



SEWELL INSPECTIONS, TESTING AND ENGINEERING PO BOX 22651 NASHVILLE, TN 37202 PHONE (270) 779-3161

1830 DESTINY LANE, SUITE 113 . BOWLING GREEN, KY **ACT JUSTLY . LOVE MERCY . WALK HUMBLY**

MICAH 6:8

PROJECT ARCHITECT

MEP CONSULTANT

CIVIL ENGINEER



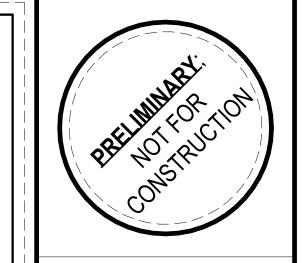
AN EDUCATIONAL FACILITY RENOVATION FOR TODD COUNTY MIDDLE SCHOOL ELKTON, KENTUCKY

GENERAL SERIES (DECO ARCHITECTS)	
G1.00 COVER SHEET	NOTE TO PLAN REVIEWER THE INTENT OF THIS PROJECT IS TO UPGRADE TO AN ACCESS CONTROL SYSTEM, RENOVATE SELECTED RESTROOMS AND
G2.00 WATER BOTTLE FILLING STATION PLAN	THE INTENT OF THIS PROJECT IS TO UPGRADE TO AN ACCESS CONTROL SYSTEM, RENOVATE SELECTED RESTROOMS AND MECHANICAL SYSTEMS. AND PERFORM VARIOUS MAINTENANCE UPGRADES IN SELECTED AREAS. NO ADDITIONAL SQUARE
G3.00 GENERAL NOTES	FOOTAGE WILL BE ADDED TO THE BUILDING.
CIVIL SERIES (SEWELL INSPECTIONS TESTING AND ENGINEERING)	OCCUPANY
C5.00 MS PAVEMENT REPAIRS & IMPROVEMENTS	OCCUPANYE CONSTRUCTION TYPEIII-B
C5.01 ELECTRICAL SCHEDULES & LEGENDS	BUILDING AREA (ALL AREA UNDER ROOF) FIRST FLOOR61,466 SQFT T0TAL
	BASEMENT
DEMOLITION SERIES (DECO ARCHITECTS)	STORIES ABOVE GRADE
D1.00 MASTER DEMO PLAN	STORIES ABOVE GRADE
D1.01 DEMOLITION ENLARGED AREA A / B	ALLOWABLE H&A PER 2018 KBC CHAPTER 5*2 STORIES (ABOVE GRADE)
D1.02 DEMOLITION ENLARGED AREA C D1.03 DEMOLITION ENLARGED AREA D	OCCUPANT LOAD
D1.03 DEMOLITION ENLARGED AREA E	ALLOWABLE FIRE AREA PER SECTION 903.2.1.3N/A
D1.05 DEMOLITION ENLARGED AREA F	FIRE SUPPRESIONYES. 100% SPRINKLERED BY EXISTING SYSTEM
D1.06 DEMOLITION ENLARGED RESTROOM PLANS	FIRE RATINGSN/A FIRE ALARM REQUIRED PER SECTION 907.2.1EXISTING SYSTEMS IN PLACE
	SMOKE DETERCTOR REQUIREDEXISTING SYSTEMS IN PLACE
ARCHITECTURAL SERIES (DECO ARCHITECTS)	ALLOWABLE LENGTH OF DEAD END CORRIDORS PER 1018.450'-0"
A1.00 MASTER FLOOR PLAN	ALLOWABLE EXIT ACCESS TRAVEL DISTANCE PER TABLE 1016.2250'-0" FIRE SEPARATION REQUIREMENTS PER TABLE 508.4
A1.01 ENLARGED AREA A / B	TIME OF AIRMIDITAL QUINCIVIENTO FEIX TABLE 300.4IV/A
A1.02 ENLARGED AREA C	$Aa = \{At + [At \times If] + [At \times Is]\}$
A1.03 ENLARGED AREA D	Aa = 38,000 SQFT
A1.04 ENLARGED AREA E	PROJECT LOCATION WITHIN CITY LIMITSYES, ELKTON
A1.05 ENALRGED AREA F	COUNTYTODD COUNTY
A1.06 ENLARGED RESTROOM PLANS A1.07 ENLARGED RESTROOM ELEVATIONS / DETAILS	NUMBER OF BUILDINGS IN THIS SUBMITTAL1
A1.07 ENLARGED RESTROOM ELEVATIONS / DETAILS A1.08 ENLARGED RESTROOM ELEVATIONS / DETAILS	USE OF BUILDING(S)EDUCATIONAL BUILDING(S) IN THIS PROJECT IS/AREPNEW FREESTANDING BUILDING
A1.09 REFLECTED CEILING PLAN - GYMNASIUM BAFFLES	Mew Addition to Existing Structure
A4.00 SCHEDULES	RENOVATION ONLY
	RENOVATION & ADDITION
MECHANICAL SERIES (SKY ENGINEERING)	TOTAL AREA IN NEW BUILDING OR ADDITIONN/A
M1.00 MECHANICAL DEMO PLAN	NUMBER OF LEVELS (INCLUDING BASEMENT)2
M1.01 MECHANICAL ROOMS ENLARGED NEW/DEMO PLANS	BASEMENTYES
M1.02 MECHANICAL ROOMS ENLARGED NEW / DEMO PLAN	TOTAL AREA IN EXISTING BUILDING
M2.00 MECHANICAL NEW PLAN	ESTIMATED COMPLETION DATEASAP
M2.01 MECHANICAL SCHEDULES	
ELECTRICAL SERIES (SKY ENGINEERING)	PLUMBING DATA
,	DESIGN CAPACITY OF BUILDINGNO INCREASE IN OCCUPANT LOAD
E0.01 ELECTRICAL SCHEDULES & LEGENDS	ARE RESTROOMS ACCESSIBLE TO PUBLIC
E0.02 ELECTRICAL POWER DISTRIBUTION	ARE RESTROOMS ACCESSIBLE TO DISABLE
E1.00 ENLARGED MECH RM - ELECTRICAL DEMO AND NEW WORK	☐ PRIVATE
E1.02 ELECTRICAL DEMO PLAN C&D	WATER SUPPLYPUBLIC
E1.03 ELECTRICAL POWER AND LIGHTING AREA C&D	RILLED WELL CISTERN
E2.00 OVERALL FLOOR PLAN ELECTRICAL DEMO	☐ HAULED WATER
E2.01 OVERALL FLOOR PLAN - POWER AND LIGHTING	☐ ROOF WATER
E3.00 OVERALL FLOOR PLAN - FIRE ALARM AND PA	SPRING STEAM
SYSTEM 53.04 OVERALL FLOOR BLAND ACCESS	IF PRIVATE INDICATE THE TYPE AND DESIGN
E3.01 OVERALL FLOOR PLAN - CCTV AND ACCESS CONTROL	I THOME INDICATE THE THE PRODUCTION
PLUMBING SERIES (SKY ENGINEERING)	
P1.01 PLUMBING ENLARGED FLOOR PLAN	
P1.01 PLUMBING ENLARGED FLOOR PLAN P1.02 PLUMBING ENLARGED FLOOR PLAN	
FIRE PROTECTION SERIES (SKY ENGINEERING)	
FP1.01 FIRE INTENT PLAN, NOTES & DTL	
ABLE OF CONTENTS	PROJECT DATA
	FNOULOIDAIA
	THE STATE OF KENTUCKY ENFORCES THE FOLLOWING BUILDING CODES (PROVIDED BY THE DEPARTMENT OF HOUSING,
	BUILDINGS AND CONSTRUCTION - DIVISION OF BUILDING CODES ENFORCEMENT):
	2018 KENTUCKY BUILDING CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE)
	2018 KENTUCKY BUILDING RESIDENTIAL CODE (BASED ON THE 2012 INTERNATION RESIDENTIAL CODE)
	2015 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FIRE CODE (NEW CONSTRUCTION PROJECTS, ONLY WHEN SPECIFICALLY REFERENCED BY THE BODY C
	KBC)
RECIPIENT:	2012 INTERNATIONAL ENERGY CONSERVATION CODE
	2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES KENTUCKY STATE PLUMBING LAW, REGULATIONS & CODE (815 KAR CHAPTER 20)
CLIENT REVIEW	STATE BOILER REGULATION (KRS 236, 815 KAR 15)
DHBC LOCAL	2012 NFPA I FIRE PREVENTION CODE (AS DIRECTED BY 815 KAR 10:60 KENTUCKY STANDARDS OF SAFETY)
KDE	2010 NFPA 13- STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS
-	2010 NFPA 13D- SPRINKLER SYSTEMS IN ONE- AND TWO-FAMILY DWELLINGS AND MANUFACTURED HOMES 2010 NFPA 13R- STANDPIPE, HOSE SYSTEMS
DOCUMENT TYPE:	2009 NFPA 54- NATIONAL FUEL GAS CODE
	2017 NFPA 70- NATIONAL ELECTRICAL CODE

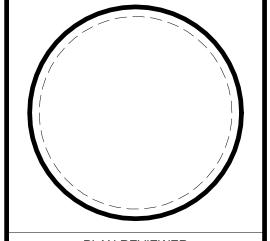
KENTUCKY BUILDING CODES

PUBLIC BID. DESIGN-BUILD.

SCOPE OF SERVICES



DESIGN PROFESSIONAL



PLAN REVIEWER

O STAMP IS PRESENT, PLAN REVIEW MAY BE PENDI IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

02/16/2021

CLIENT REVIEW

FAB, KCC, CLP, JEP

DESCRIPTION



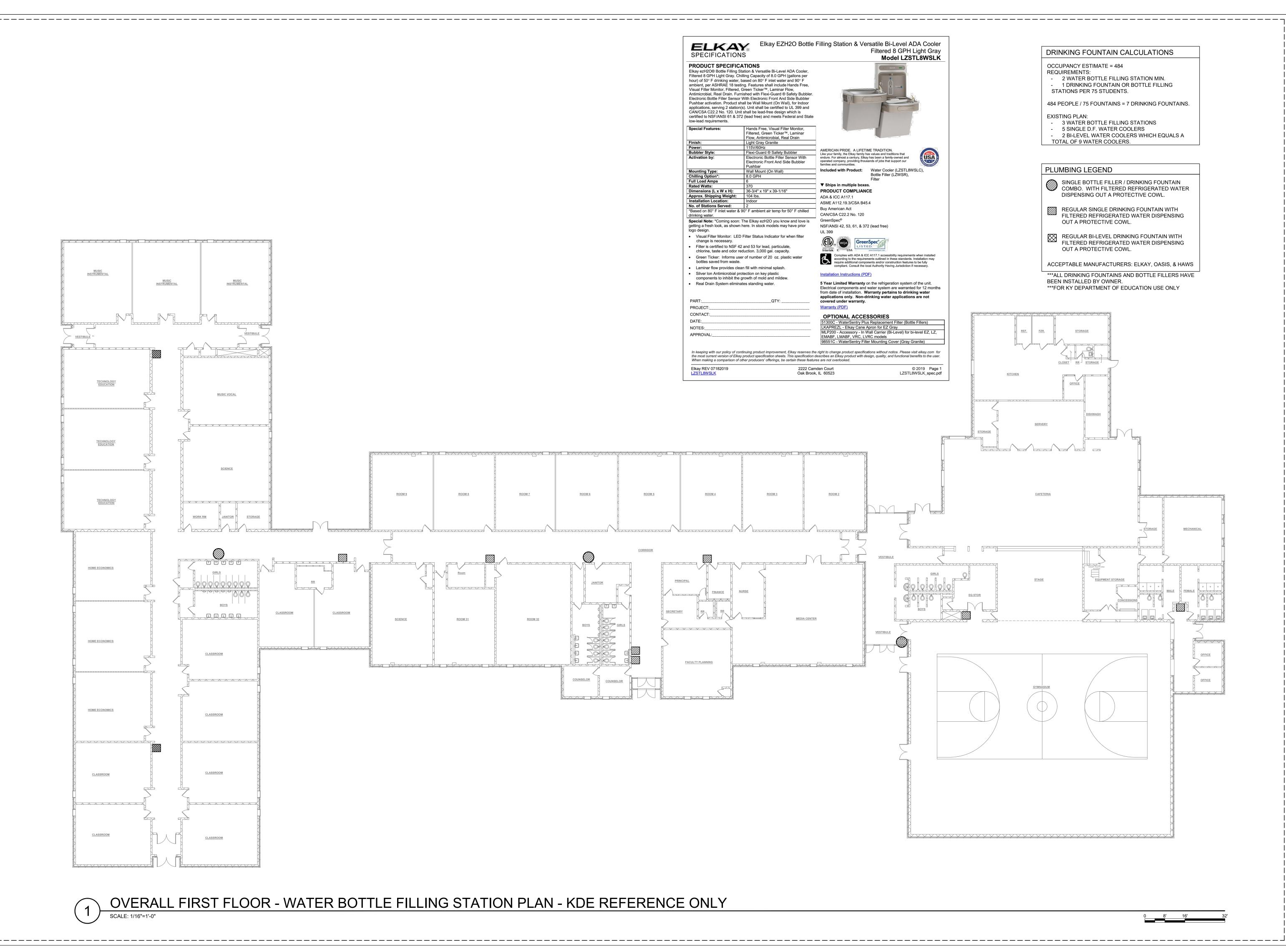
JILDING OFFICIALS AND CONTRACTORS WITH THE TENT OF CONSTRUCTING NAMED PROJECT IS SPONSIBLE FOR WORK THAT DOES NOT ADHERE TO E DESIGN INTENT ESTABLISHED BY THE **COMPLETE**

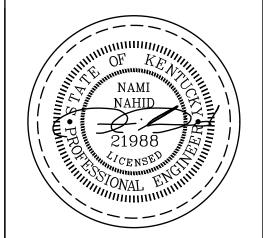
CHITECTURAL WORKS COPYRIGHT PROTECTION AC

COVER SHEET

G1.00

GENERAL







PLAN REVIEWER

NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
ENSURE THAT ALL PERMITS AND APPROVALS ARE
OBTAINED PRIOR TO COMMENCING WORK.

