAFETY, INCLUDING REQUIREMENTS OF

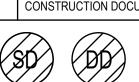
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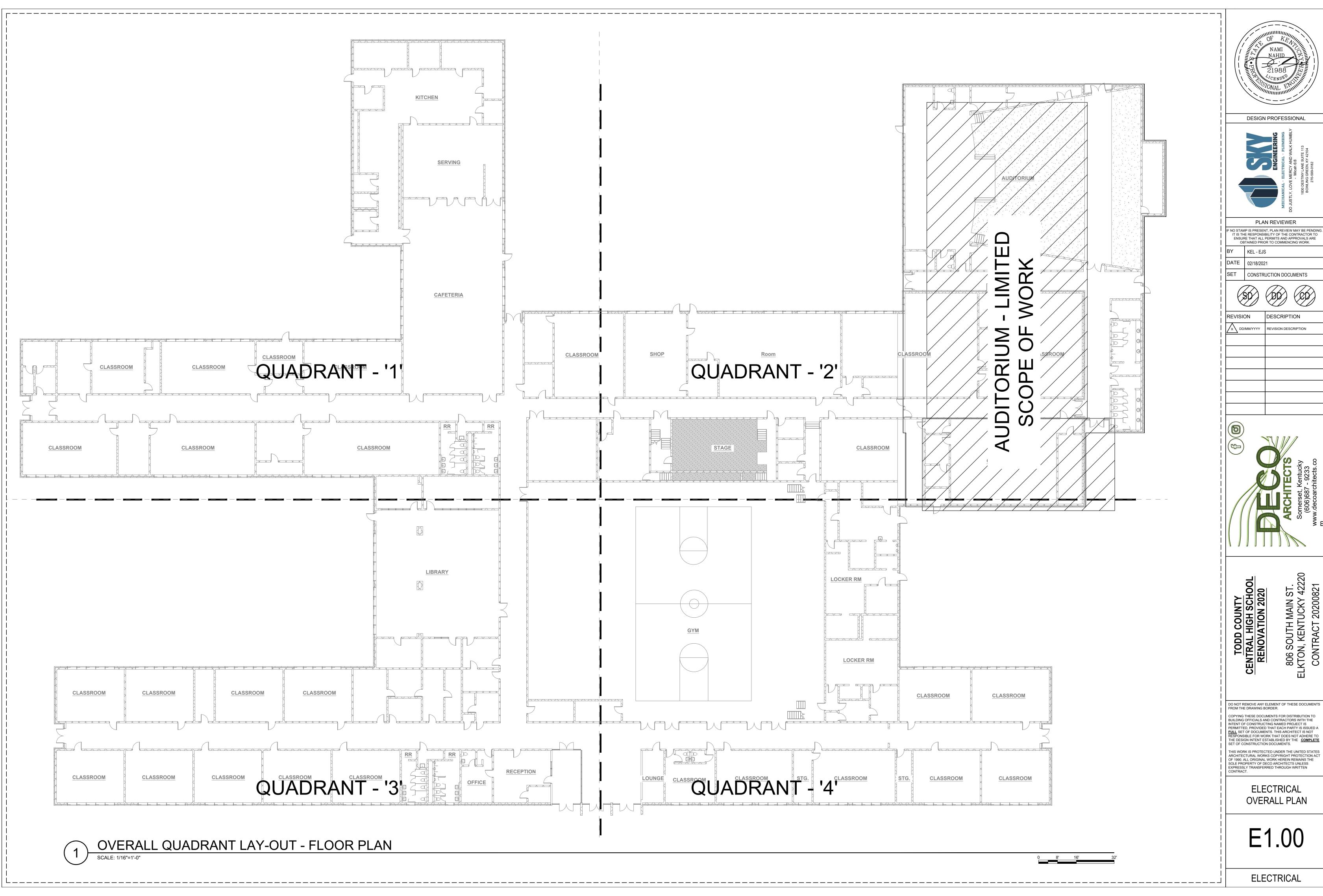
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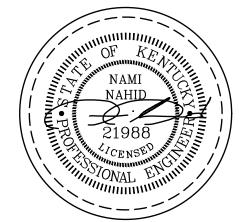
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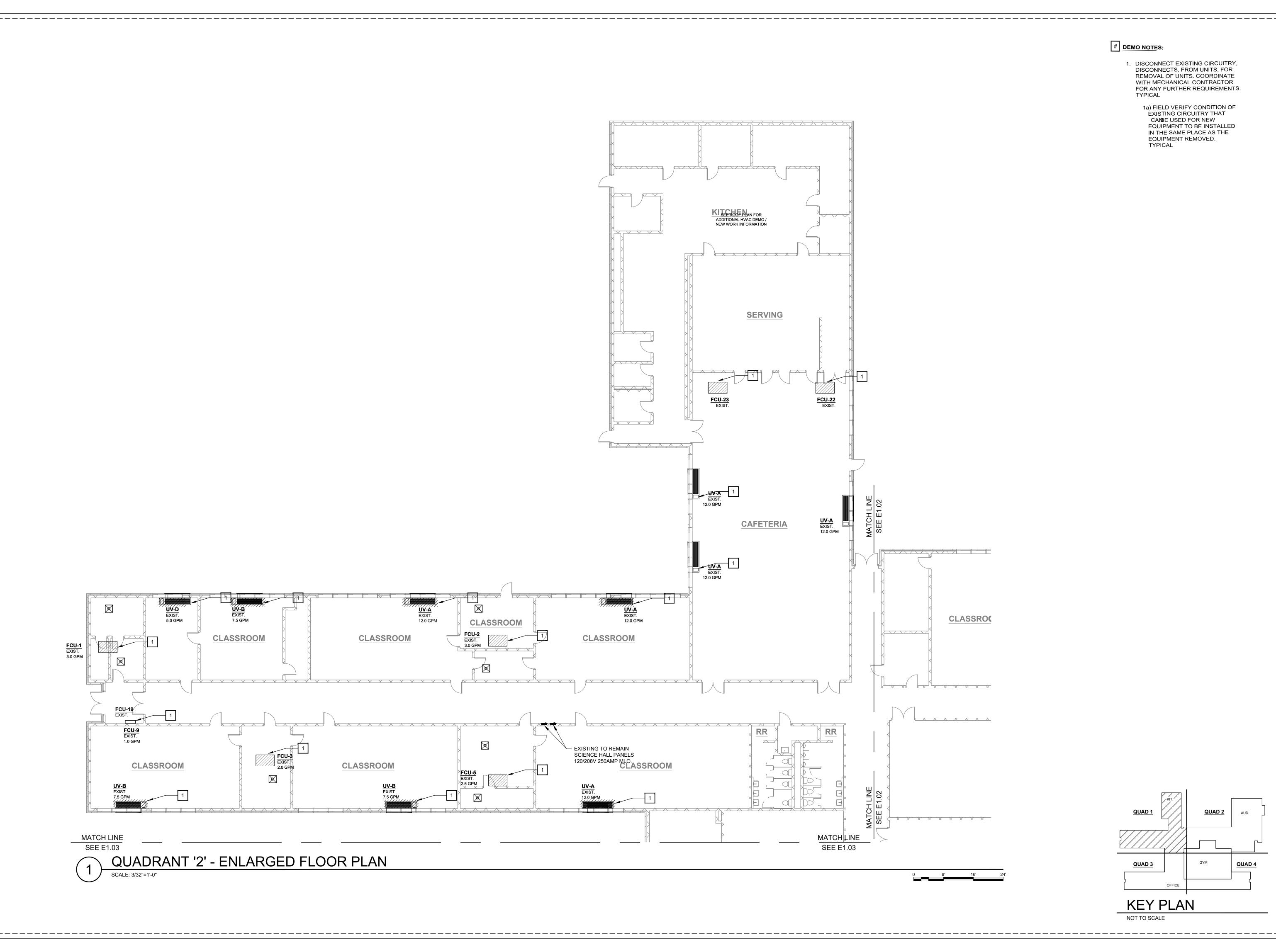
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> SCHEDULES & LEGENDS



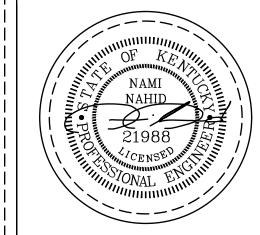






 DISCONNECT EXISTING CIRCUITRY, DISCONNECTS, FROM UNITS, FOR REMOVAL OF UNITS. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS. TYPICAL

> 1a) FIELD VERIFY CONDITION OF EXISTING CIRCUITRY THAT CAMBE USED FOR NEW EQUIPMENT TO BE INSTALLED IN THE SAME PLACE AS THE EQUIPMENT REMOVED. TYPICAL