DATE 02/18/2021

ET CONSTRUCTION DOCUMENTS



SCRIPTION

REVISION DESCRIPTION

REVISION DESCRIPTION

ARCHITECTS
Somerset, Kentucky
(606)687 - 9233
www.decoarchitects.co

RENOVATION 2020

TODD COUNTY

TODD COUNTY

STANDARD TO THE MAN TON OU

ELKTON, KE

ELKTON, KE

FROM THE DRAWING BORDER.

COPYING THESE DOCUMENTS FOR DISTRIBUTION TO BUILDING OFFICIALS AND CONTRACTORS WITH THE INTENT OF CONSTRUCTING NAMED PROJECT IS PERMITTED, PROVIDED THAT EACH PARTY IS ISSUED A FULL SET OF DOCUMENTS. THIS ARCHITECT IS NOT RESPONSIBLE FOR WORK THAT DOES NOT ADHERE TO THE DESIGN INTENT ESTABLISHED BY THE COMPLETE SET OF CONSTRUCTION DOCUMENTS.

THIS WORK IS PROTECTED UNDER THE UNITED STATES ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ALL ORIGINAL WORK HEREIN REMAINS THE SOLE PROPERTY OF DECO ARCHITECTS UNLESS EXPRESSLY TRANSFERRED THROUGH WRITTEN CONTRACT

WATER BOTTLE FILLING
STATION PLAN

G2.00

PLUMBING

ACCESSIBILITY

THE FOLLOWING NOTES ARE ADA GUIDELINES AND ARE FOR GENERAL INFORMATION ONLY. LISTED ITEMS DO NOT REPLACE OR MEND FEDERAL, STATE OR LOCAL CODES. IN THE CASE OF CONFLICT IN THE REQUIREMENTS OF AUTHORITIES HAVING

ALL EXTERIOR DOORS SHALL HAVE A 24" CLEAR HORIZONTAL OPEN SURFACE/AREA AT THE STRIKESIDE/PULLSIDE OF DOORS. AL TERIOR DOORS SHALL HAVE 18" CLEAR AT THE STRIKESIDE/PULLSIDE OF DOORS. PROVIDE 12" CLEAR HORIZONTAL SURFACE ON I'HE PUSH SIDE/STRIKE OF ALL DOORS. ALL LOCKSETS SHALL HAVE A LEVER HANDLE UNLESS NOTED OTHERWISE AND SHALL OPEN FROM INSIDE OF THE SPACE WITH ONE MOTION AND REQUIRE NO SPECIAL KNOWLEDGE OR EFFORT. THUMB-TURNS OR SEPARATE DEADBOLTS ARE NOT ALLOWED ON EGRESS DOORS.
2. THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT AND SHALL HAVE A SLOPE NO GREATER THAN 1:2

ALL EMERGENCY EXITING ALARM AND SIGNAGE TO COMPLY WITH FEDERAL, STATE AND MUNICIPAL CODES FOR ACCESSIBILITY.
GENERAL CONTRACTOR SHALL ALLOW FOR APPLIED FINISH DIMENSIONS IN ADDITION TO STANDARD CONSTRUCTION TOLERANCES IN ACHIEVING ALL ACCESSIBILITY CLEARANCES PER DRAWINGS AND/OR ADA GUIDELINES. 5. EMERGENCY WARNING SYSTEMS SHALL COMPLY WITH ADA REQUIREMENTS FOR THE HEARING IMPAIRED. VISUAL WARNING TROBE LIGHTS TO BE DESIGNED TO HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.

WARRANTIES AND RECORDS

RISDICTION, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

THE GENERAL CONTRACTOR SHALL GUARANTEE THE WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF THE 2. THE GENERAL CONTRACTOR SHALL PERFORM A ONE (1) YEAR WARRANTY WALK-THROUGH/INSPECTION WITH THE OWNER'S 3. THE CONTRACTOR SHALL LEAVE A COPY OF REDLINED AS-BUILT DRAWINGS FOR THE OWNER/OWNER'S REPRESENTATIVE TING ALL REVISIONS OF WORK UPON COMPLETION OF CONSTRUCTION. UPON COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT IS MADE. THE CONTRACTOR SHALL SECURE AND DELIVER TO HE OWNER ALL GUARANTEES AND/OR WARRANTIES ON ALL EQUIPMENT SUPPLIED AND/OR INSTALLED BY THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS, AND ALL OPERATIONS/MAINTENANCE MATERIALS.

GENERAL CODES/ STANDARDS

I. GIVE ALL NOTICES AND COMPLY WITH ALL NATIONAL. STATE AND LOCAL LAWS. ORDINANCES. CODES. RULES AND REGULATIONS ARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT ARIANCE THEREWITH, PROMPTLY NOTIFY THE ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE ENERAL CONDITIONS OR STANDARD BEST PRACTICE. 2. ALL RATED ASSEMBLIES SHALL BE CONSTRUCTED ACCORDING TO THE U.I. DESIGN SPECIFICATIONS OF SUCH ASSEMBLY AND BE INSTALLED IN ACCORDANCE WITH THE U.I. SPECIFICATIONS. B. IF THE CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE/SHE SHALL PROMPTLY MAKE CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS

I. THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSPECTIONS AND FINAL WRITE-OFFS FOR PROJECT COMPLETION.

5. IN CASE OF CONFLICTS IN THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, THE MOST RESTRICTIVE REQUIREMENTS S. WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE DOCUMENTS - IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.

7. LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO LOCAL, STATE AND ALL GOVERNING. 3. THE CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS NECESSARY TO OBTAIN CERTIFICATE OF OCCUPANCY.

9. THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE LENGTH OF HIS/HER CONTRACT, EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS TO CONFORM TO LOCAL BUILDING CODE REQUIREMENTS AND LANDLORD/OWNER REQUIREMENTS. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND/OR MISALIGNMENT IN ACCORDANCE WITH APPLICABLE CODES, TANDARDS AND GENERALLY ACCEPTED BEST PRACTICE. 11. WORK AND/OR CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION PECIFIED WITHIN THESE DOCUMENTS, OR ANY EXISTING CONSTRUCTION 12. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD (IF APPLICABLE) SHALL BE FIRE RETARDANT TREATED THE CONTRACTOR SHALL PROVIDE BACK FLOW DEVICES AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES.

CALLOUT HEAD

CENTERLINE

DOOR TAG

ELEVATION MATERIAL TAG

EXTERIOR ELEVATION TAG

FIRE RATING SYMBOL

FLOOR FINISH ELEVATION

LEVEL MARKER

ROOM TAG

SECTION HEAD

SHEET NOTE TAG

WALL TAG

WINDOW TAG

INDICATES LOCATION OF CALLOUT

INDICATES THE CENTER OF DOOR

INDICATES EXTERIOR MATERIALS

AND WINDOW DIMENSIONS

INDICATES DOOR TYPE

INDICATES ORIENTATION

IN RELATION TO PLAN VIEW

INDICATES REQUIRED FIRE

RATING OF A BUILDING ELEMENT

INDICATES ELEVATION HEIGHTS

INDICATES ROOM NAME AND

INDICATES LOCATION OF

INDICATES RELATION OF ELEMENT

WITH PROVIDED SHEET NOTE

SECTION DRAWINGS

INDICATES WALL TYPE

SQUARE FOOTAGE

INDICATES HEIGHT OF FINISH FLOOR

OF ELEVATIONS

1 — DRAWING NUMBER

A101 + DRAWING SHEET

(101)

Name Elevation

<u>Room name</u>

101 ROOM NUMBER

 $\langle 1t \rangle$

DRAWING SHEET

MISC CONSTRUCTION NOTES

PRECAUTIONS FOR THEIR PROTECTION AND PERSONAL SAFETY.

POUND OR NUMBER

AREA DRAIN

ALUM ALUMINUM

ANOD ANODIZED

BSMT BASEMENT

BOTTOM

CEILING

COLUMN

COMP COMPRESSIBLE

CARPET

CERAMIC TILE

DIAMETER

DIMENSION

DEMO DEMOLISH OR DEMOLITION

EXPANSION JOINT

ELEV ELEVATOR OR ELEVATION

FEC FIRE EXTINGUISHER CABINET

GYPSUM WALL BOARD

HVAC HEATING, VENTILATING, AND AIR

EPDM ETHYLENE PROPYLENE DIENE M-CLASS

FLOOR DRAIN OR FIRE DEPARTMENT

CONC CONCRETE

CONT CONTINUOUS

CTYD COURTYARD

DIMS DIMENSIONS

DOOR

EACH

ELEC ELECTRICAL

(ROOFING)

EXT

FIXT

FLR

FM

FO

FND

GWB

HC

HI

HR

EQ EQUAL

EXIST EXISTING

ELEVATION

EXP JT EXPANSION JOINT

EXTERIOR

FIXTURE

FLOOR

FACE OF

GAUGE

GALV GALVANIZED

HIGH

HOUR

CONDITIONING

FILLED METAL

FOUNDATION

HOLLOW CORE

HOLLOW METAL

HIGH POINT

DWG DRAWING

DBL DOUBLE

CLEAR

CAST IN PLACE

CONTROL JOINT

BYND BEYOND

CHNL CHANNEL

ACOUSTIC CEILING TILE

ABOVE FINISHED FLOOR

CONCRETE MASONRY UNIT

ACT

AD

AFF

BOT

CLG

CLR

CMU

COL

DIM

DR

EΑ

ΕJ

CIP

1. IF THIS ARCHITECT(S) SCOPE OF WORK INCLUDES PERIODIC CONSTRUCTION INSPECTION DUTIES; DIRECT ALL QUESTIONS AND CORRESPONDENCE TO THE ARCHITECT. ALL SHOP DRAWINGS AND RELATED DRAWINGS TO BE REVIEWED AND APPROVED BY GE PREVIOUS TO SENDING TO THE ARCHITECT. THE MEANS AND METHODS OF CONSTRUCTION ARE LEFT TO THE GENERAL CONTRACTOR. HIS SUBCONTRACTORS AND VENDORS TO URNISH AND INSTALL AS NECESSARY FOR A COMPLETED PROJECT, ANY QUESTIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE 3. IN CASE OF A BID PROJECT - THE GENERAL CONTRACTOR SHALL FURNISH ALL MATERIALS & EQUIPMENT SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED OR AGREED UPON AMONG OWNER AND CONTRACTORS. WRITTEN BIDS FROM SUBCONTRACTORS AND

EXCEPTION: REFER TO LISTING OF ITEMS TO BE FURNISHED BY OWNER, AND ITEMS FURNISHED BY OWNER AND INSTALLED BY GC. 4. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING PERSONALLY AND CONDUCTING ANY RESEARCH OR INVESTIGATIONS THEY DEEM NECESSARY FOR THE PLANNING AND EXECUTION OF THEIR WORK. THE SUBMISSION OF A WRITTEN BID OR PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR(S) HAVE FAMILIARIZED THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR THE MATERIALS AND/OR LABOR DUE TO DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED, UNLESS THESE DIFFICULTIES COULD NOT HAVE BEEN FORSEEN EVEN THOUGH 5. THE GENERAL CONTRACTOR AND OWNER AGREE THAT ANY UNFORSEEN CONDITION THAT IS DISCOVERED DURING THE BIDDING AND THE

VENDORS SHOULD SPELL OUT ALL LABOR/WORK/MATERIALS OR ANY SPECIAL ARRANGEMENTS TO BE PROVIDED BY OWNER OR OTHERS.

ONSTRUCTION PHASES WILL BE CALLED TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND OWNER IMMEDIATELY FOR A SOLUTION BEFORE PROCEEDING WITH THE WORK. 6. THE OWNER WILL BE RESPONSIBLE FOR PAYMENT OF THE LOCAL AND STATE BUILDING DEPARTMENT ARCHITECTURAL PLAN REVIEW EES. THIS PAYMENT WILL BE MADE IN FULL BEFORE SUBMISSION FOR PLAN REVIEW. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY BUILDING OR TRADE PERMITS, LICENSE, INSPECTIONS, ETC. AND CONTRACTING THE ARCHITECT FOR ANY REQUIRED PLAN REVISIONS FOR CODE REQUIREMENTS, UNLESS THERWISE AGREED UPON IN WRITING WITH THE OWNER. BEFORE COMMENCING WORK ALL SUBCONTACTORS AS NECESSARY BY THEIR SCOPE OF WORK, AND AS DIRECTED BY THE GENERAL NTRACTOR, SHALL VERIFY THE LOCATION OF ALL ACTIVE UTILITIES, UNDERGROUND AND OVERHEAD, IN ORDER TO TAKE ALL

9. ALL SUBSTRATES ARE RESPONSIBLE FOR CLEANING UP ALL OF THEIR RELATED CONSTRUCTION DEBRIS DAILY AND REMOVING THEM

FROM THE JOB SITE OR PUTTING THEM IN JOB DUMPSTER. EACH SUBTRADE WILL BE CHARGED FOR ANY RELATED EXPENSE TO DO THIS 10. ALL EQUIPMENT ROUGH-IN DIMENSIONS AND UTILITY REQUIREMENTS ARE NOT DETAILED ON THESE DRAWINGS. THIS INFORMATION WILL NEED VERIFIED BY GENERAL CONTRACTOR AND RELATED SÜBTRADES OR VENDORS WITH SUPPLIERS TO ENSURE A PROPER FIT AND CORRECT POWER CONNECTIONS. THIS INCLUDES ITEMS FURNISHED BY OTHER VENDORS AND THE OWNER. FAILURE TO DO SO SHALL ACE ANY RELOCATION EXPENSE DIRECTLY UPON THAT CONTRACTOR. THE STRUCTURAL INTEGRITY OF THE PROPOSED BUILDING SHALL BE MAINTAINED BY ALL TRADES AT ALL TIMES THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION, PROVIDING AND MAINTAINING SITE SANITARY FACILITIES, TEMPORARY UTILITIES. CONSTRUCTION DEBRIS COLLECTION AND REMOVAL OF DUMPSTERS. AS COORDINATED WITH THE OWNER. . THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING ALL LABOR, TOOLS, EQUIPMENT, INCLUDING POWER LULLS/LIFTS. SCAFFOLDING. MATERIALS. ETC. NECESSARY TO UNLOAD AND INSTALL THEIR RELATED SCOPE OF WORK ITEMS.

*THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION " AIA 201 PURLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, ARE HEREBY PART OF THESE DRAWINGS AND SPECIFICATIONS (IF SPECIFICATIONS ARE APPLICABLE). ALL CONTRACTORS (GENERAL AND SUBCONTRACTORS) SHALL COMPLY WITH THE REQUIREMENTS FOR INSURANCE, BONDS AND WAIVERS OF LIEN, AS OUTLINED IN THE LATEST EDITION OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (AIA 201) PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS. FURTHER, THE GENERAL CONTRACTOR AND SUBCONTRACTORS, SUB-UBCONTRACTORS, VENDORS, SUPPLIERS ETC. ARE RESPONSIBLE FOR OBTAINING AND MAINTAINING INSURANCE FOR GENERAL LIABILITY AND WORKMAN 5/32 S COMPENSATION IN THE MIN. AMOUNTS AS REQUIRED BY STATE STATUTES ON THIS PROJECT. THIS INCLUDES STORED MATERIALS NOT YET INVOICED FOR AND/OR ALL MATERIALS AND EQUIPMENT STORED OFF SITE. 2. BY BIDDING AND CONTRACTING ANY OF THIS PROJECT(S) WORK ALL PARTIES AGREE TO NON-BINDING MEDIATION AS THE PRIMARY METHOD TO RESOLVE ANY CONFLICT/DISPUTES THAT ARIST DURING OR FOLLOWING THE COMPLETION OF THE PROJECT, UNLESS THE PARTIES INVOLVED MUTUALLY AGREE OTHERWISE. THE PARTIES FURTHER AGREE TO REQUIRE ALL INDEPENDENT CONTRACTORS CONSULTANTS TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, ETC.

3. THE GENERAL CONTRACTOR, OWNER, SUBCONTRACTORS, SUB-SUBCONTRACTORS, CONSULTANTS, SUPPLIERS, FABRICATORS, C. AND ANY OTHER PERSONS SHALL NOT MAKE ANY MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL OF THE ABOVE AGREE TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ALL CLAIMS, LOSSES AND EXPENSES INCLUDING ATTORNEYS FEES AND DEFENSE COSTS ARISING OUT OF ANY UNAUTHORIZED REUSE OR MODIFICATIONS OF THE CONSTRUCTION DOCUMENTS BY THE CONTRACTORS, OWNER OR OTHER PERSONS.

4. ALL INSTRUCTIONS TO BIDDERS (IF APPLICABLE) TO BE AS COORDINATED BY THE GENERAL CONTRACTOR AND THE OWNER. THIS WILL INCLUDE A "WORK BY OWNER" LIST AND "WORK BY VENDORS" LISTS.
5. ALL CONTRACTS, AGREEMENT FORMS, & RELATED CONTRACT SCOPES OF WORK, AGENDAS, AND ALLOWANCES SHALL BE AGREED UPON IN WRITING BY THE GENERAL CONTRACTOR AND SUBCONTRACTOR, THE GENERAL CONTRACTOR AND VENDOR, AND THE OWNER AND GENERAL CONTRACTOR AND AUTHORIZED BY OWNER'S SIGNATURE 6. CERTIFICATES OF INSURANCE FOR EACH SUBTRADE AND VENDOR, ETC. SHALL BE KEPT ON FILE BY GENERAL CONTRACTOR AND PRESENTED TO OWNER BEFORE FIRST WORK IS BEGUN.

7. ALL FEDERAL, OSHA, STATE AND LOCAL SAFETY STANDARDS ARE TO BE MAINTAINED BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUB-SUBCONTRACTORS UNTIL FINAL COMPLETION AND CERTIFICATE OF OCCUPANCY ISSUED BY GOVERNMENTAL AGENCIES 8. IF APPLICABLE, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSIGNING ALL RELATED WORK AREAS AS PER HIS COMPANY'S PROJECT BUYOUT POLICIES SO AS TO PROVIDE A FINISHED. OPERATIONAL SITE AND BUILDING WITH COMPLETE AND FUNCTIONING SYSTEMS. THE TRADE 5/32 S WORK AREAS AS OUTLINED IN PLANS, NOTES AND SPECIFICATIONS DO NOT HAVE TO REMAIN AS ASSIGNED HEREIN, BUT ALL NEED TO BE ADDRESSED IN THE FINAL CONSTRUCTION BID PACK AS DETERMINED BY THE GC/CM

IRGWB IMPACT RESISTANT GYPSUM WALL

INSULATED OR INSULATION

IN LIEU OF

INTERIOR

MAXIMUM

MASONRY OPENING

NOT IN CONTRACT

PRE-CAST CONCRETE

PRESSURE TREATED

POLYVINYL CHLORIDE

REFLECTED CEILING PLAN

SPECIFIED OR SPECIFICATION

SPRINKLER OR SPEAKER

STAINLESS STEEL

TO MATCH EXISTING

TOP OF CONCRETE

TELEPHONE/DATA

TOP OF STEEL

TELEPHONE

TOILET

TOP OF

TYPICAL

WITH

WOOD

UNDERSIDE

VERIFY IN FIELD

VISION PANEL

PAINT OR PAINTED

MRGWB MOISTURE-RESISTANT GYPSUM

OVERHANG OR OPPOSITE HAND

OPPOSITE OR OPPOSITE HAND

LOW

MECH MECHANICAL

MINIMUM

METAL

NUMBER

OUNCE

PLYWOOD

RUBBER

ROOF DRAIN

REQUIRED

ROOM

SIMILAR

PLUMB PLUMBING

NOMINAL

ON CENTER

MEMBR MEMBRANE

WALL BOARD

ILO

LO

MAX

MO

MTL

NOM

ΟZ

PCC

RCP

REQD

SPEC

SPK

SSTL

STC

STL

TELE

TLT

TME

TPD

W/

WD

COEFFICIENT

PLYD

CONTRACTOR STANDARD OF CARE

. CONTRACTORS ARE TO EXERCISE PROPER PRECAUTIONS TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK. CONTRACTORS ARE RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS. ANY SUCH RROR WILL NOT BE CONSIDERED AS A BASIS FOR A CHANGE ORDER OR EXTRA COMPENSATION 3. GENERAL CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF ALL WORK AND IS RESPONSIBLE FOR ALL LINES AND MEASUREMENTS (WITHIN REASONABLE TOLERANCES) OF THE BUILDING, UTILITIES AND OTHER WORK EXECUTED UNDER THIS CONTRACT.)
4. DIMENSIONS ARE TYPICALLY MEASURED FROM STUD TO STUD, UNLESS NOTED OTHERWISE. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

5. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" ALONG FULL HEIGHT AND FULL WIDTH OF WALLS.

6. DIMENSIONS OR ITEMS MARKED AS "FIELD VERIFY" OR "VIF (VERIFY IN FIELD)" SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. SHOULD ANY PROBLEMS ARISE IN THE FIELD, OR IF THE CONTRACTOR IS UNABLE TO DEDUCE DESIGN INTENT - IT IS THE RESPONSIBILITY OF SAID CONTRACTOR TO NOTIFY THE ARCHITECT FOR REMEDY.

7. WORK THAT IS NOT PARTICULARLY DETAILED DETAILED, NOTED OR SPECIFIED, SHALL BE CONSTRUCTED IN LIKE FASHION AS SIMILAR WORK THAT IS DETAILED. SHOULD ANY QUESTION ARISE IN THE FIELD OR IF DRAWINGS LACK A CLARITY THAT IS ACCEPTABLE TO THE GENERAL CONTRACTOR, THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDY. 8. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR INTERPRETATION. THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR THE RESULTS FROM INTERPRETATIONS OF OTHERS. 9. THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE/FULL-SIZE DETAILS. SHOULD SUBSEQUENT CLARIFICATIONS BE MADE BY REQUEST OF THE GENERAL CONTRACTOR OR OWNER, THESE DETAILS SHALL BECOME BINDING ELEMENTS OF THE CONTRACT DOCUMENTS AND SHALL BE TREATED AS SUCH. 0 DRAWINGS AND DIAGRAMS FOR MECHANICAL. ELECTRICAL. OR PLUMBING WORK SHALL BE CONSIDERED AS DIAGRAMMATIC ONLY SAID DRAWINGS ARE NOT TO BE USED FOR ANY STRUCTURAL GUIDANCE OR PHYSICAL LAYOUT UNLESS NOTED DISTINCTLY

OTHERWISE. IN CASE OF CONFLICT, UNLESS OTHERWISE NOTED, THE ARCHITECTURAL DRAWINGS SHOWING LOCATIONS FOR MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS AND ACCESSORIES SHALL TAKE PRECEDENCE. 11. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL, PLUMBING, AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, HOOKED-UP, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED. ALL COSTS FOR THIS ARE TO BE INCLUDED IN THE CONTRACTOR'S PROPOSAL. 12. ALL CONTRACTORS SHALL VERIFY DIMENSIONS AS RELATED TO THEIR SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIALS, EQUIPMENT, ETC.

. THE CONTRACTOR SHALL REMOVE, REPAIR, RESTORE AND REPLACE ANY WORK NECESSARY OR INDICATED ON THE DRAWINGS

OUT ALL NECESSARY OPENINGS AND REPAIR AFTER CUTTING WHERE NECESSARY. ALL PROTRUSIONS, MARKS, CRACKS, OR OTHER

EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY ITEMS WHICH ARE SPLIT, CRACKED, CHIPPED, SPALLED, BROKEN, MISSING, OUT OF ALIGNMENT, MECHANICALLY OR STRUCTURALLY UNSAF

OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR DAMAGED IN ANY MANNER SHALL BE REMOVED, REPLACED, RESTORED OR SATISFACTORILY REPAIRED AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND/OR ARCHITECT. 14. UPON NOTIFICATION, THE GENERAL CONTRACTOR SHALL ATTEND AND ENTERTAIN A PUNCH-LIST INSPECTION AND MAKE GOOD ON ALL PUNCH-LIST ITEMS (WITHIN REASONABLE LIMITS) TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO FINAL 15. THE GENERAL CONTRACTOR IS RESONSIBLE FOR ALL TRASH REMOVAL, INCLUDING TRASH MADE BY ALL OTHER TRADES, AND SHALL KEEP THE SPACE CLEAN AND CLEAR OF REFUSE AT ALL TIMES. 16. THE GENERAL CONTRACTOR SHALL PROVIDE A PROFESSIONAL CLEANING SERVICE FOR ALL AREAS OF THE PROJECT AT THE OMPLETION OF CONSTRUCTION, AND BEFORE TURNING THE PROJECT OVER TO THE OWNER/OWNER'S REPRESENTATIVE. WORK IS TO INCLUDE, BUT IS NOT LIMITED TO, ALL CEILING, FLOOR AND WALL SURFACES AND FIXTURES.

17. THE CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CL AND/OR CONDITION MANUFACTURED ARTICLES. MATERIALS AND/OR EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS. SHOULD A CONFLICT BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS BE DISCOVERED, THE CONTRACTOR

SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT BEFORE PROCEEDING 8. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS, INCLUDING BUT NOT LIMITED TO, TELEPHONE. DATA. "OWNER'S FORCES" ITEMS. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING TTING AND PATCHING REQUIRED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND

USE OF PREMISES

 CONSTRUCTION OPERATIONS ARE TO BE LIMITED TO AREAS DESIGNATED ON DRAWINGS. 2. VERIFY TIME RESTRICTIONS WITH OWNER AND GOVERNING BODIES. THIS OFFICE WILL WORK DILIGENTLY TO ASSIST THE GENERAL CONTRACTOR AND OWNER IN MEETING SAID TIME RESTRAINTS - BUT WILL NOT BE HELD RESPONSIBLE FOR ANY FAILURE TO DO SO. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO SET ATTAINABLE TIME RESTRAINTS FOR A SUCCESSFUL JOB. 3. ANY UTILITY OUTAGES SHALL BE COORDINATED WITH THE OWNER AND/OR OWNER.
4. GENERAL CONTRACTOR AND SUB CONTRACTORS ARE TO INSURE THAT INCONVENIENCE TO THE GENERAL PUBLIC IS HELD AT AN ABSOLUTE MINIMUM. COMPLY WITH APPLICABLE CODES AND SAFETY ORDINANCES. 5. GENERAL CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON THE SITE UNDER THIS CONTRACT.

6. ANY WORK THAT CAUSES EXCESSIVE NOISE, DUST OR ODORS IS TO BE CONDUCTED IN A MANNER THAT IS APPROVED BY THE OWNER AND/OR LANDLORD. IF APPLICABLE, THESE DUTIES ARE TO BE PERFORMED AFTER TENANT BUSINESS HOURS.
7. COORDINATE USE OF PREMISES FOR WORK WITH THE LANDLORD AND/OR OWNER PRIOR TO COMMENCEMENT OF WORK. 8. LIMIT USE OF SITE FOR WORK AND STORAGE TO AREAS DESIGNATED UNLESS SPECIFIC ADDITIONAL AREAS ARE ALLOWED IN WRITING BY THE OWNER AND/OR LANDLORD.