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CONSTRUCTION DOCUMENTS



DESCRIPTION

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QUAD 2

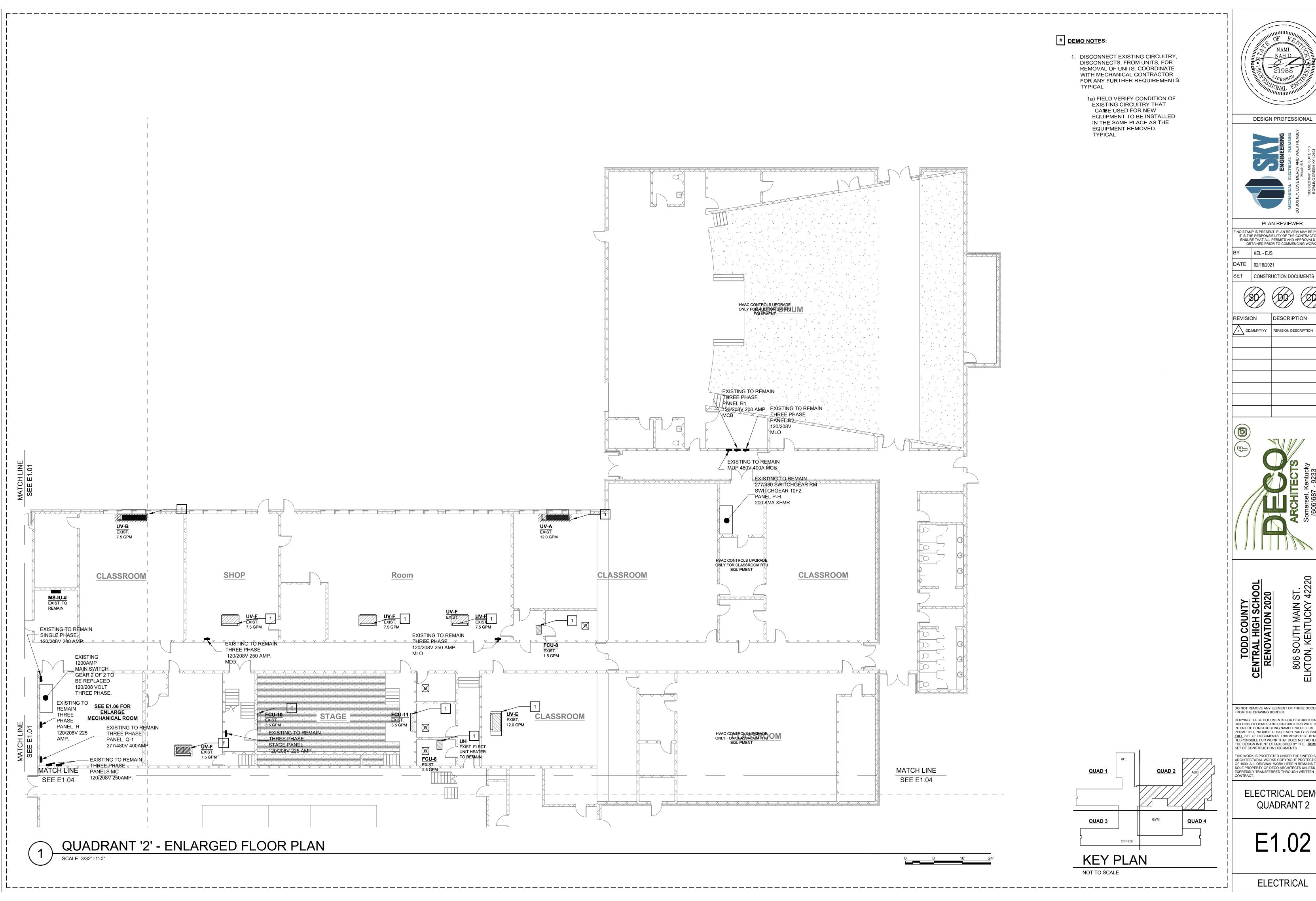
QUAD 4

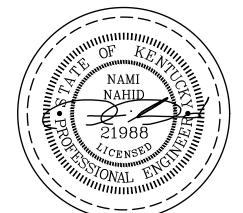
QUAD 3

NOT TO SCALE

**KEY PLAN** 

ELECTRICAL DEMO **QUADRANT 1** 







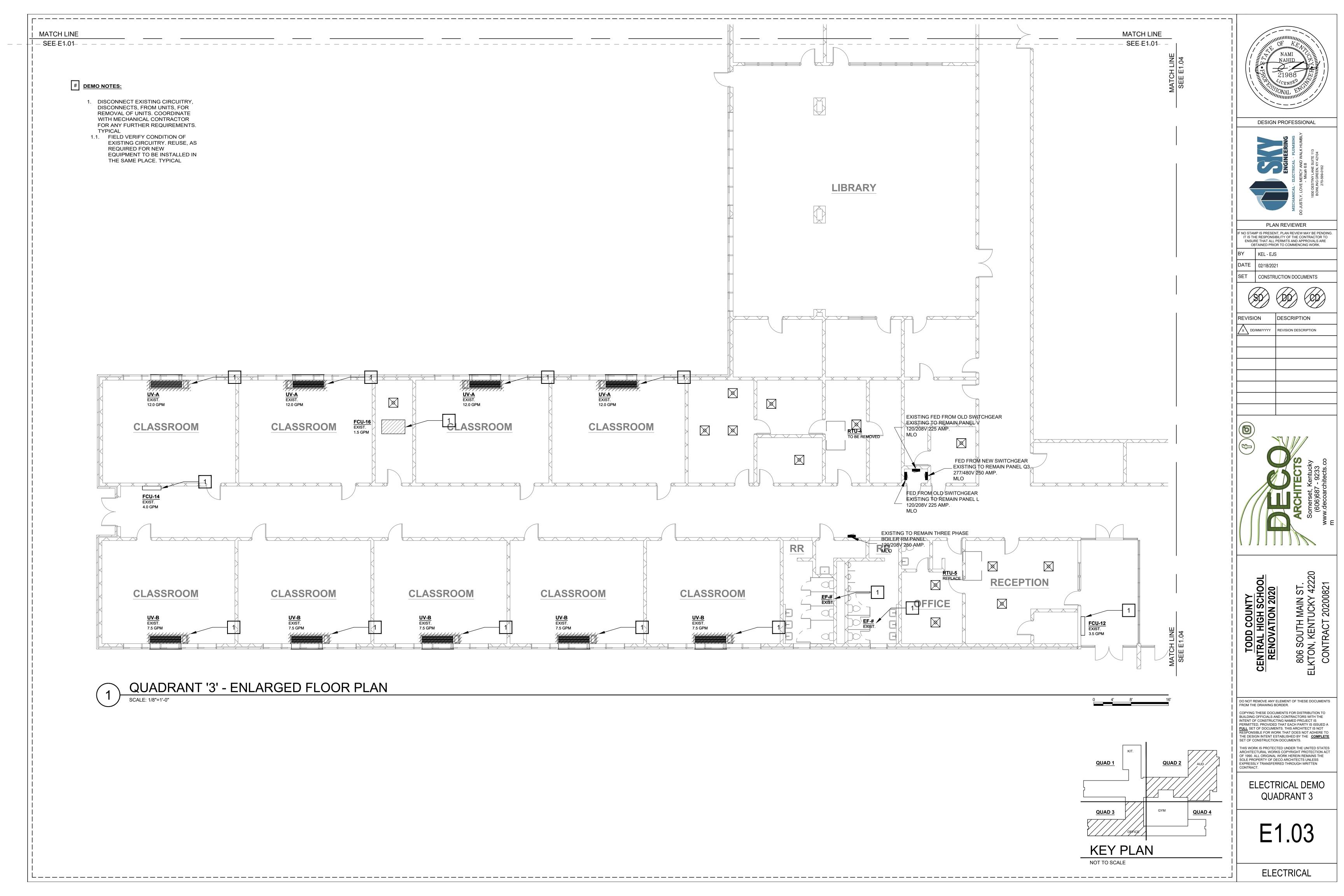
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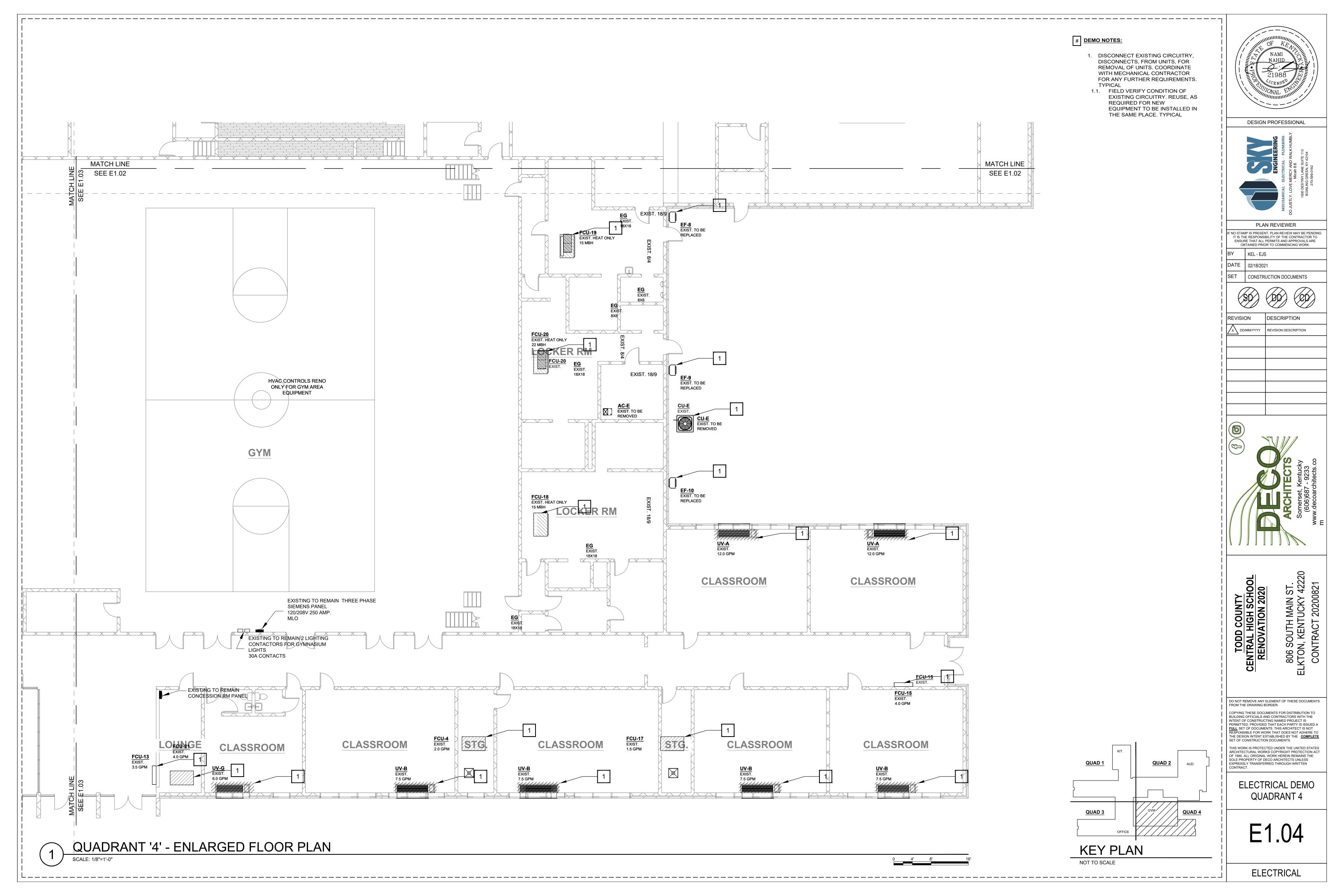
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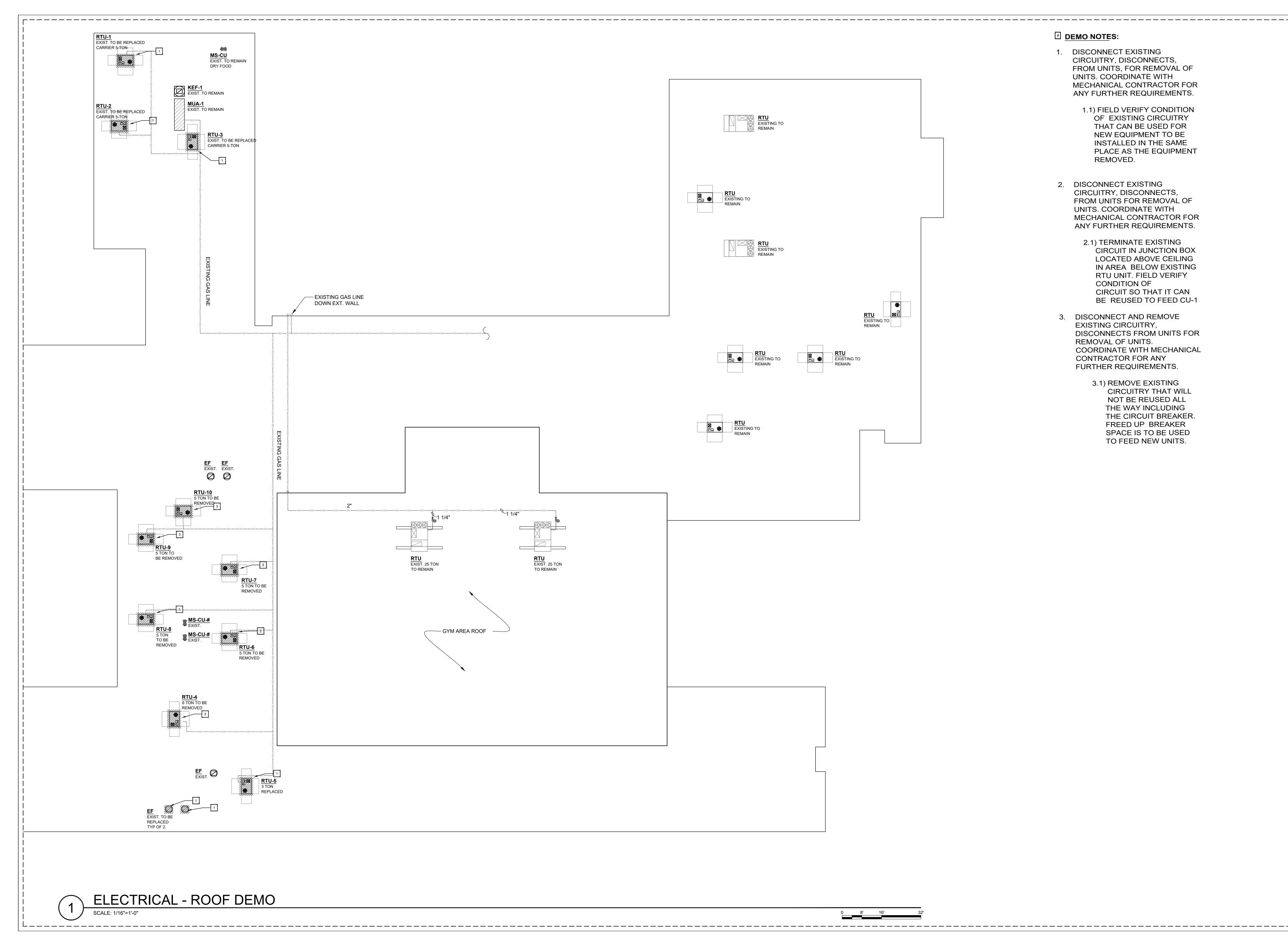
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ELECTRICAL DEMO

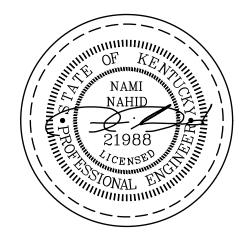






## **# DEMO NOTES:**

- 1. DISCONNECT EXISTING CIRCUITRY, DISCONNECTS, FROM UNITS, FOR REMOVAL OF UNITS. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS.
  - 1.1) FIELD VERIFY CONDITION OF EXISTING CIRCUITRY THAT CAN BE USED FOR NEW EQUIPMENT TO BE INSTALLED IN THE SAME PLACE AS THE EQUIPMENT REMOVED.
- 2. DISCONNECT EXISTING CIRCUITRY, DISCONNECTS, FROM UNITS FOR REMOVAL OF UNITS. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS.
  - 2.1) TERMINATE EXISTING CIRCUIT IN JUNCTION BOX LOCATED ABOVE CEILING IN AREA BELOW EXISTING RTU UNIT. FIELD VERIFY CONDITION OF CIRCUIT SO THAT IT CAN BE REUSED TO FEED CU-1
- 3. DISCONNECT AND REMOVE EXISTING CIRCUITRY, DISCONNECTS FROM UNITS FOR REMOVAL OF UNITS. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS.
  - 3.1) REMOVE EXISTING CIRCUITRY THAT WILL NOT BE REUSED ALL THE WAY INCLUDING THE CIRCUIT BREAKER. FREED UP BREAKER SPACE IS TO BE USED TO FEED NEW UNITS.

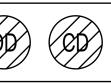


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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
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OBTAINED PRIOR TO COMMENCING WORK. KEL - EJS

DATE 02/18/2021 CONSTRUCTION DOCUMENTS



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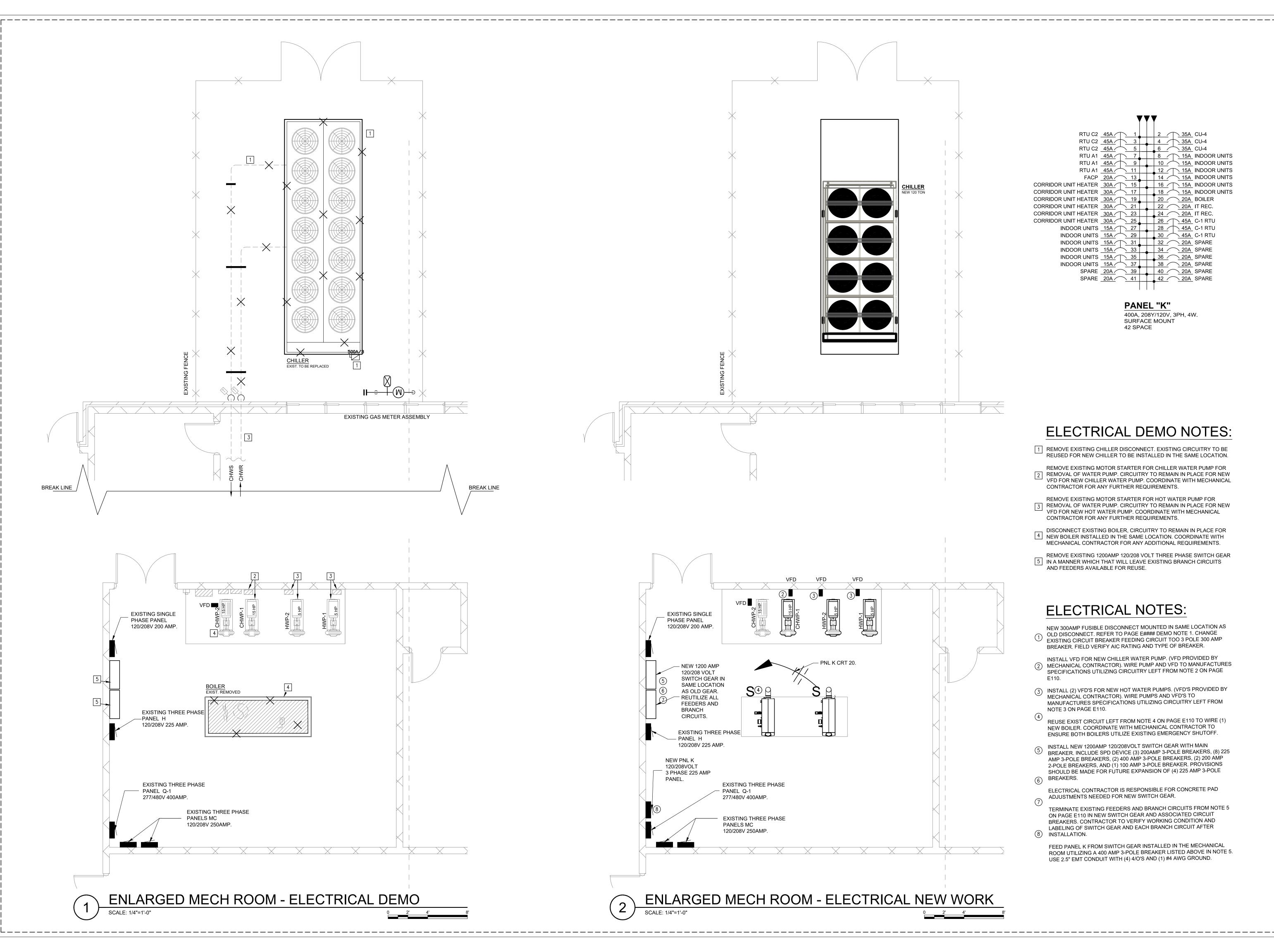


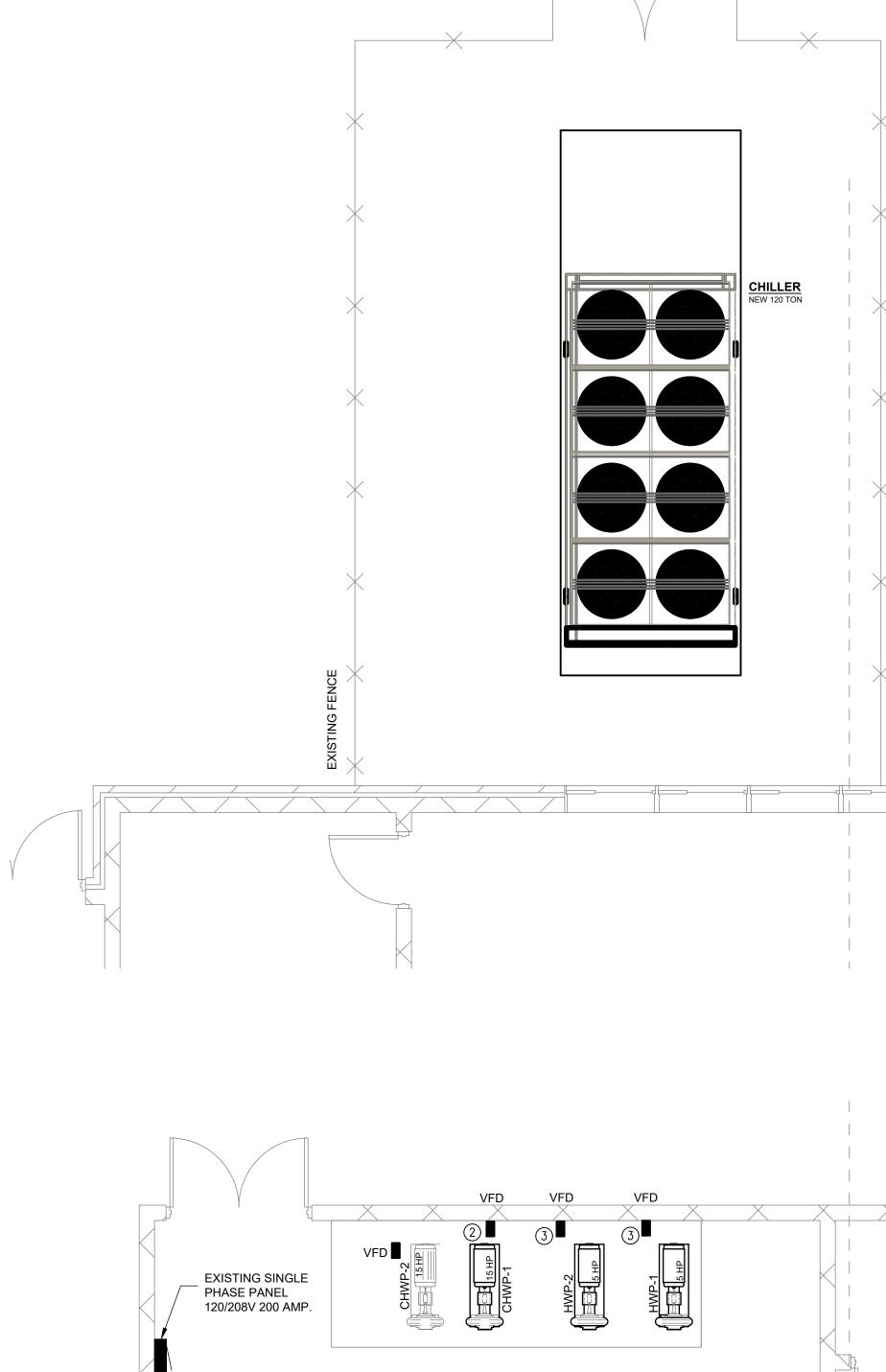
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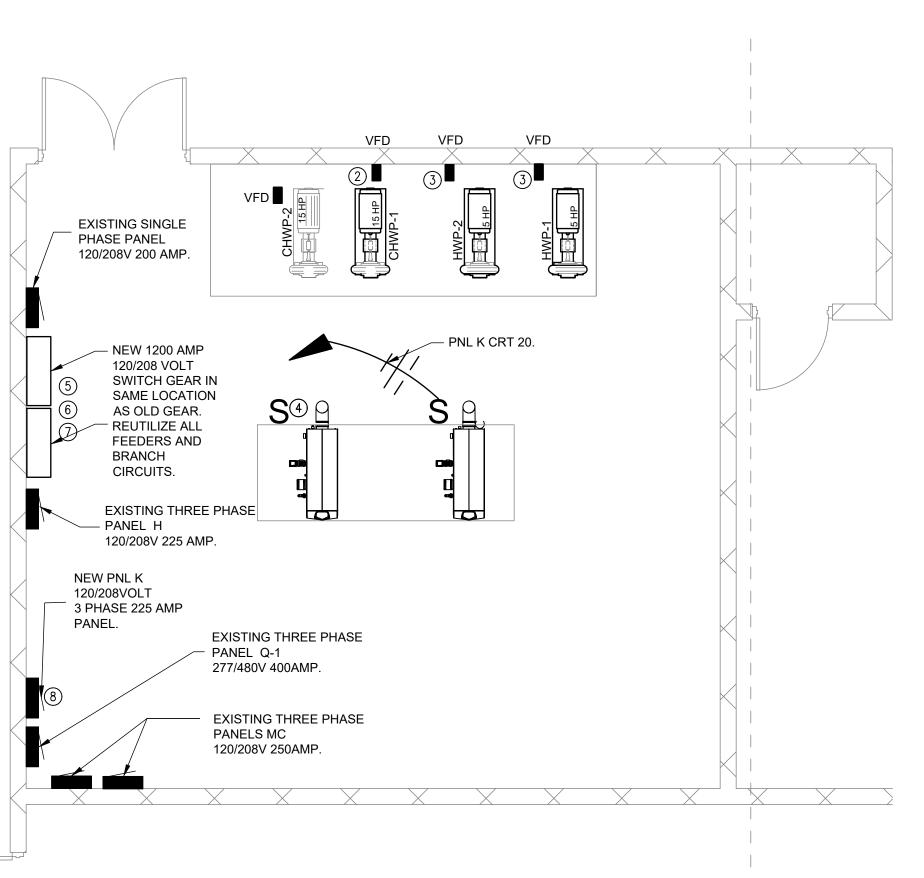
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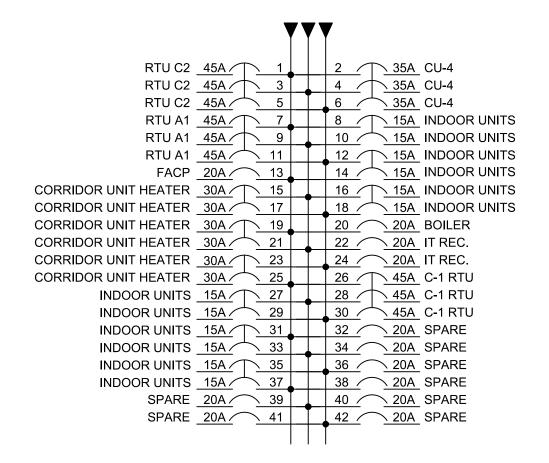
> **ELECTRICAL ROOF DEMO PLAN**







ENLARGED MECH ROOM - ELECTRICAL NEW WORK



PANEL "K" 400A, 208Y/120V, 3PH, 4W. SURFACE MOUNT **42 SPACE** 

# **ELECTRICAL DEMO NOTES:**

- 1 REMOVE EXISTING CHILLER DISCONNECT. EXISTING CIRCUITRY TO BE REUSED FOR NEW CHILLER TO BE INSTALLED IN THE SAME LOCATION.
- REMOVE EXISTING MOTOR STARTER FOR CHILLER WATER PUMP FOR 7 REMOVAL OF WATER PUMP. CIRCUITRY TO REMAIN IN PLACE FOR NEW VFD FOR NEW CHILLER WATER PUMP. COORDINATE WITH MECHANICAL

CONTRACTOR FOR ANY FURTHER REQUIREMENTS.

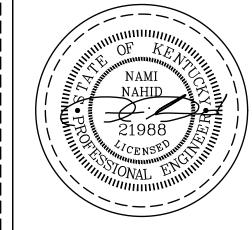
- REMOVE EXISTING MOTOR STARTER FOR HOT WATER PUMP FOR REMOVAL OF WATER PUMP. CIRCUITRY TO REMAIN IN PLACE FOR NEW VFD FOR NEW HOT WATER PUMP. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS.
- DISCONNECT EXISTING BOILER, CIRCUITRY TO REMAIN IN PLACE FOR 4 NEW BOILER INSTALLED IN THE SAME LOCATION. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY ADDITIONAL REQUIREMENTS.
- REMOVE EXISTING 1200AMP 120/208 VOLT THREE PHASE SWITCH GEAR 5 IN A MANNER WHICH THAT WILL LEAVE EXISTING BRANCH CIRCUITS AND FEEDERS AVAILABLE FOR REUSE.

# **ELECTRICAL NOTES:**

- NEW 300AMP FUSIBLE DISCONNECT MOUNTED IN SAME LOCATION AS OLD DISCONNECT. REFER TO PAGE E### DEMO NOTE 1. CHANGE EXISTING CIRCUIT BREAKER FEEDING CIRCUIT TOO 3 POLE 300 AMP BREAKER. FIELD VERIFY AIC RATING AND TYPE OF BREAKER.
- INSTALL VFD FOR NEW CHILLER WATER PUMP. (VFD PROVIDED BY (2) MECHANICAL CONTRACTOR). WIRE PUMP AND VFD TO MANUFACTURES SPECIFICATIONS UTILIZING CIRCUITRY LEFT FROM NOTE 2 ON PAGE
- (3) INSTALL (2) VFD'S FOR NEW HOT WATER PUMPS. (VFD'S PROVIDED BY MECHANICAL CONTRACTOR). WIRE PUMPS AND VFD'S TO MANUFACTURES SPECIFICATIONS UTILIZING CIRCUITRY LEFT FROM NOTE 3 ON PAGE E110.
- REUSE EXIST CIRCUIT LEFT FROM NOTE 4 ON PAGE E110 TO WIRE (1) NEW BOILER. COORDINATE WITH MECHANICAL CONTRACTOR TO ENSURE BOTH BOILERS UTILIZE EXISTING EMERGENCY SHUTOFF.
- (5) INSTALL NEW 1200AMP 120/208VOLT SWITCH GEAR WITH MAIN BREAKER. INCLUDE SPD DEVICE (3) 200AMP 3-POLE BREAKERS, (8) 225 AMP 3-POLE BREAKERS, (2) 400 AMP 3-POLE BREAKERS, (2) 200 AMP 2-POLE BREAKERS, AND (1) 100 AMP 3-POLE BREAKER. PROVISIONS SHOULD BE MADE FOR FUTURE EXPANSION OF (4) 225 AMP 3-POLE 6 BREAKERS.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONCRETE PAD ADJUSTMENTS NEEDED FOR NEW SWITCH GEAR.