9. TEMPORARY SANITARY FACILITIES FOR WORKERS OF ALL TRADES SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE GENERAL CONTRACTOR. IF "CONTRACTOR-USE" FACILITIES DO NOT EXIST ON SITE. PERMANENT TOILETS INSTALLED ON THE PROJECT SHALL NOT BE USED DURING THE CONSTRUCTION OF THIS PROJECT. ALL FACILITIES AND SERVICES SHALL BE FURNISHED IN STRICT ACCORDANCE WITH EXISTING GOVERNING HEALTH REGULATIONS. 10. ARRANGE WITH THE LANDLORD/OWNER A CONVENIENCE TIME TO PERFORM ALL WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND BUILDING MANAGEMENT REQUIREMENTS.

HAZARDOUS MATERIALS

1. NO PROJECT ENVIRONMENTAL REPORT FOR ANY HAZARDOUS MATERIALS, INCLUDING RADON, SPILLED CHEMICALS, U.S.T.'S, ETC. WAS PROVIDED BY THE OWNER TO ARCHITECT, THEREFORE, THIS ARCHITECT ASSUMES NO LIABILITY SHOULD ANY CONDITION ARISE THAT COULD HAVE BEEN DISCOVERED OR PREVENTED HAD SUCH INVESTIGATIONS BEEN CONDUCTED. 2. THIS ARCHITECT HAS NO PROFESSIONAL LIABILITY FOR ANY CLAIMS REGARDING HAZARDOUS MATERIALS OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES TO INVESTIGATE OR REMEDIATE THE PRESENCE OF SAID MATERIALS

ARCHITECT'S DISCLAIMERS

COMPLIANCE ARISE IN THE FIELD, THIS ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.

1 IF DESIGN INDICATED HEREIN IS IN ANY WAY NOT FULFILLED. THROUGH INTENTIONAL OR UNINTENTIONAL DEVIATION - THIS DRAWING SET WILL BE RENDERED NULL AND VOID AND ALL PROFESSIONAL RESPONSIBILITY AND LIABILITY OF THIS ARCHITECT WILL 2. IT IS THE LEGAL AND PROFESSIONAL RESPONSIBILITY OF THE CLIENT AND ALL CONTRACTORS TO ADHERE FULLY TO THE SPECIFICATIONS HEREIN, IF ANY DISCREPANCIES OR ISSUES ARE DISCOVERED IN THE FIELD - THIS ARCHITECT IS TO BE NOTIFIED. IMMEDIATELY FOR MEDIATED. SAID DISCREPANCIES/ISSUES ARE NOT TO BE ADDRESSED WITHOUT WRITTEN APPROVAL FROM THIS 3. THIS ARCHITECT IS IN NO WAY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE WORK SITE ADHERES TO ALL GUIDELINES AND SPECIFICATIONS OF OSHA AND OTHER APPLICABLE GOVERNING BODIES. FURTHER, THE ARCHITECT AND HIS CONSULTANTS WILL NOT HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS OR CONTRACTS. OR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS OR ENTITIES PERFORMING PORTIONS OF THE WORK. 4. ALL CONSTRUCTION SHALL ADHERE FULLY TO APPLICABLE STATE AND LOCAL BUILDING CODES. IF ANY QUESTION AS TO SAID

QUALITY OF WORK

PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. SHOULD A CONTRACTOR WORK IN SEQUENCE AFTER ANOTHER CONTRACTOR (FOR EXAMPLE, A DRYWALL CREW BEGINS WORK AFTER A FRAMING CREW)- COMMENCEMENT OF WORK SHALL INDICATE THE LATER CONTRACTOR'S ACCEPTANCE OF PREDECESSOR'S WORK AS SATISFACTORY. 2. REPAIR AND PREPARE EXISTING SURFACES (IF APPLICABLE) PRIOR TO APPLICATION OF NEW FINISH.
3. ALL CODE-REQUIRED LABELS (SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES) SHALL REMAIN READABLE AND NOT PAINTED 4. COORDINATE WITH OWNER'S DESIGNATED REPRESENTATIVE FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG 5. PAINT AND OTHER FINISHES ARE TO BE APPLIED TO CREATE A SOLID, ACCEPTABLE FINISH. ALL FINISHES SHALL ADHERE TO A CONSISTENT PROFESSIONAL QUALITY

1. GENERAL CONTRACTOR TO ENSURE THAT CONSTRUCTION AND FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES, DO NOT

CONTRACT DOCUMENTS

1. DRAWINGS AND SPECIFICATIONS (IF APPLICABLE) ARE INTENDED TO BE COMPLIMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH. SHOULD A DISCREPANCY BE DISCOVERED, ONE DOES NOT AUTOMATICALLY TAKE PRECEDENT OVEI THE OTHER. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BRING SAID DISCREPANCY TO THE ATTENTION OF THI 2. THE CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED. AS A CONDITION OF THE CONTRACT. TO ACQUAINT HIM/HERSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES, AND TO NOTIFY ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO, ITS CONDITIONS. . DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS, ETC. IN CASE OF CONFLICT - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THIS 4. THE DESIGNER/ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY APPARENT CONFLICTS, ERRORS OR OMISSIONS IN THE CONSTRUCTION DRAWINGS OR ANY APPARENT MISAPPLICATION OF ANY PRODUCT, SYSTEM OR ASSEMBLY FOR THE INTENDED USE, OR ANY DISCOVERED EXISTING CONDITIONS THAT ARE CONTRARY TO THE CONDITIONS INDICATED IN THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AND CLARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. THE DESIGNER/ARCHITECT SHALL PROVIDE INTERPRETATION AN LARIFICATION AND, IF REQUIRED, MAKE APPROPRIATE REVISIONS TO THE CONSTRUCTION DRAWINGS. FAILURE TO NOTIFY THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH RELATED WORK WILL RESULT IN THE CONTRACTOR CORRECTING SUCH ITEMS AT THE CONTRACTOR'S EXPENSE. 5. THE CONSTRUCTION DRAWINGS ARE GENERAL DIAGRAMMATIC REPRESENTATIONS OF THE WORK, WHICH ATTEMPT TO NVEY A DESIGN INTENT. SAID DRAWINGS DO NOT INDICATE OR SPECIFY IN DETAIL EVERY CONDITION AND COMP CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND FOLIPMENT FABRICATE ALL ASSEMBLIES AND INSTALL ALL EQUIPMENT AND SYSTEMS TO PRODUCE A COMPLETE, INTEGRATED AND FULLY FUNCTIONAL WORK PRODUCT IN ACCORDANCE WITH ALL MATERIAL AND FOLIPMENT MANUFACTURER'S REQUIREMENTS. INDUSTRY STANDARDS AND FEDERA

GENERAL NOTES

DISCRETION OF THE OWNER/GENERAL CONTRACTOR.

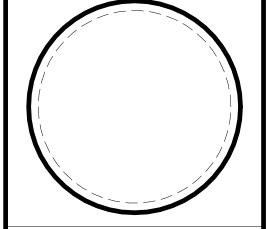
AREA OF CONSTRUCTION

- DO NOT SCALE DRAWING. REFER TO DIMENSIONS AND VERIFY ANY DISCREPANCIES WITH THIS ARCHITECT. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED BY OWNER AND GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. - ALL EXTERIOR FINISHES (COLOR, STYLE, ETC.) AS PER OWNERS SELECTION & APPROVAL, CONTRACTOR VERIFY PRIOR TO - LANDSCAPING AS PER OWNER - INSTALLED BY OTHERS. - PROVIDE GUTTERING & DOWNSPOUTS AS PER CLIMATE, RAINFALL CONDITIONS, ETC. DIVERT RUN TO APPROVED STORM WATER COLLECTION AREA. CONTRACTOR VERIFY PRIOR TO CONSTRUCTION. REFER SITE IMPROVEMENT PLAN PREPARED BY OTHERS.

ALL EXPOSED CONCRETE SURFACES AT EXTERIOR TO BE CONDITIONED W/ MANUFACTURERS DIRECTED APPLICATION OF CONCRETE SEALER BY KURE-N-SEAL 0800 BY SONNEBORN OR EQUAL. - CONTRACTOR SHALL DETERMINE FINISH FLOOR, FINISH PAVEMENT, FINISH GRADE ELEVATIONS, DOOR & WINDOW HEAD HEIGH PRIOR TO CONSTRUCTION TO ENSURE POWER IS PROVIDED TO DESIGNATED LOCATIONS. SITE DEVELOPMENT BY OTHERS. DETAILS HEREIN TO BE REFERENCES AS CALLED UPON BY SITE DEVELOPMENT PLANS FOR A I'HIS OFFICE IS IN NO WAY RESPONSIBLE FOR CONSTRUCTION STAGING AND/OR JOB SITE SAFETY. STAGING DETAILS (IF APPLICABLE) ARE FOR GENERAL REFERENCE ONLY AND PROVIDED AS A COURTESY SAID DETAILS ARE TO BE USED AT THE



DESIGN PROFESSIONAL



PLAN REVIEWER

O STAMP IS PRESENT, PLAN REVIEW MAY BE PEND IT IS THE RESPONSIBILITY OF THE CONTRACTOR 1 ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK. FAB. KCC. CLP. JEP

02/16/2021 CLIENT REVIEW

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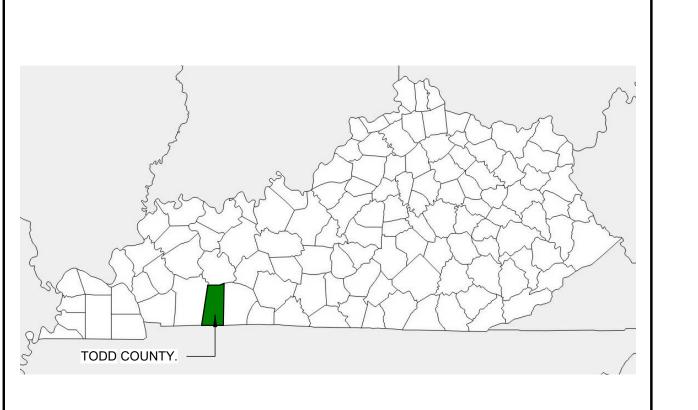
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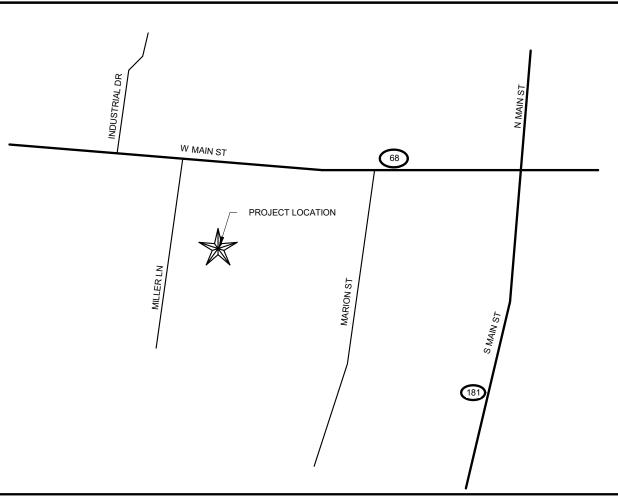
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GENERAL NOTES

GENERAL



COUNTY MAP



SOUND TRANSMISSION STRUCT STRUCTURE OR STRUCTURAL TONGUE AND GROOVE TOILET PAPER DISPENSER **UNLESS NOTED OTHERWISE**

VICINITY MAP

SYMBOL LEGEND **ABBREVATIONS**

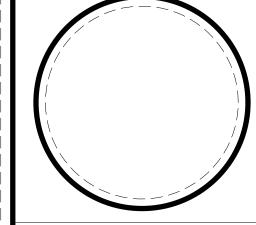
INDICATES WINDOW TYPE

SITE MAP





DESIGN PROFESSIONAL

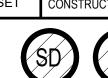


PLAN REVIEWER

NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO
ENSURE THAT ALL PERMITS AND APPROVALS ARE
OBTAINED PRIOR TO COMMENCING WORK.