(8) INSTALLATION.

- TERMINATE EXISTING FEEDERS AND BRANCH CIRCUITS FROM NOTE 5 ON PAGE E110 IN NEW SWITCH GEAR AND ASSOCIATED CIRCUIT BREAKERS. CONTRACTOR TO VERIFY WORKING CONDITION AND LABELING OF SWITCH GEAR AND EACH BRANCH CIRCUIT AFTER
- FEED PANEL K FROM SWITCH GEAR INSTALLED IN THE MECHANICAL ROOM UTILIZING A 400 AMP 3-POLE BREAKER LISTED ABOVE IN NOTE 5. USE 2.5" EMT CONDUIT WITH (4) 4/O'S AND (1) #4 AWG GROUND.



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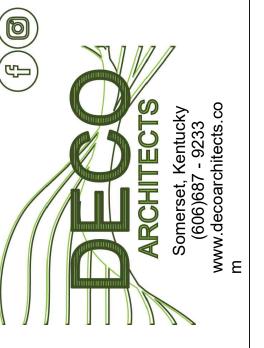
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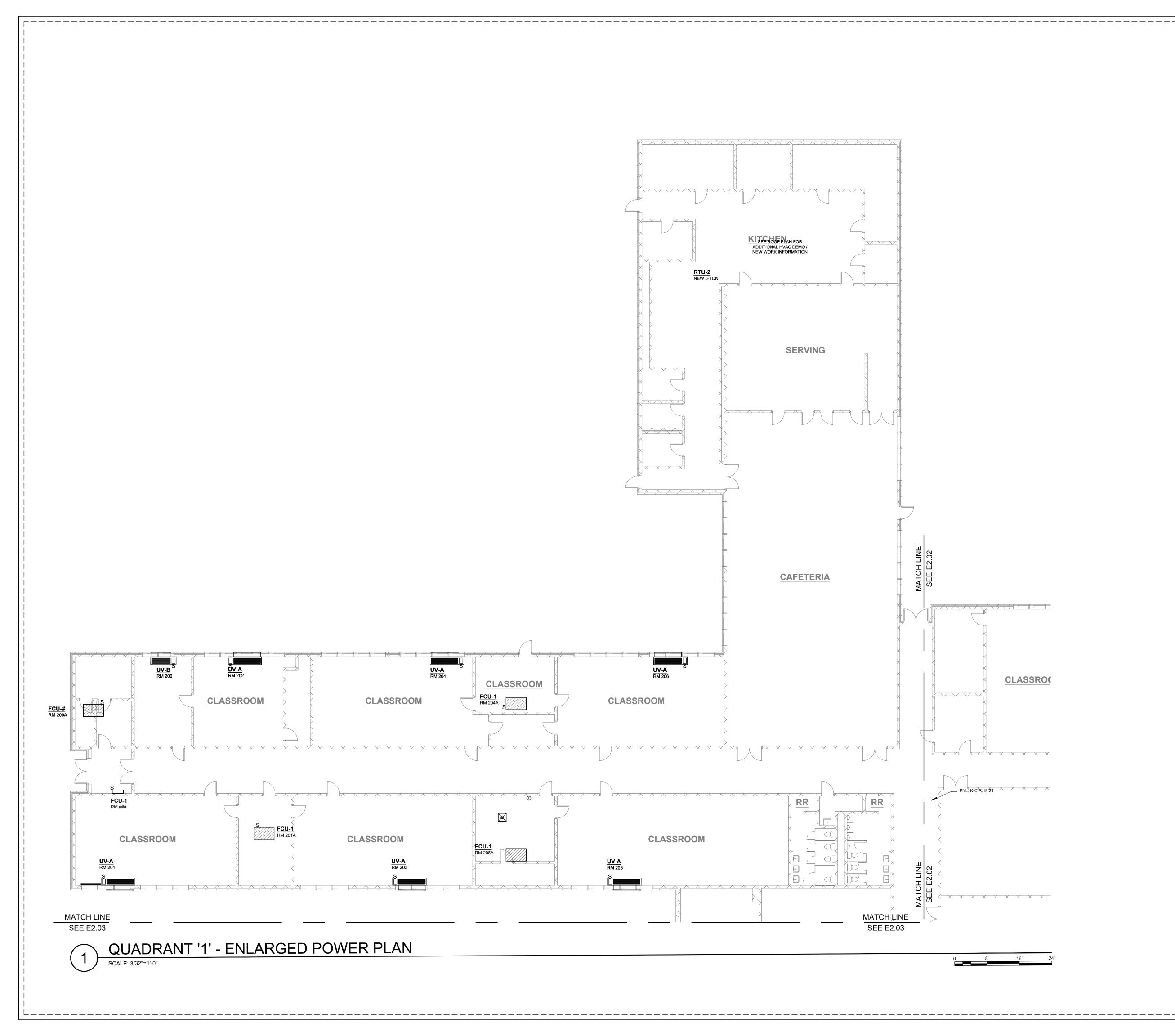
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**ELECTRICAL** MECHANICAL RM DEMO AND NEW WORK





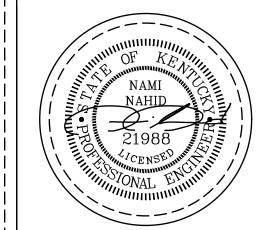
QUAD 3

**KEY PLAN** 

 USE EXISTING CIRCUITRY TO ENERGIZE NEW EQUIPMENT. REFER TO PAGE E101 NOTE 1.TYPICAL

1a) FIELD VERIFY CONDITION OF EXISTING CIRCUITRY THAT CAMBE USED FOR NEW EQUIPMENT TO BE INSTALLED IN THE SAME PLACE AS THE EQUIPMENT REMOVED. TYPICAL

 DISCONNECT ABOVE CEILING FOR CORRIDOR UNIT HEATER. COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION.



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(606)687 - 9233
www.decoarchitects.co

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ENOVATION 2020

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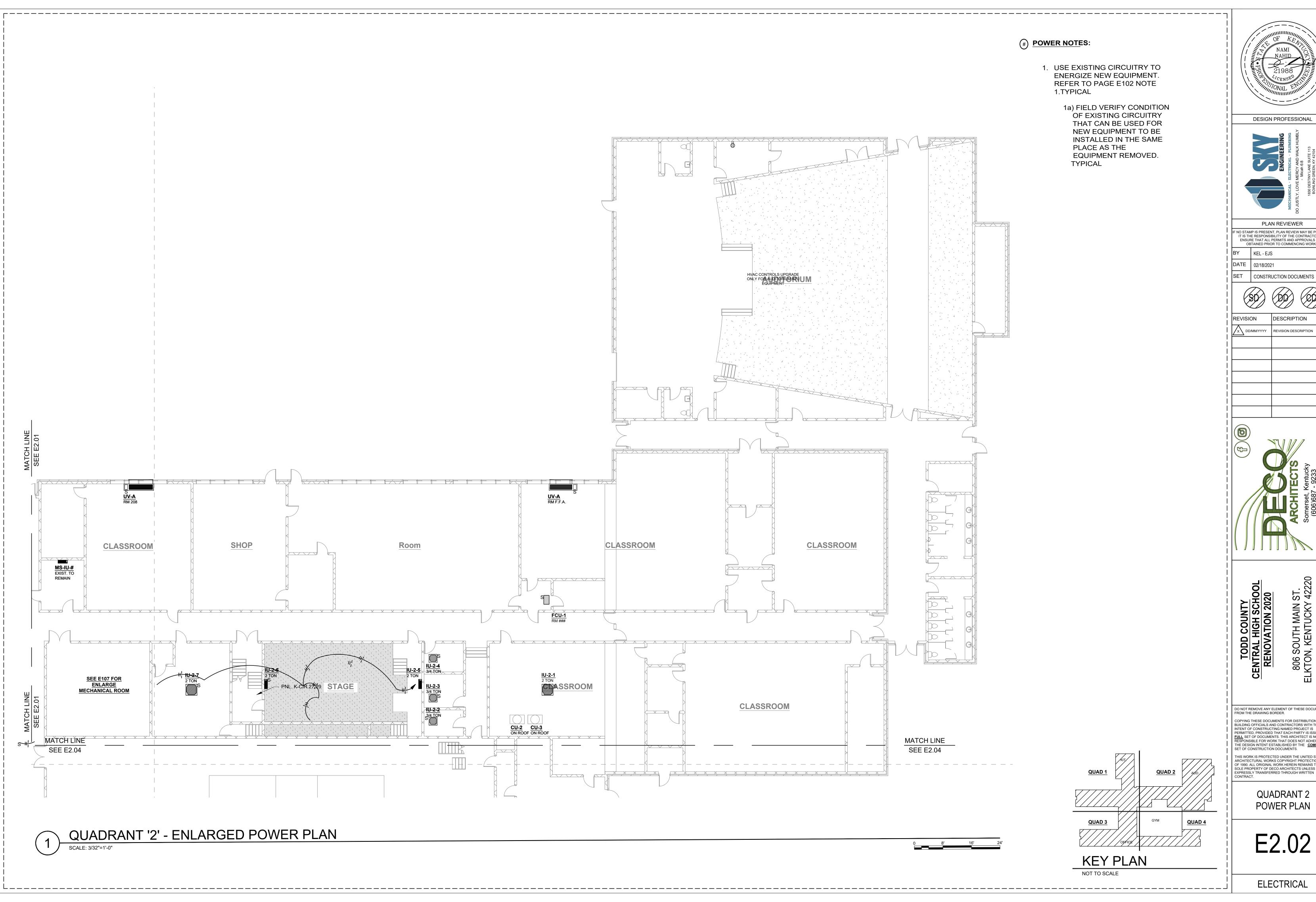
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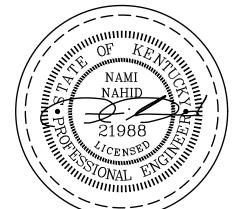
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QUADRANT 1 POWER PLAN

E2.01

QUAD 4







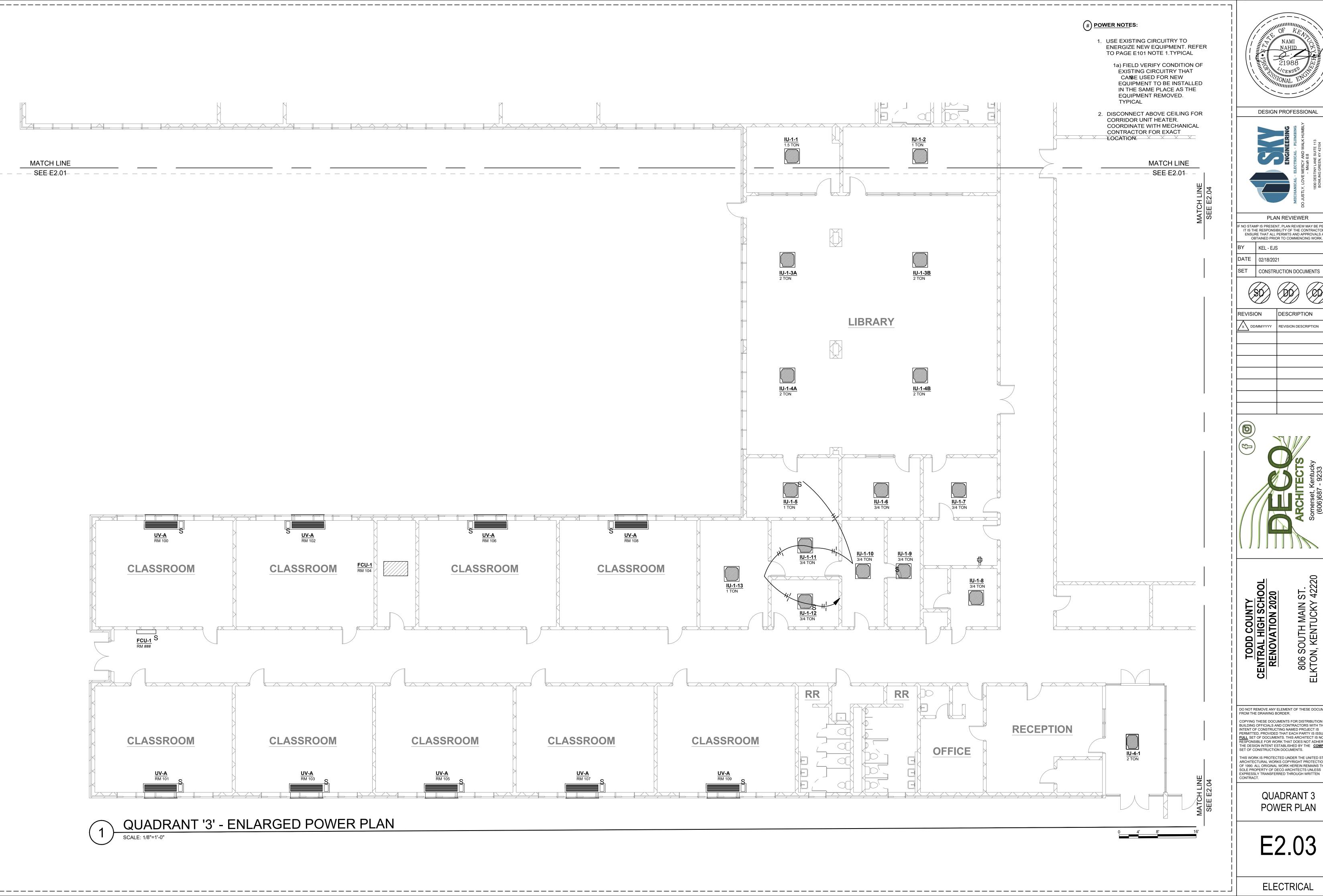
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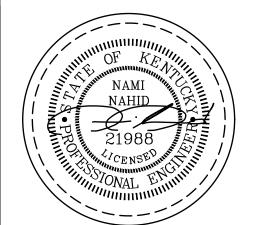
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POWER PLAN