DATE 02/18/2021
SET CONSTRUCTION DOCUMENTS

J. SEWELL





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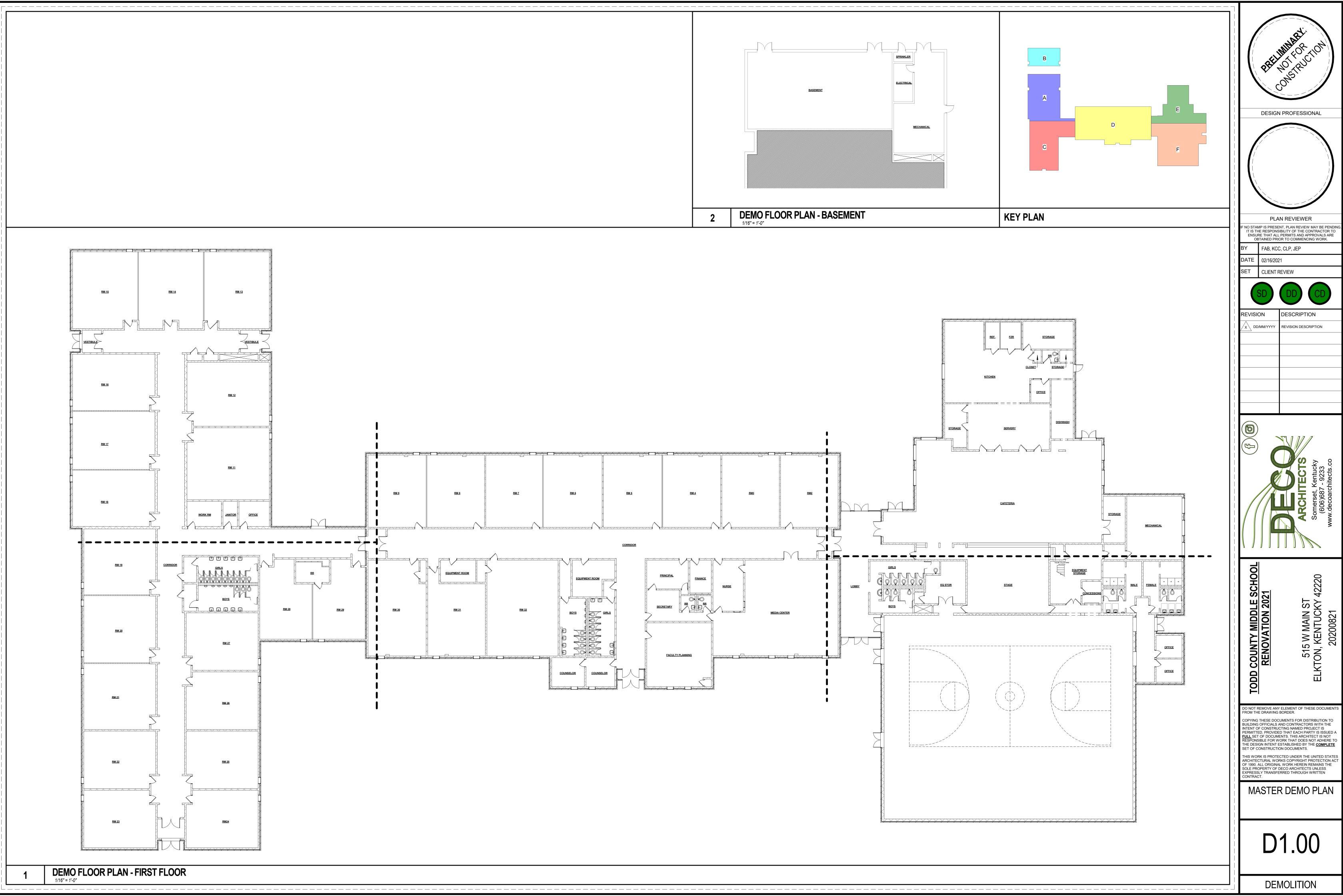
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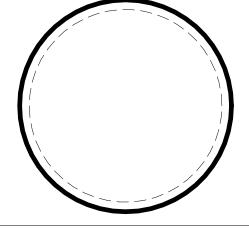
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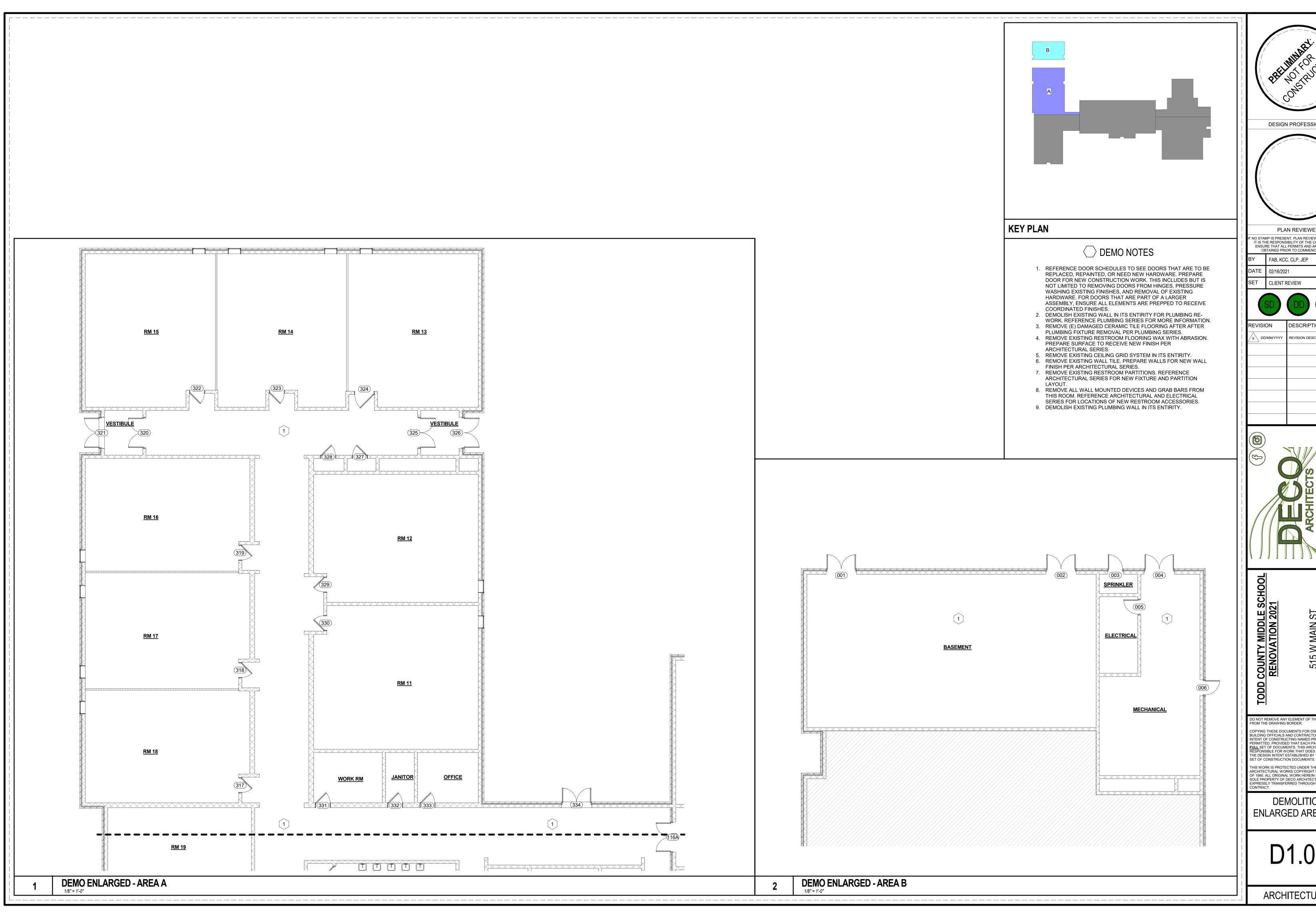
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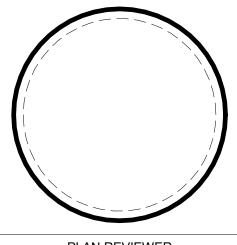
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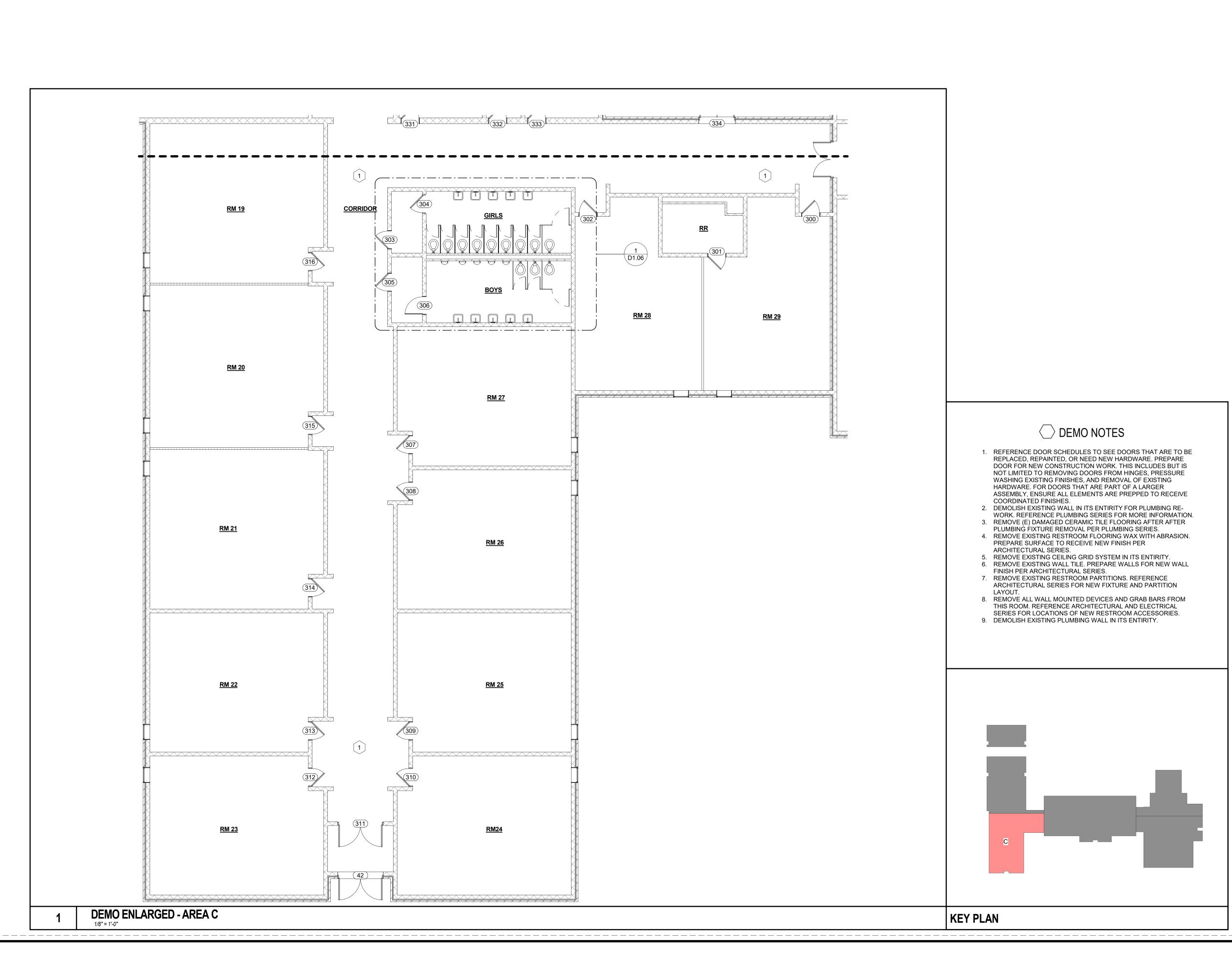
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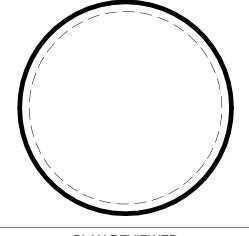
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DEMOLITION ENLARGED AREA A / B







PLAN REVIEWER

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FAB, KCC, CLP, JEP

DATE 02/16/2021 CLIENT REVIEW

DESCRIPTION

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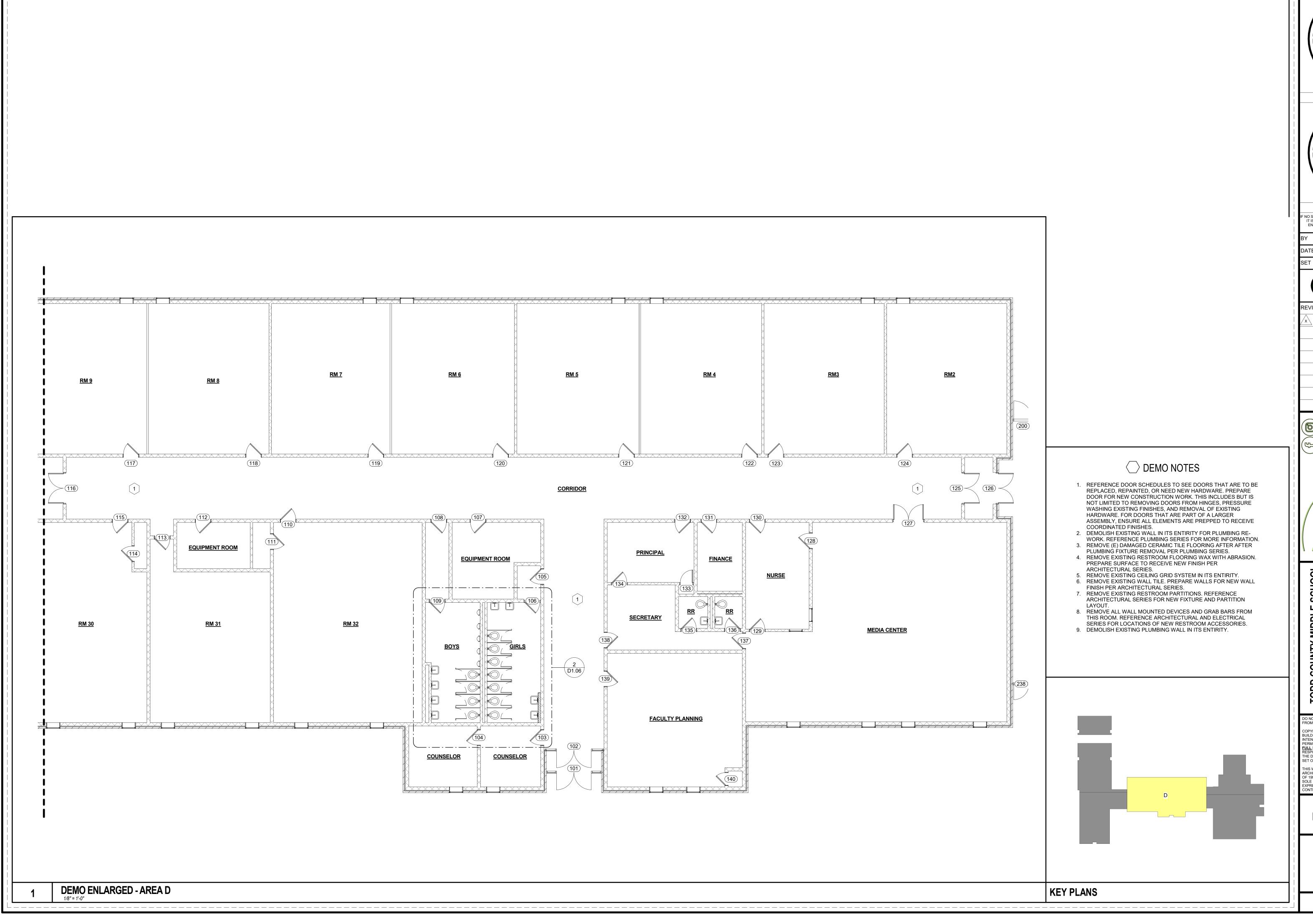
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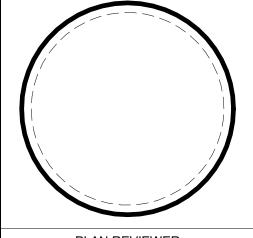
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DEMOLITION ENLARGED AREA C







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DATE 02/16/2021

CLIENT REVIEW

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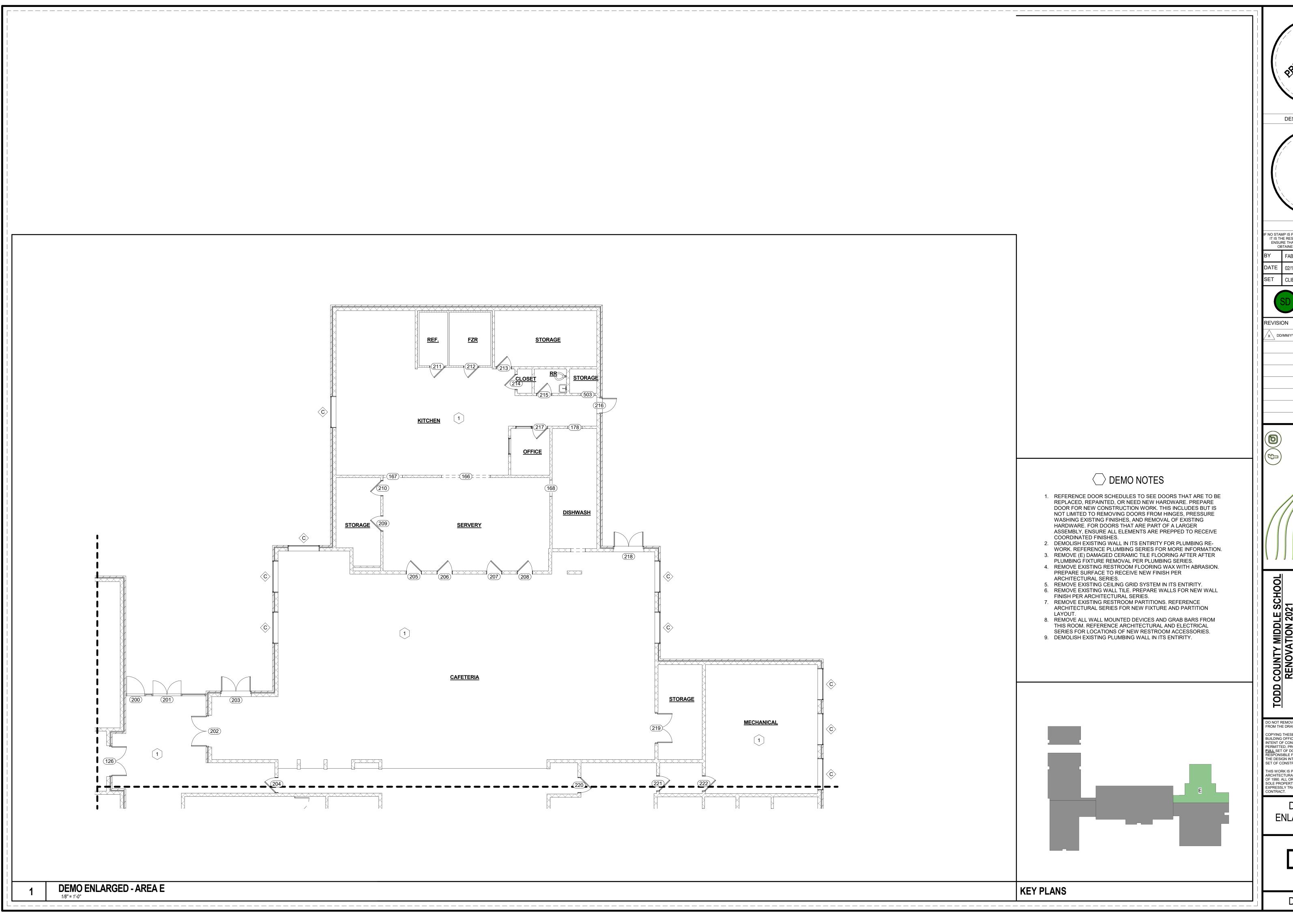
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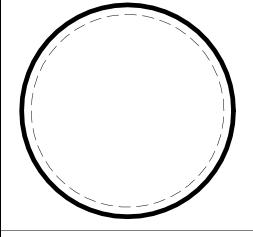
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DEMOLITION ENLARGED AREA D







PLAN REVIEWER

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COUNTY MIDDLE SCHOOL RENOVATION 2021

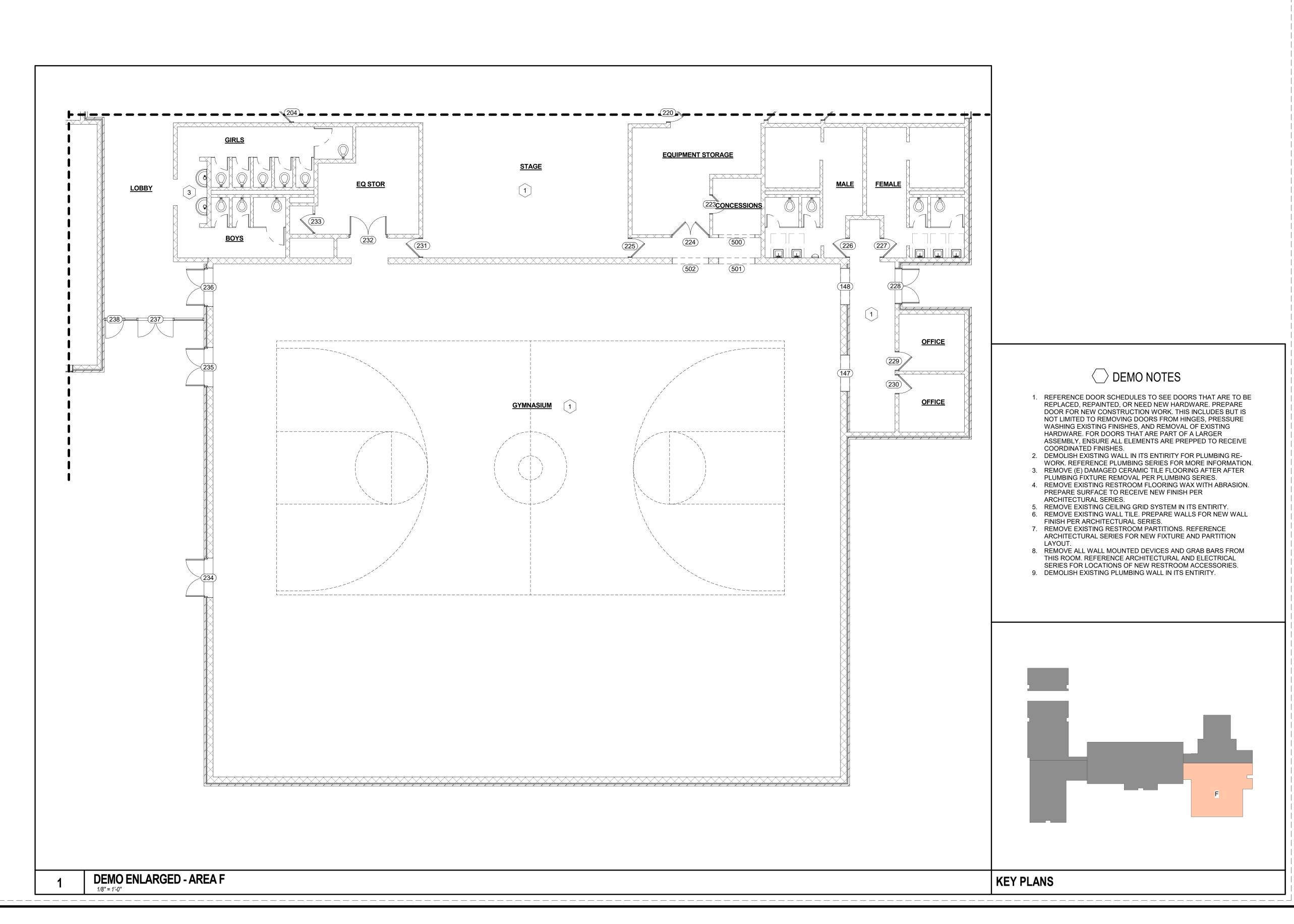
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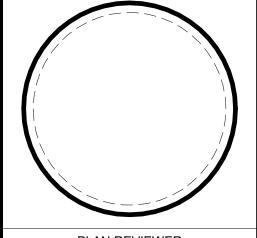
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PLAN REVIEWER

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02/16/2021 CLIENT REVIEW

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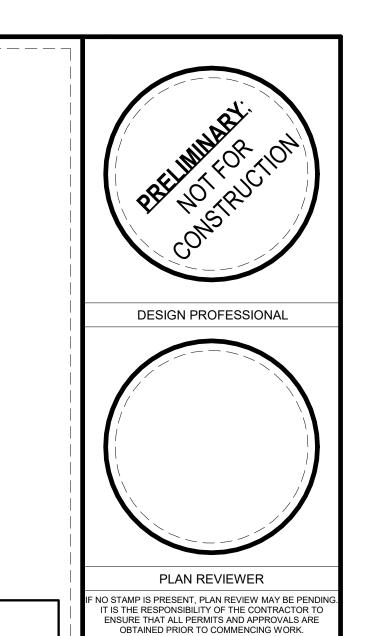
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DEMOLITION ENLARGED AREA F



FAB, KCC, CLP, JEP

DESCRIPTION

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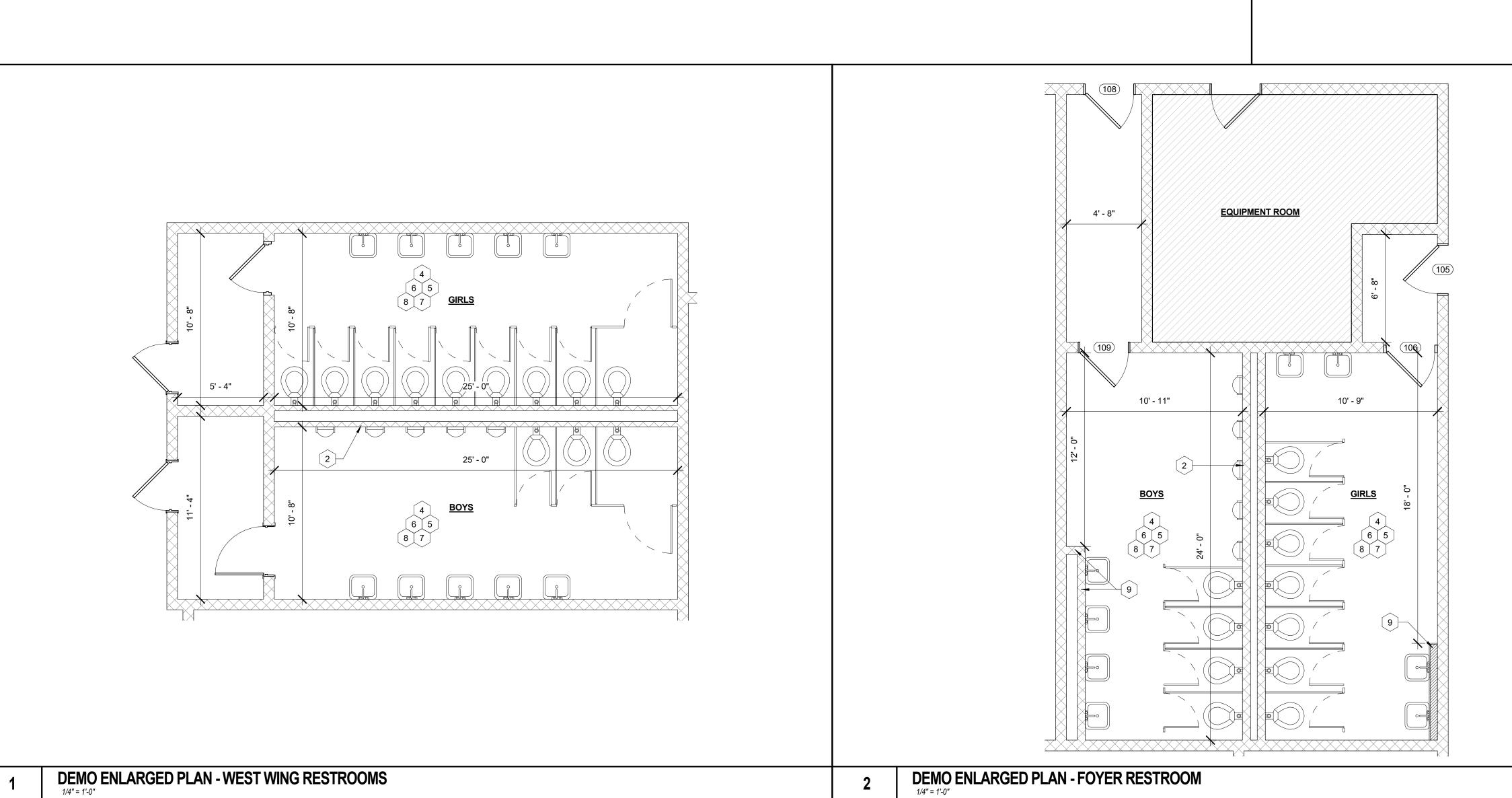
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SET CLIENT REVIEW

DEMO NOTES

- 1. REFERENCE DOOR SCHEDULES TO SEE DOORS THAT ARE TO BE REPLACED, REPAINTED, OR NEED NEW HARDWARE. PREPARE DOOR FOR NEW CONSTRUCTION WORK. THIS INCLUDES BUT IS NOT LIMITED TO REMOVING DOORS FROM HINGES, PRESSURE WASHING EXISTING FINISHES, AND REMOVAL OF EXISTING HARDWARE. FOR DOORS THAT ARE PART OF A LARGER ASSEMBLY, ENSURE ALL ELEMENTS ARE PREPPED TO RECEIVE COORDINATED FINISHES.
- 2. DEMOLISH EXISTING WALL IN ITS ENTIRITY FOR PLUMBING RE-WORK. REFERENCE PLUMBING SERIES FOR MORE INFORMATION.
- 3. REMOVE (E) DAMAGED CERAMIC TILE FLOORING AFTER AFTER PLUMBING FIXTURE REMOVAL PER PLUMBING SERIES.
- 4. REMOVE EXISTING RESTROOM FLOORING WAX WITH ABRASION. PREPARE SURFACE TO RECEIVE NEW FINISH PER ARCHITECTURAL SERIES.
- 5. REMOVE EXISTING CEILING GRID SYSTEM IN ITS ENTIRITY.
- 6. REMOVE EXISTING WALL TILE. PREPARE WALLS FOR NEW WALL FINISH PER ARCHITECTURAL SERIES.
- 7. REMOVE EXISTING RESTROOM PARTITIONS. REFERENCE ARCHITECTURAL SERIES FOR NEW FIXTURE AND PARTITION LAYOUT.
- 8. REMOVE ALL WALL MOUNTED DEVICES AND GRAB BARS FROM THIS ROOM. REFERENCE ARCHITECTURAL AND ELECTRICAL SERIES FOR LOCATIONS OF NEW RESTROOM ACCESSORIES. 9. DEMOLISH EXISTING PLUMBING WALL IN ITS ENTIRITY.