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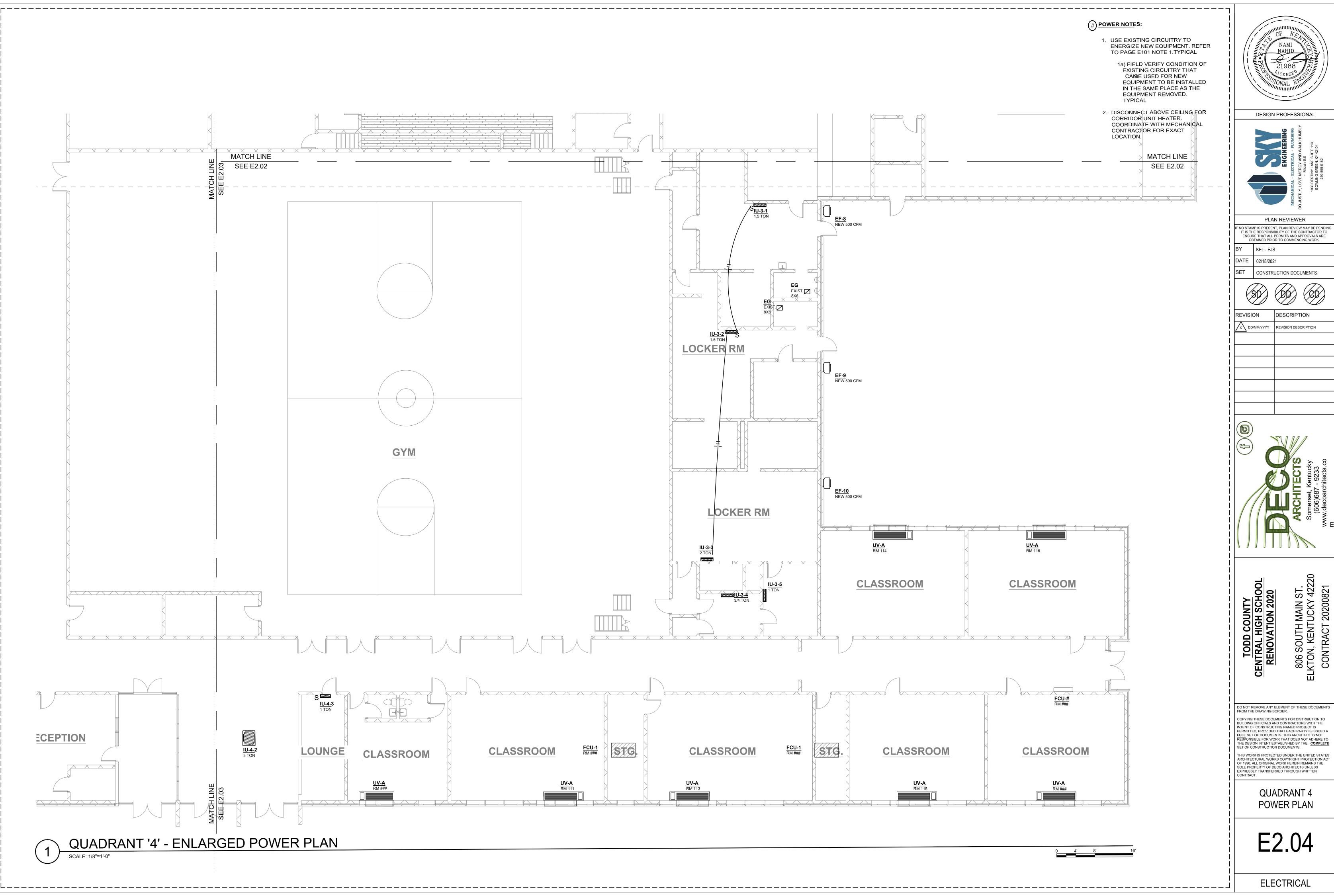
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QUADRANT 3 POWER PLAN

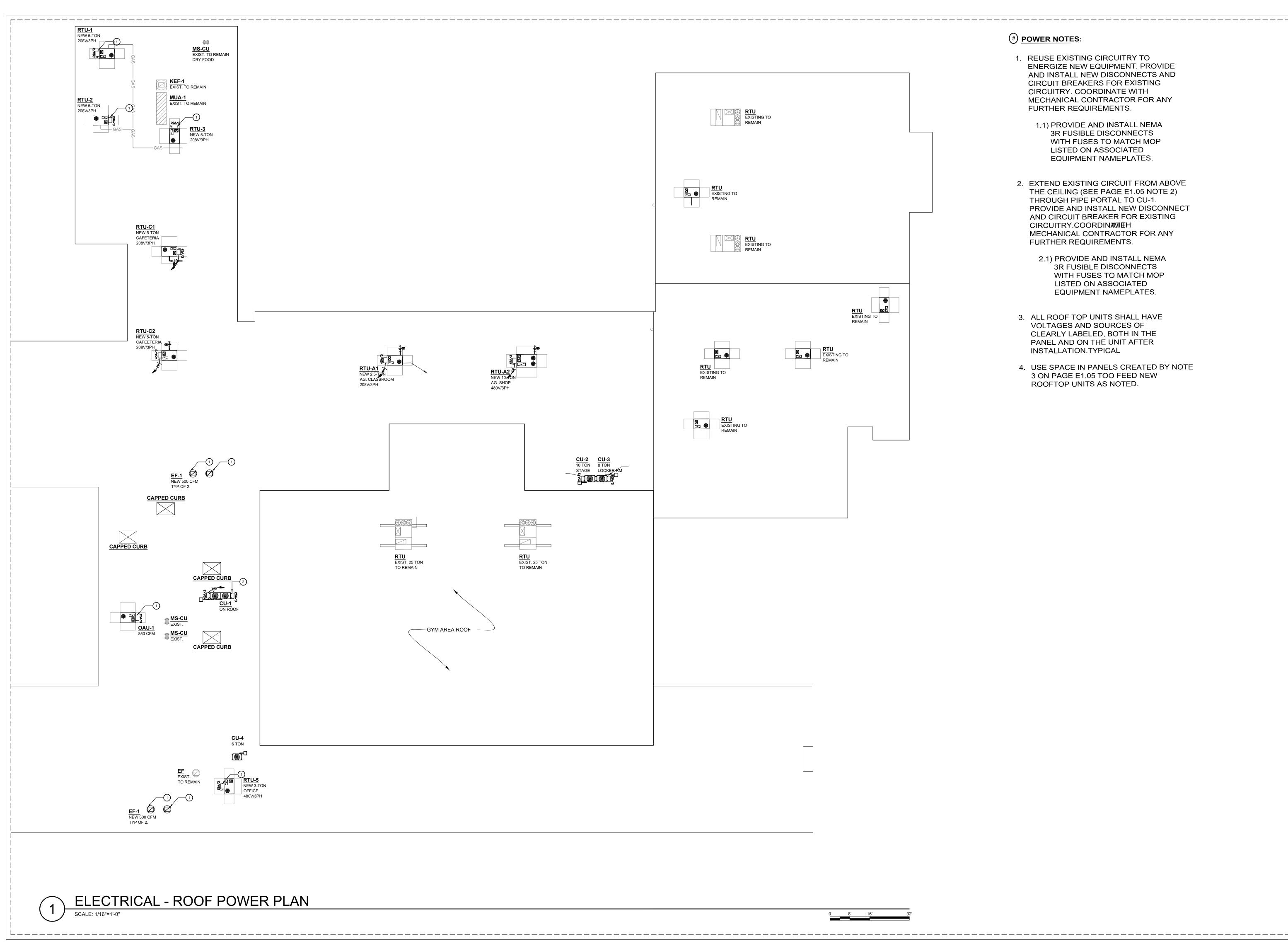




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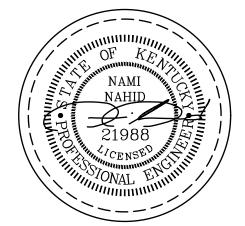
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POWER PLAN



# # POWER NOTES:

- 1. REUSE EXISTING CIRCUITRY TO ENERGIZE NEW EQUIPMENT. PROVIDE AND INSTALL NEW DISCONNECTS AND CIRCUIT BREAKERS FOR EXISTING CIRCUITRY. COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS.
  - 1.1) PROVIDE AND INSTALL NEMA 3R FUSIBLE DISCONNECTS WITH FUSES TO MATCH MOP LISTED ON ASSOCIATED EQUIPMENT NAMEPLATES.
- 2. EXTEND EXISTING CIRCUIT FROM ABOVE THE CEILING (SEE PAGE E1.05 NOTE 2) THROUGH PIPE PORTAL TO CU-1. PROVIDE AND INSTALL NEW DISCONNECT AND CIRCUIT BREAKER FOR EXISTING CIRCUITRY.COORDINANTIEH MECHANICAL CONTRACTOR FOR ANY FURTHER REQUIREMENTS.
  - 2.1) PROVIDE AND INSTALL NEMA 3R FUSIBLE DISCONNECTS WITH FUSES TO MATCH MOP LISTED ON ASSOCIATED **EQUIPMENT NAMEPLATES.**
- 3. ALL ROOF TOP UNITS SHALL HAVE **VOLTAGES AND SOURCES OF** CLEARLY LABELED, BOTH IN THE PANEL AND ON THE UNIT AFTER INSTALLATION.TYPICAL
- 4. USE SPACE IN PANELS CREATED BY NOTE 3 ON PAGE E1.05 TOO FEED NEW ROOFTOP UNITS AS NOTED.



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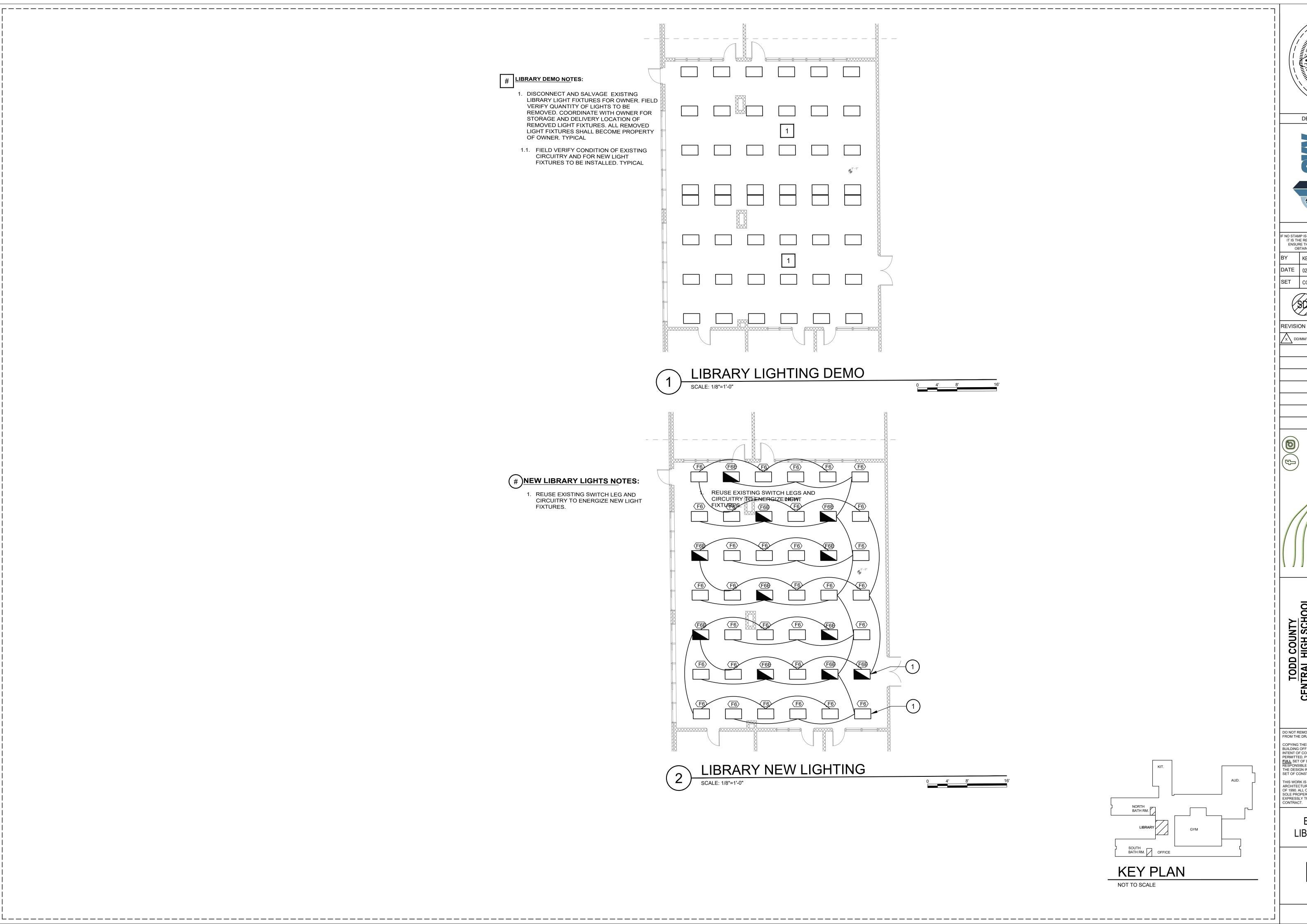