TODD COUNTY MIDDLE SCHOOL RENOVATION 2021 515 W MAIN ST ELKTON, KENTUCKY 4

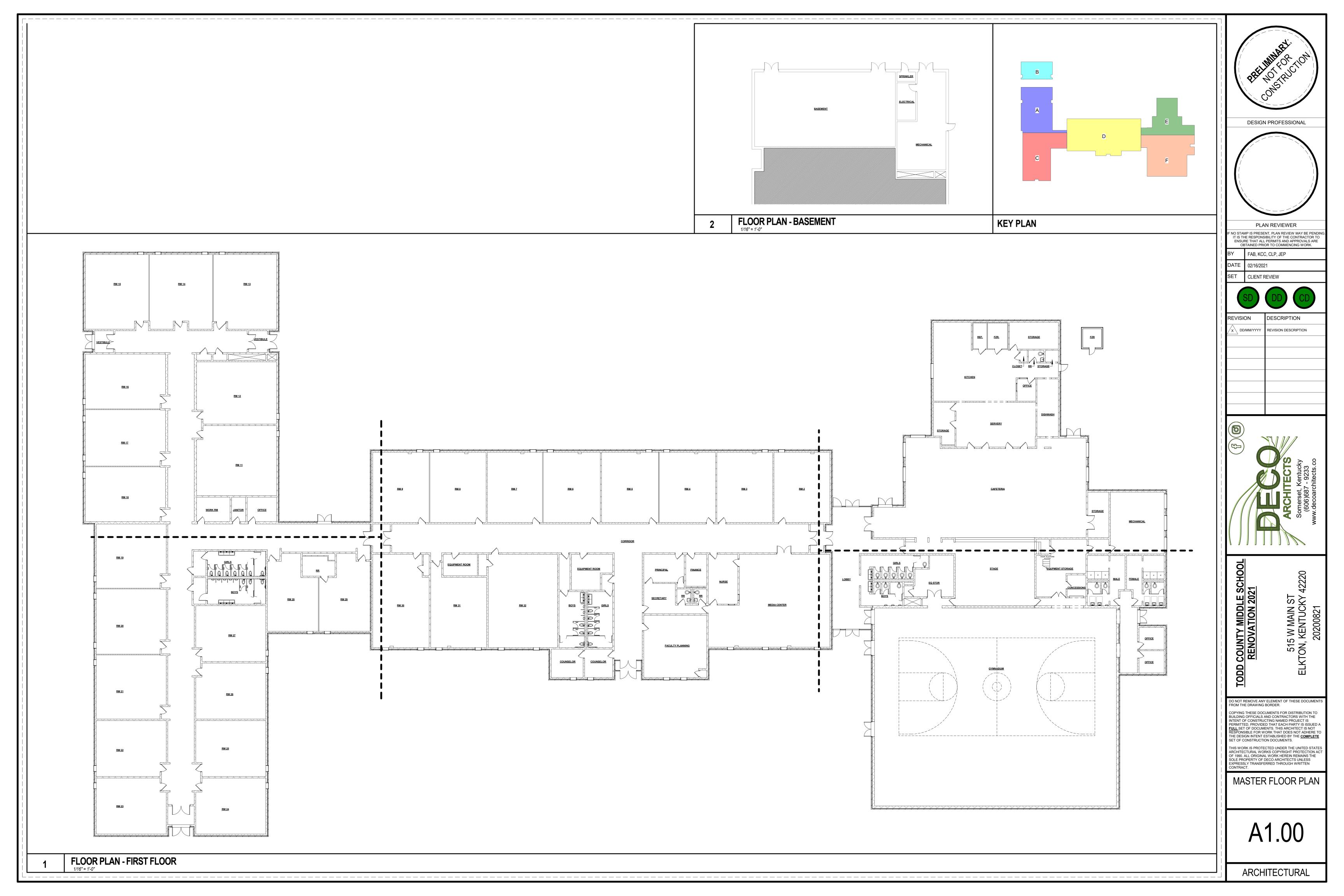
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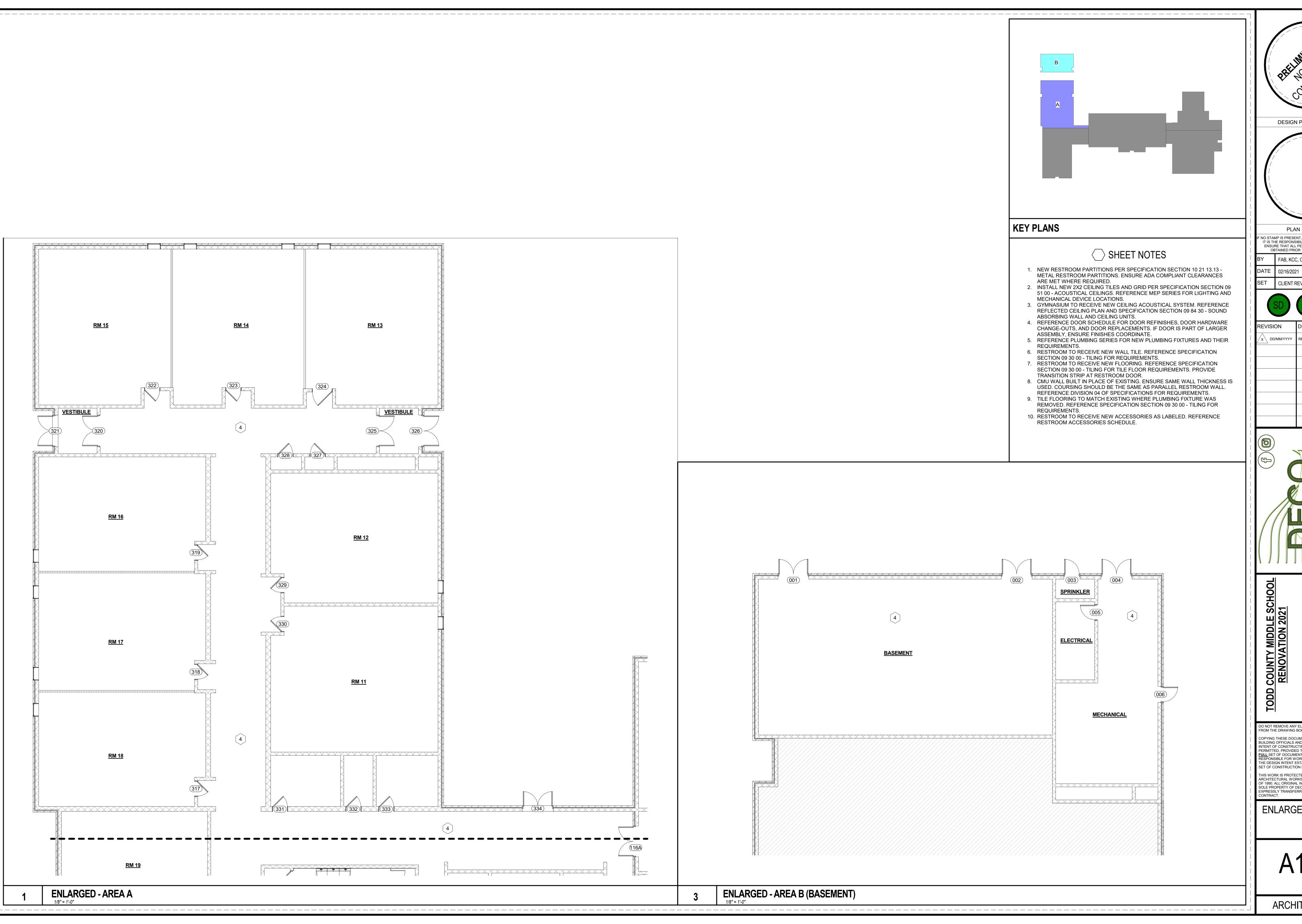
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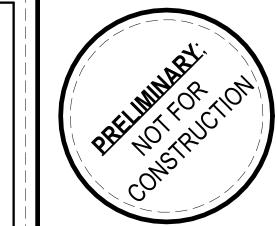
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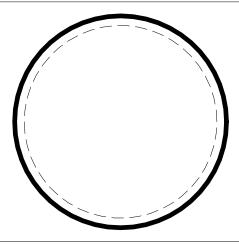
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DEMOLITION ENLARGED RESTROOM **PLANS**









PLAN REVIEWER

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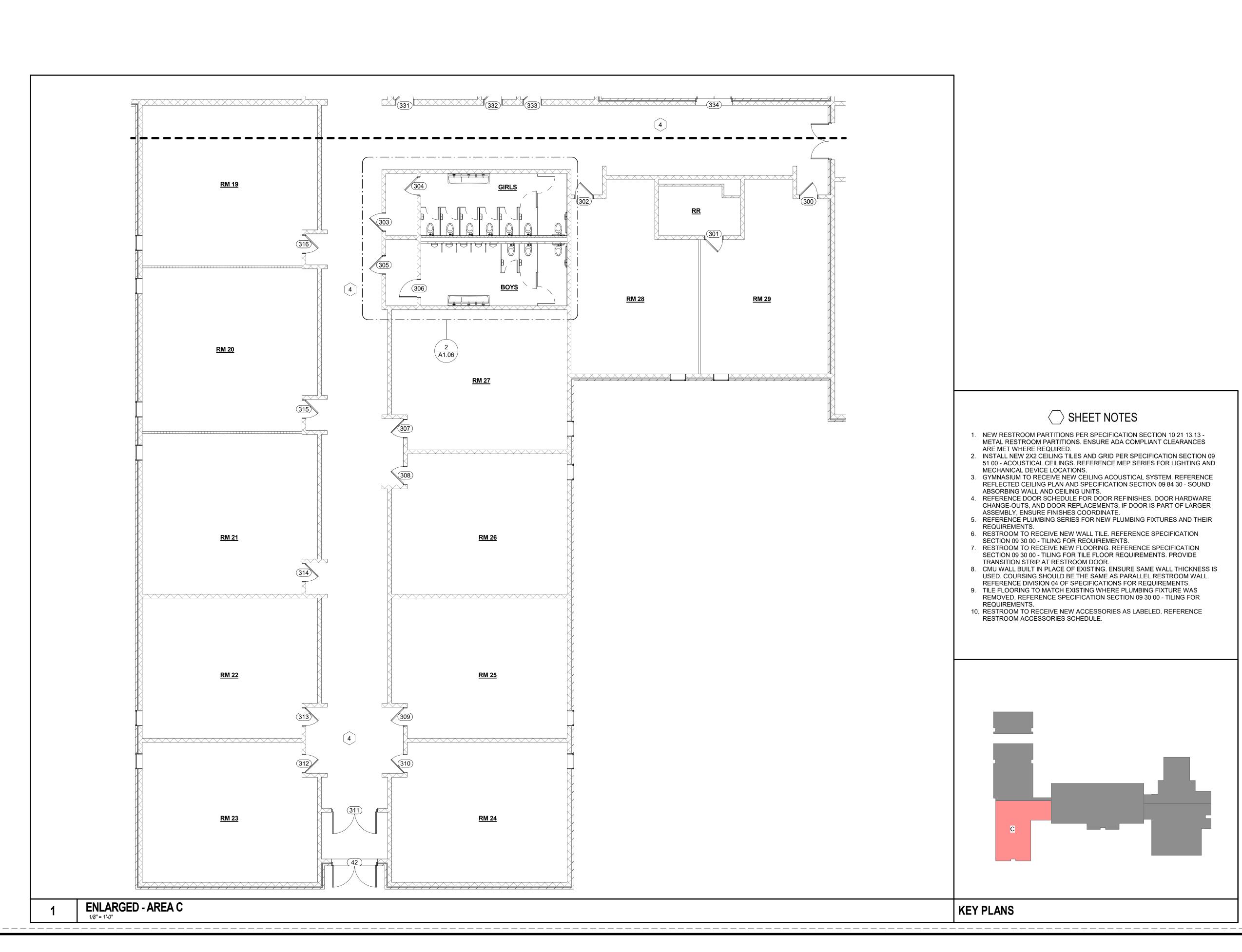
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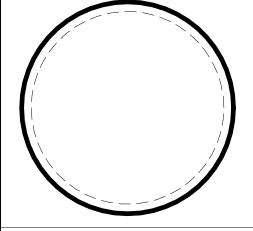
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ENLARGED AREA A / B