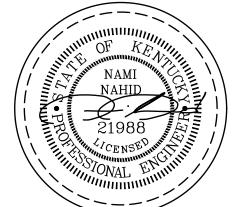
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**ROOF POWER** 





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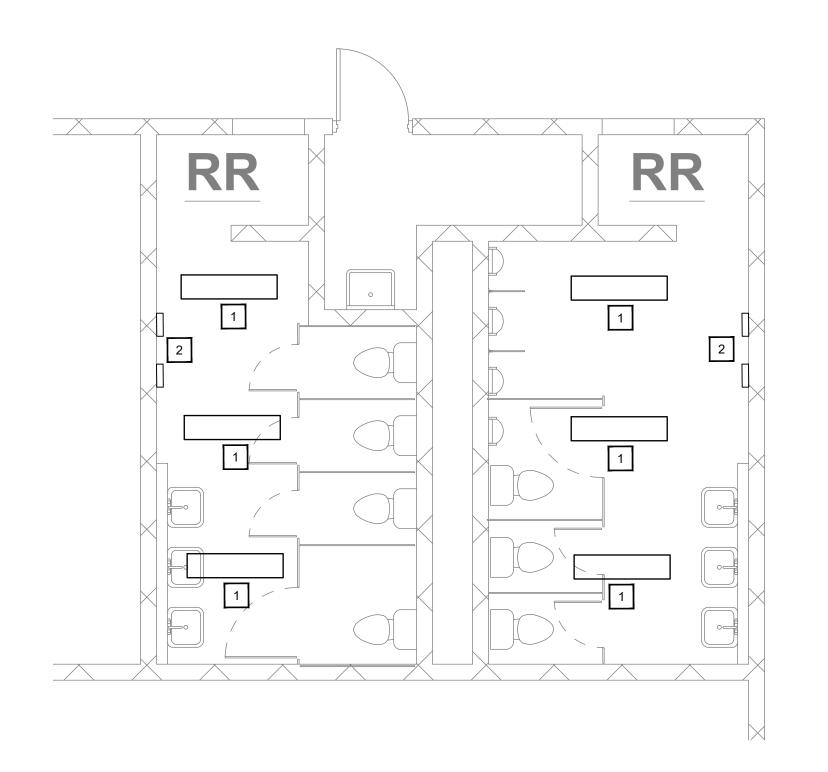
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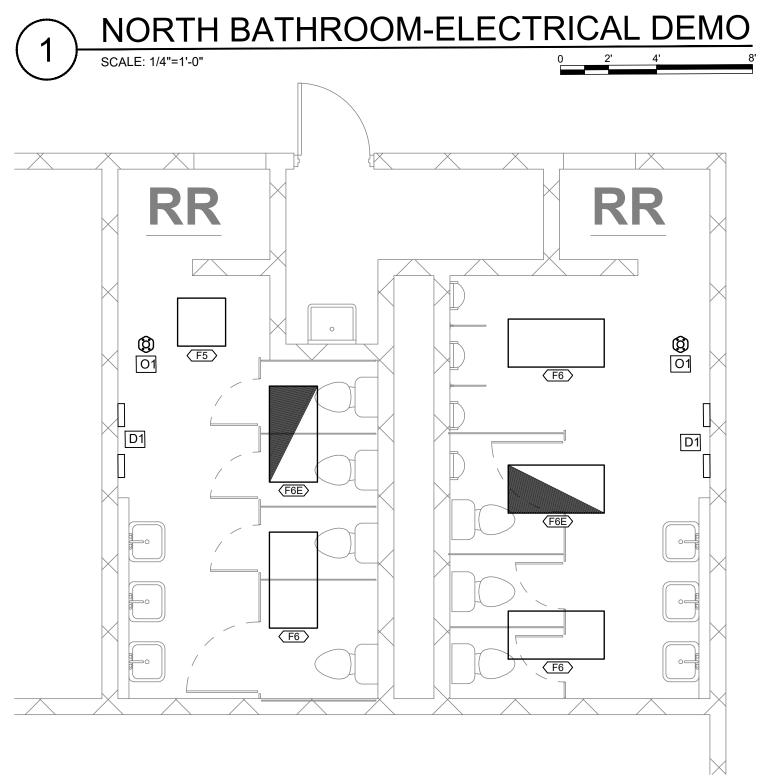


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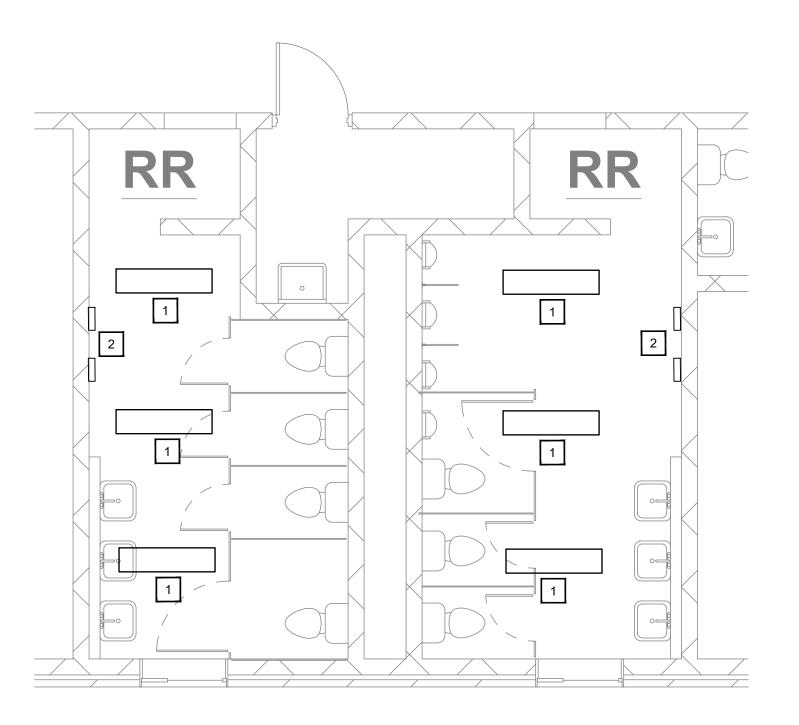
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ELECTRICAL -LIBRARYLIGHTING





NORTH BATHROOM-NEW ELECTRICAL

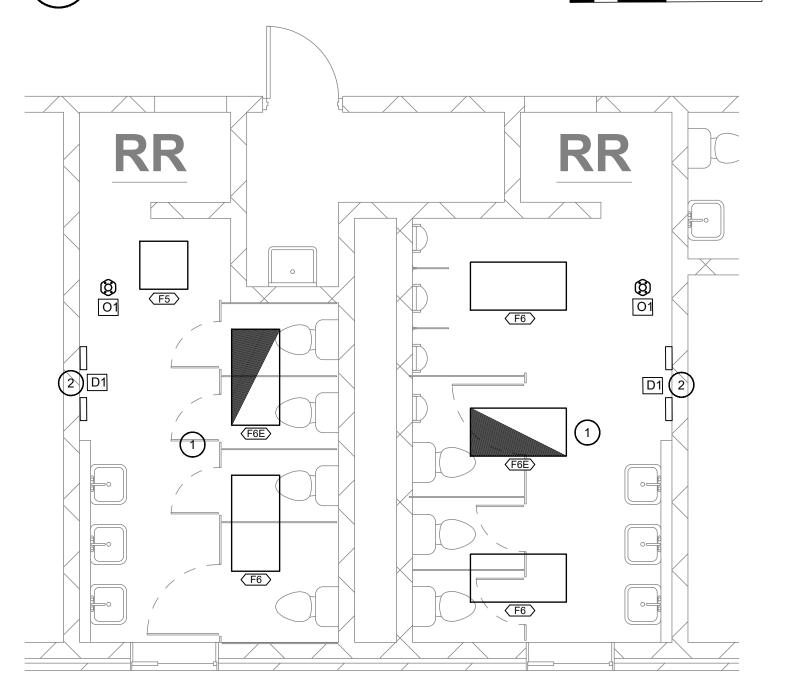


# # BATHROOM DEMO NOTES:

- 1) REMOVE AND DISPOSE OF LIGHT FIXTURES, AND PREPARE CIRCUITRY FOR NEW BATHROOM DROP CEILING.
- 2) REMOVE HAND DRYERS AND DISPOSE OF HAND DRYERS. PREPARE EXISTING CIRCUITRY FOR NEW HAND DRYERS GOING IN SAME LOCATION.

SOUTH BATHROOM-ELECTRICAL DEMO
SCALE: 1/4"=1'-0"

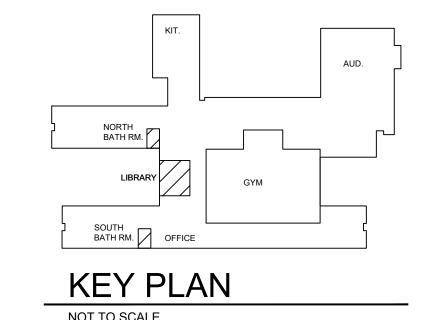
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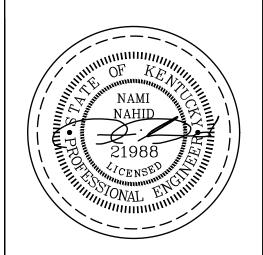


SOUTH BATHROOM-NEW ELECTRICAL

## # NEW BATHROOM NOTES:

- 1) UTILIZE EXISTING BATHROOM LIGHTING CIRCUIT FOR NEW BATHROOM LIGHTING LAY-OUT. BATHROOM LIGHTS TO BE CONTROLLED BY CEILING MOUNTED OCCUPANCY SENSOR. TYPICAL
- NEW HAND DRYERS TO BE MOUNTED IN SAME LOCATION AS THE OLD HAND DRYERS, UTILIZING EXISTING CIRCUITRY.TYPICAL

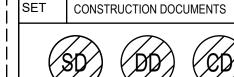




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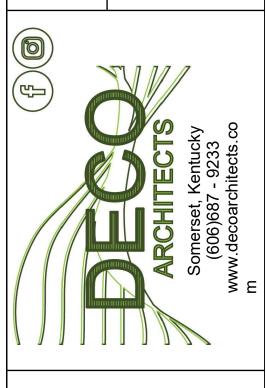


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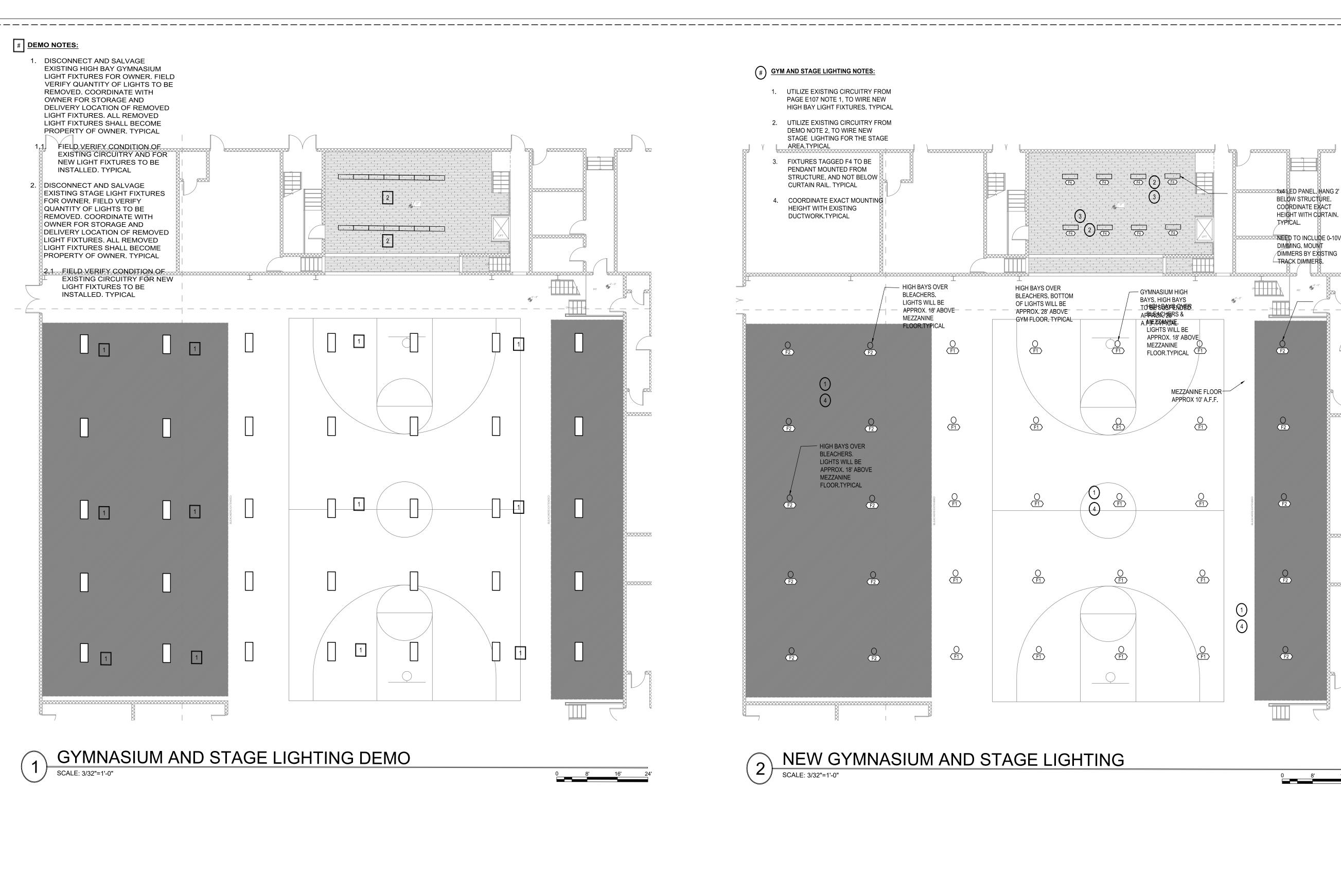


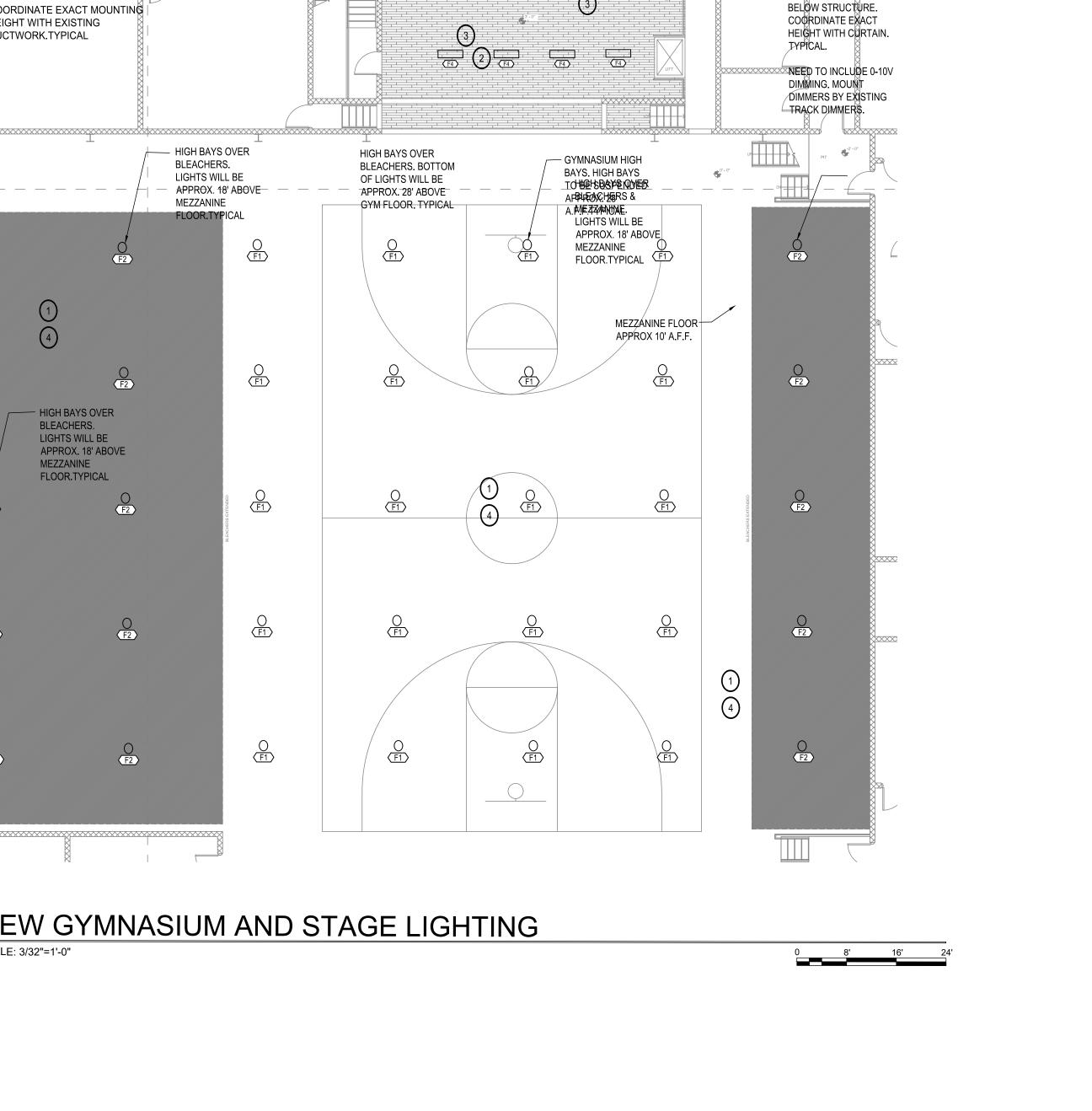
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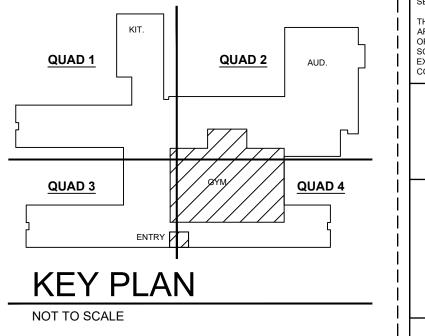
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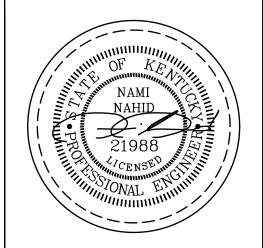
BATHROOM LIGHTING

E3.02









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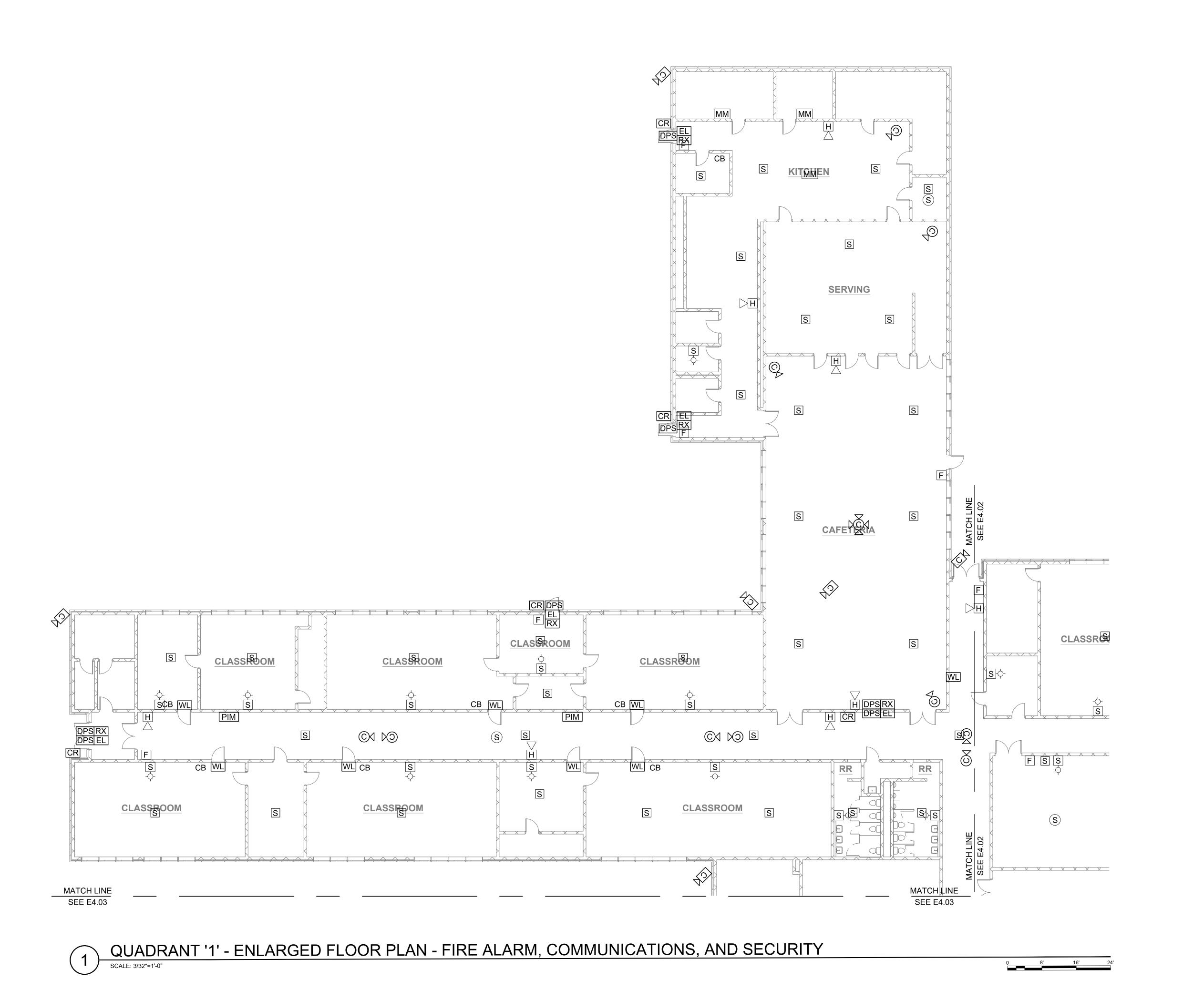
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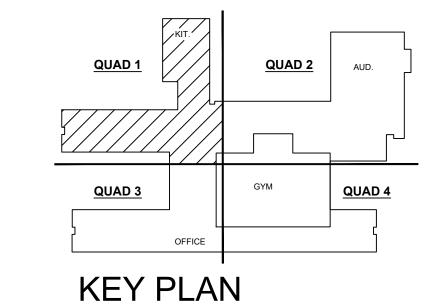
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> ELECTRICAL -**GYM AND ENTRY**





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270-599-0182

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NOVATION 2020

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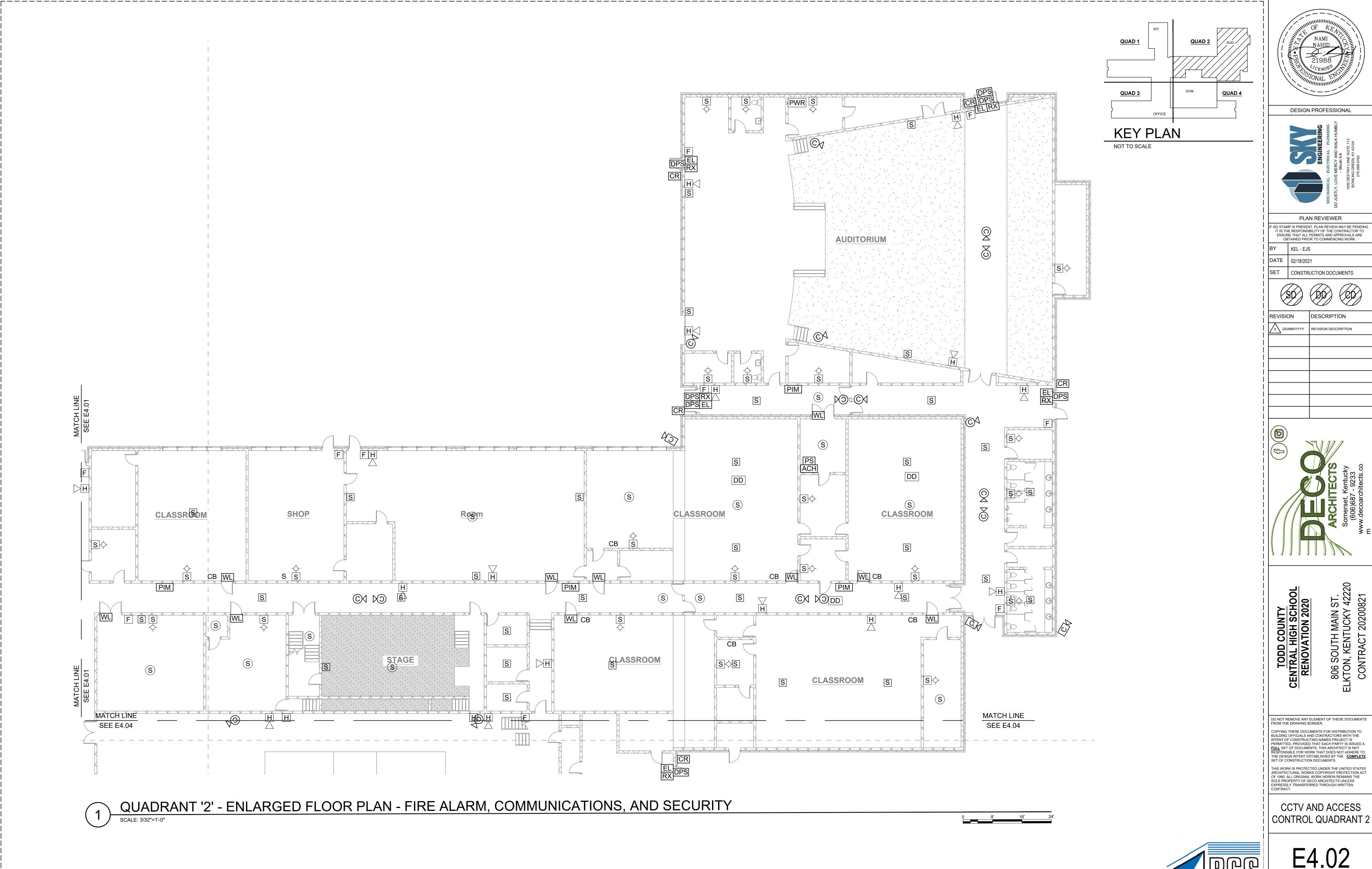
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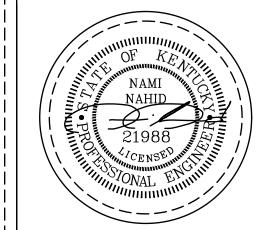
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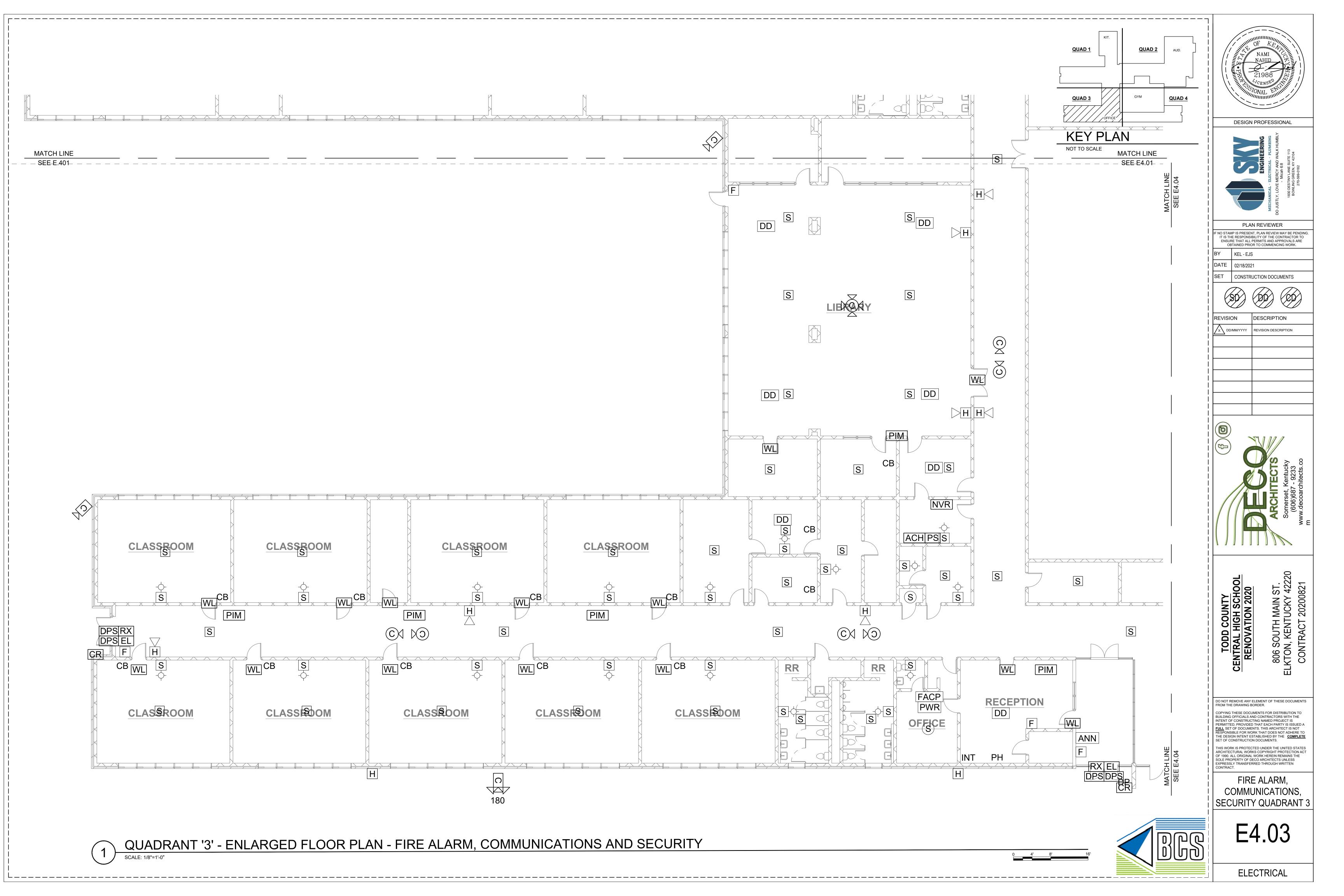


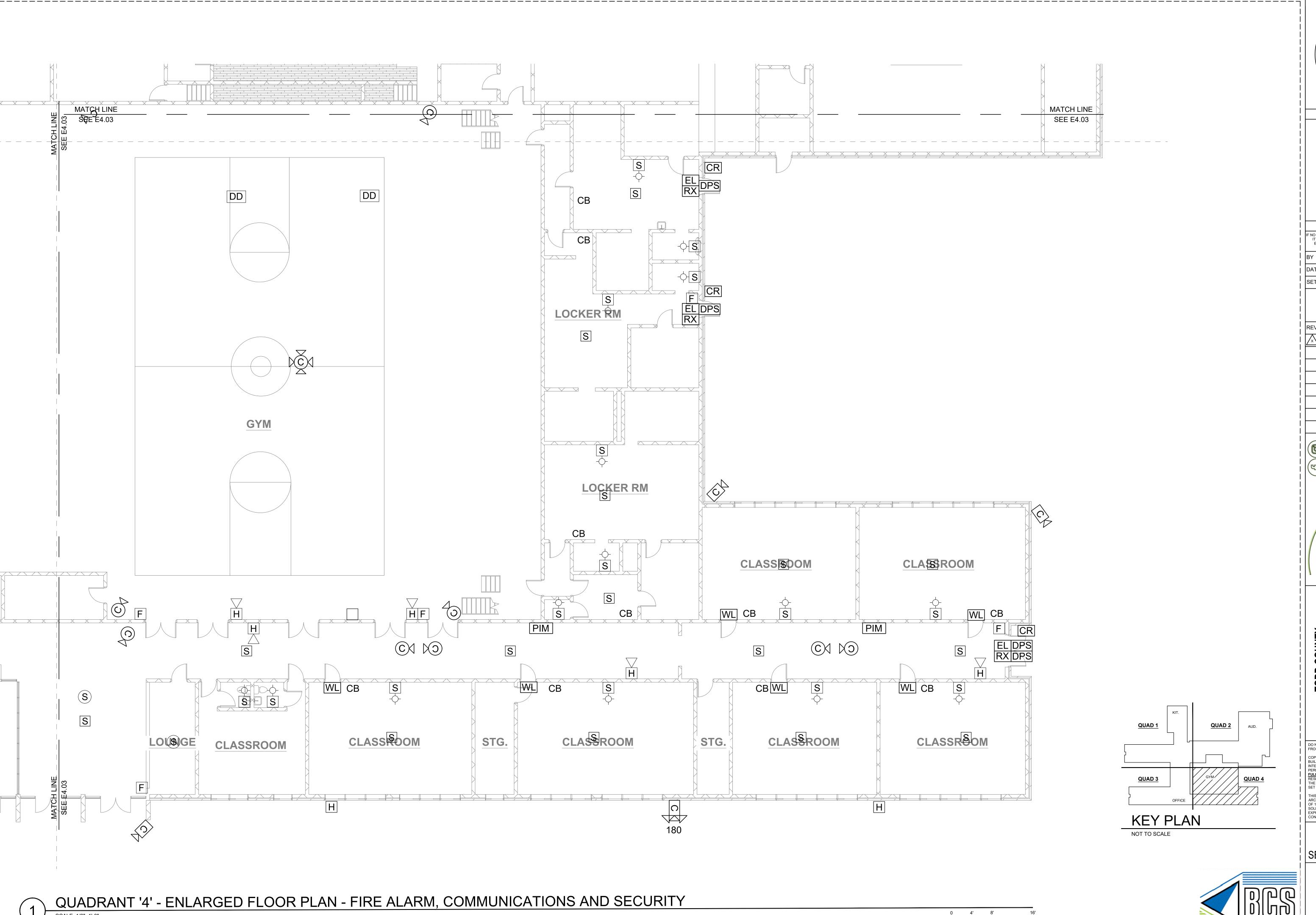
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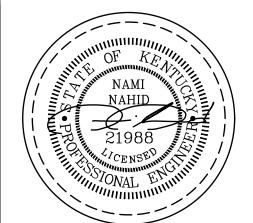
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E4.02







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(606)687 - 9233

AL HIGH SCHOOL

806 SOUTH MAIN ST ELKTON, KENTUCKY 42

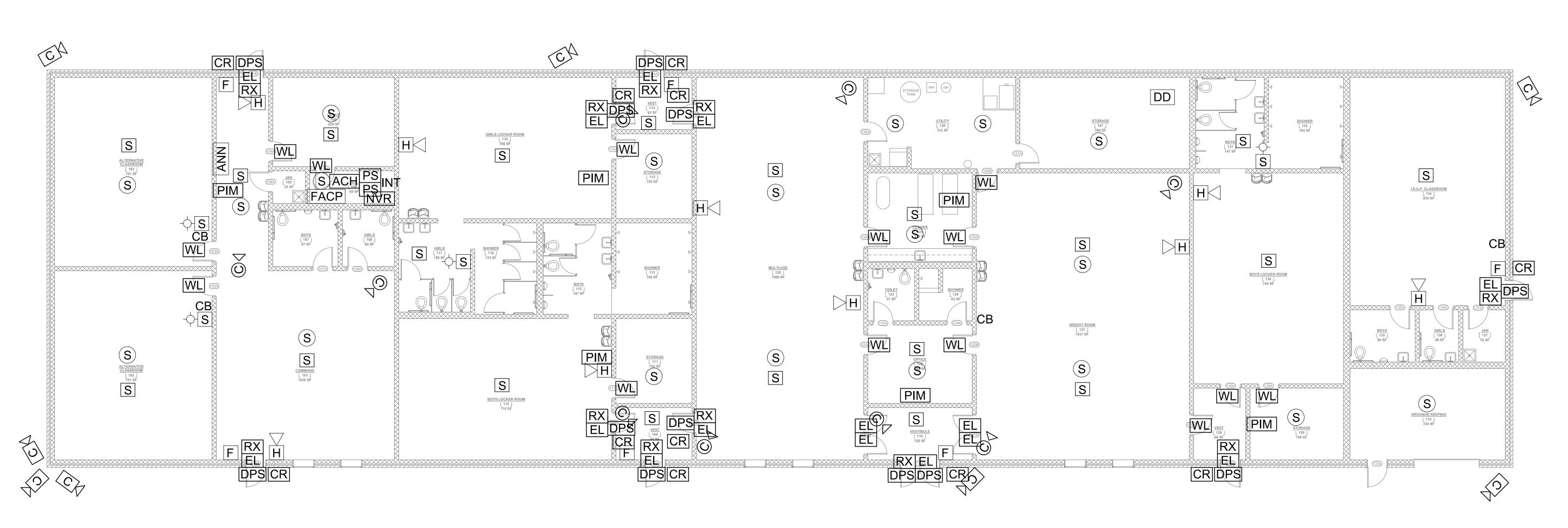
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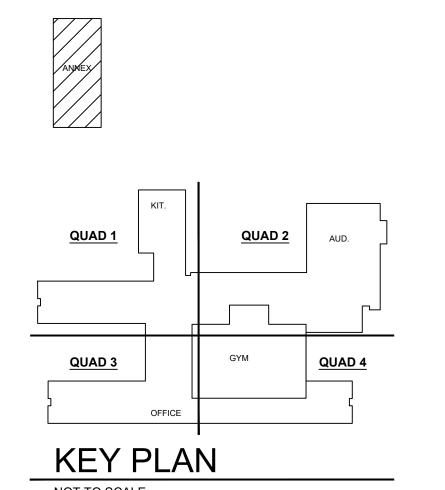
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FIRE ALARM, COMMUNICATIONS, SECURITY QUADRANT 4

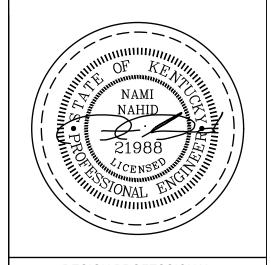
E4.04



ANNEX-FIRE ALARM, COMMUNICATIONS AND SECURITY







ENGINEERING

MECHANICAL - ELECTRICAL - PLUMBING

DO JUSTLY, LOVE MERCY AND WALK HUMBLY

- Micah 6:8

1830 DESTINY LANE SUITE 113

BOWLING GREEN, KY 42104

270-599-0182

PLAN REVIEWER

IF NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
ENSURE THAT ALL PERMITS AND APPROVALS ARE
OBTAINED PRIOR TO COMMENCING WORK.

BY KEL - EJS

DATE 02/18/2021
SET CONSTRUCTION DOCUMENTS

REVISION DESCRIPTION

REVISION DESCRIPTION

ARCHITECTS
Somerset, Kentucky
(606)687 - 9233
www.decoarchitects.co

TODD COUNTY ENTRAL HIGH SCHOOL RENOVATION 2020

806 SOUTH MAII ELKTON, KENTUCK

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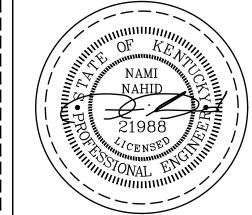
FIRE ALARM, COMMUNICATIONS, SECURITY ANNEX

E4.05



## FIELD CAMERA NOTES:

- AREAS SHADED IN REPRESENT CAMERA COVERAGE. TYPICAL
- 2. CCTV CONTRACTOR SHALL PROVIDE AND INSTALL WIRELESS BRIDGE FOR FIELD CAMERA INSTALLATION. TYPICAL
- 3. CCTV CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER REQUIREMENTS FOR FIELD CAMERAS.TYPICAL



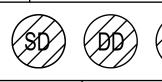
DESIGN PROFESSIONAL



	MECHAN	DO JUSTLY	# _	
PLAN RE	/IEV	VER		
STAMP IS PRESENT, PLAN IS THE RESPONSIBILITY CENSURE THAT ALL PERMITS OBTAINED PRIOR TO CO	F THE S AND	CON APPF	TRACTOR ROVALS AF	TC

02/18/2021					
CONSTRUCTION DOCU					
7> <i>(</i> ?>					

KEL - EJS



REVISION	DESCRIPTION
X DD/MM/YYYY	REVISION DESCRIPTION



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FIELD CAMERA COVERAGE

FIELD CAMERA COVERAGE

E4.06