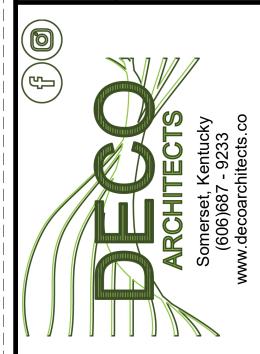


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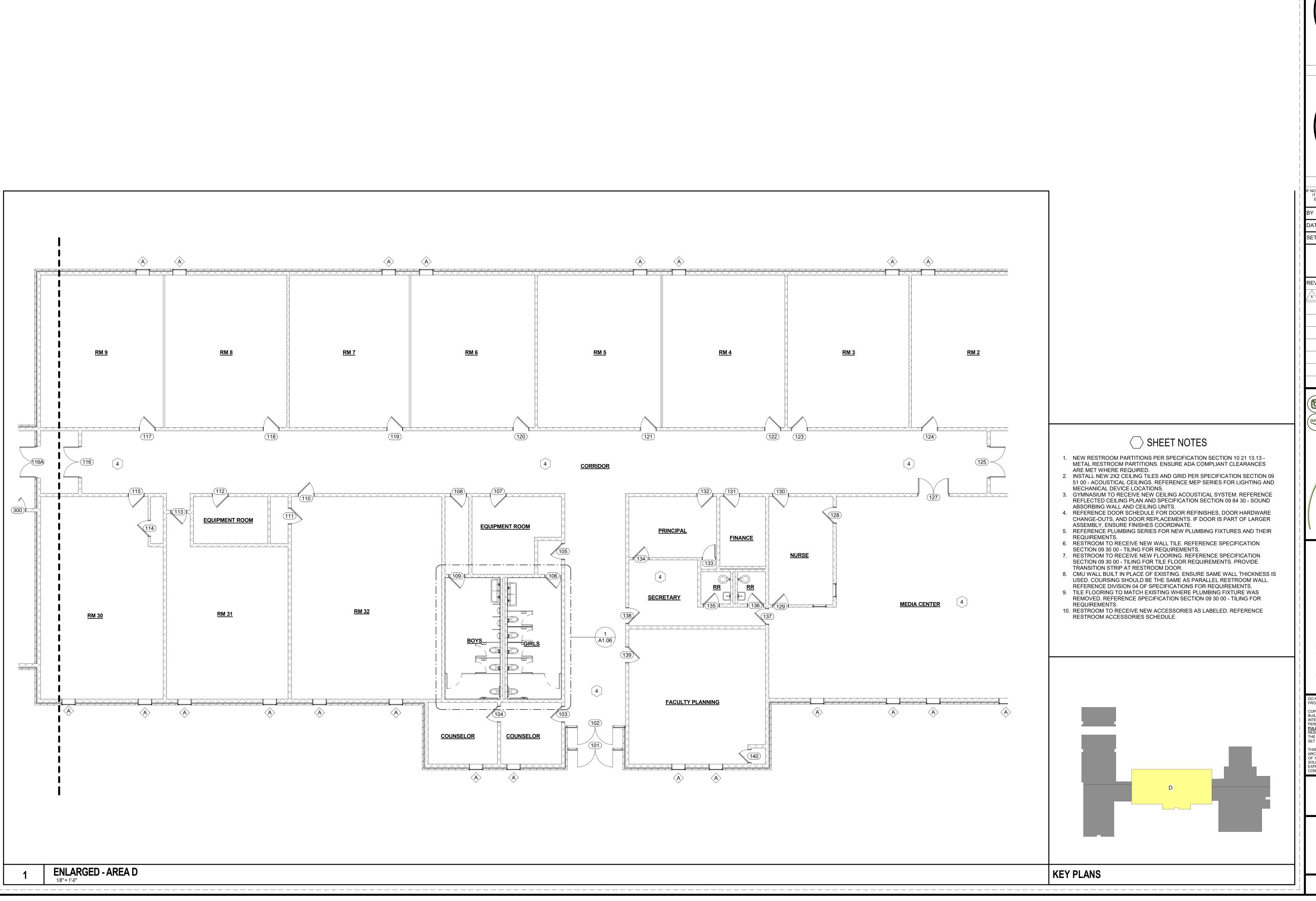
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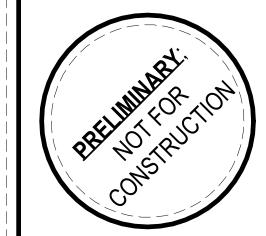
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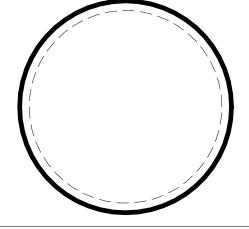
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ENLARGED AREA C







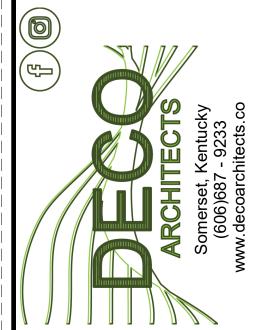
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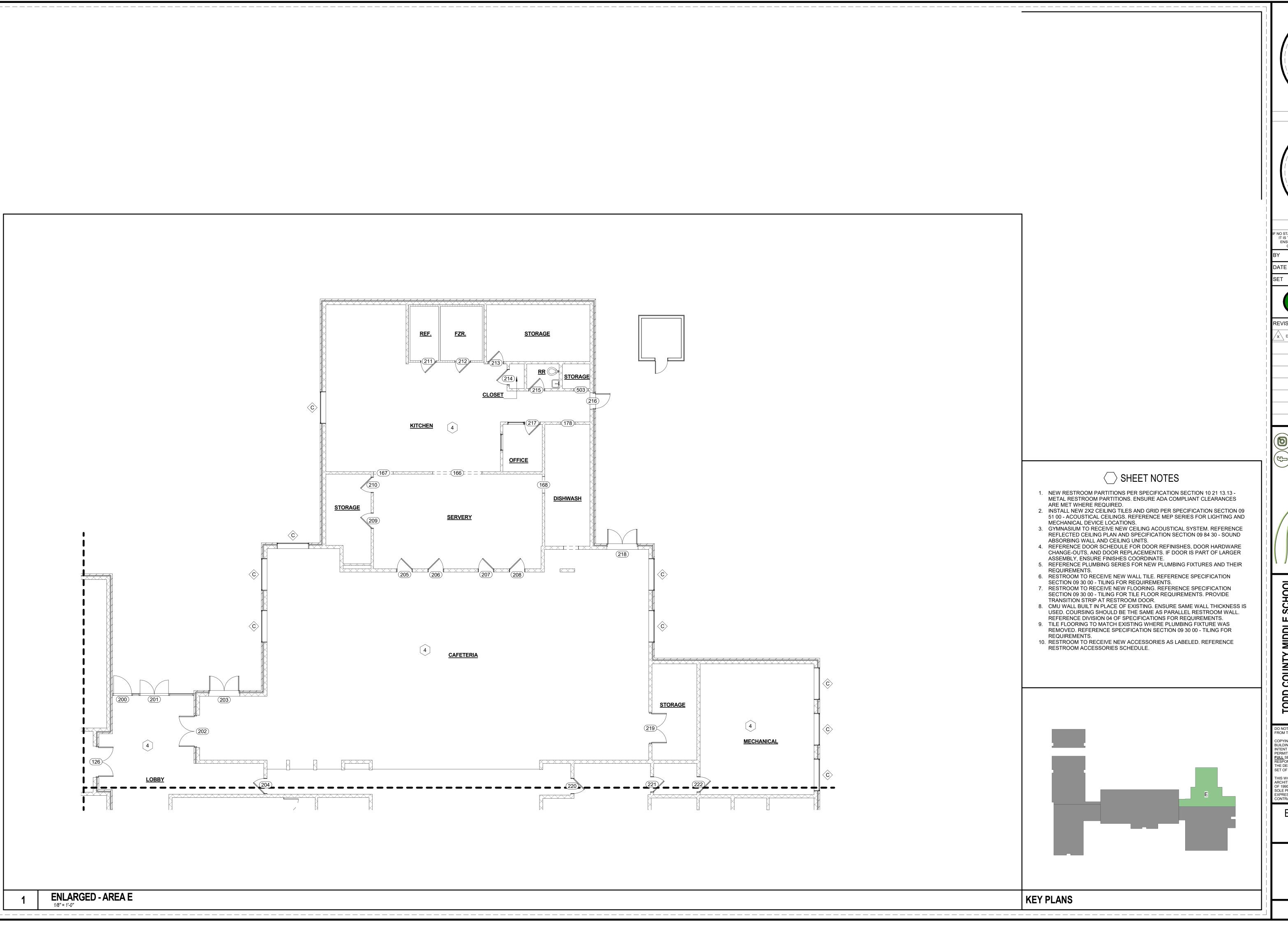
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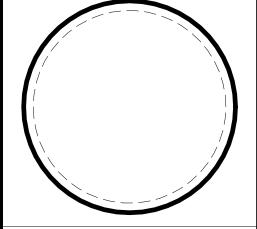
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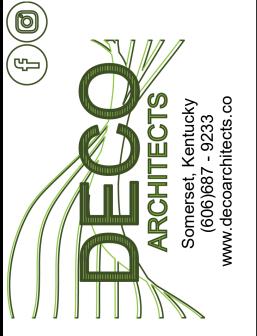
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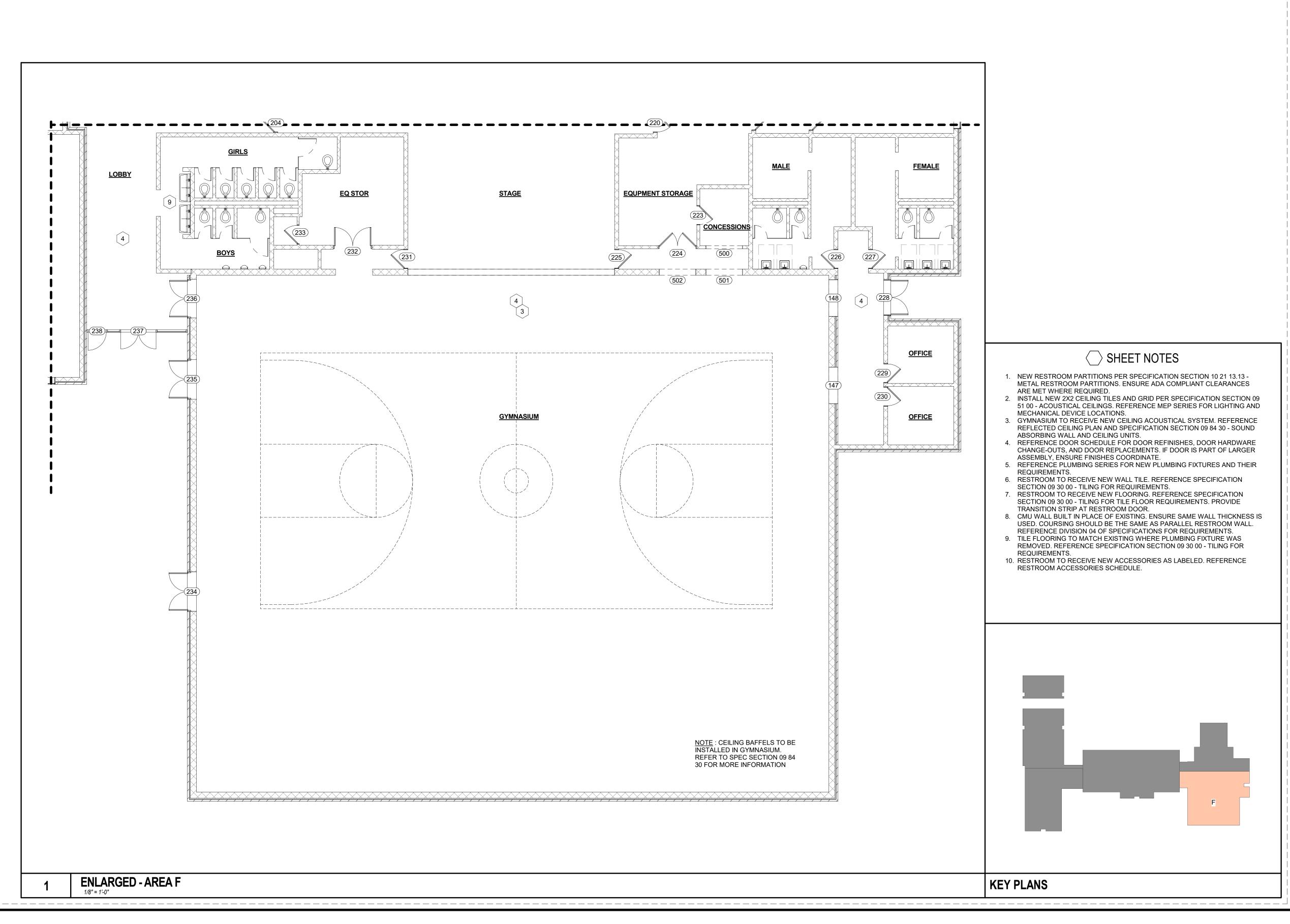
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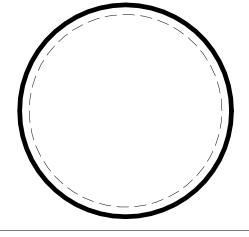
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Y FAB, KCC, CLP, JEP

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RCHITECTS
merset, Kentucky
(606)687 - 9233

COUNTY MIDDLE SCHOOL RENOVATION 2021

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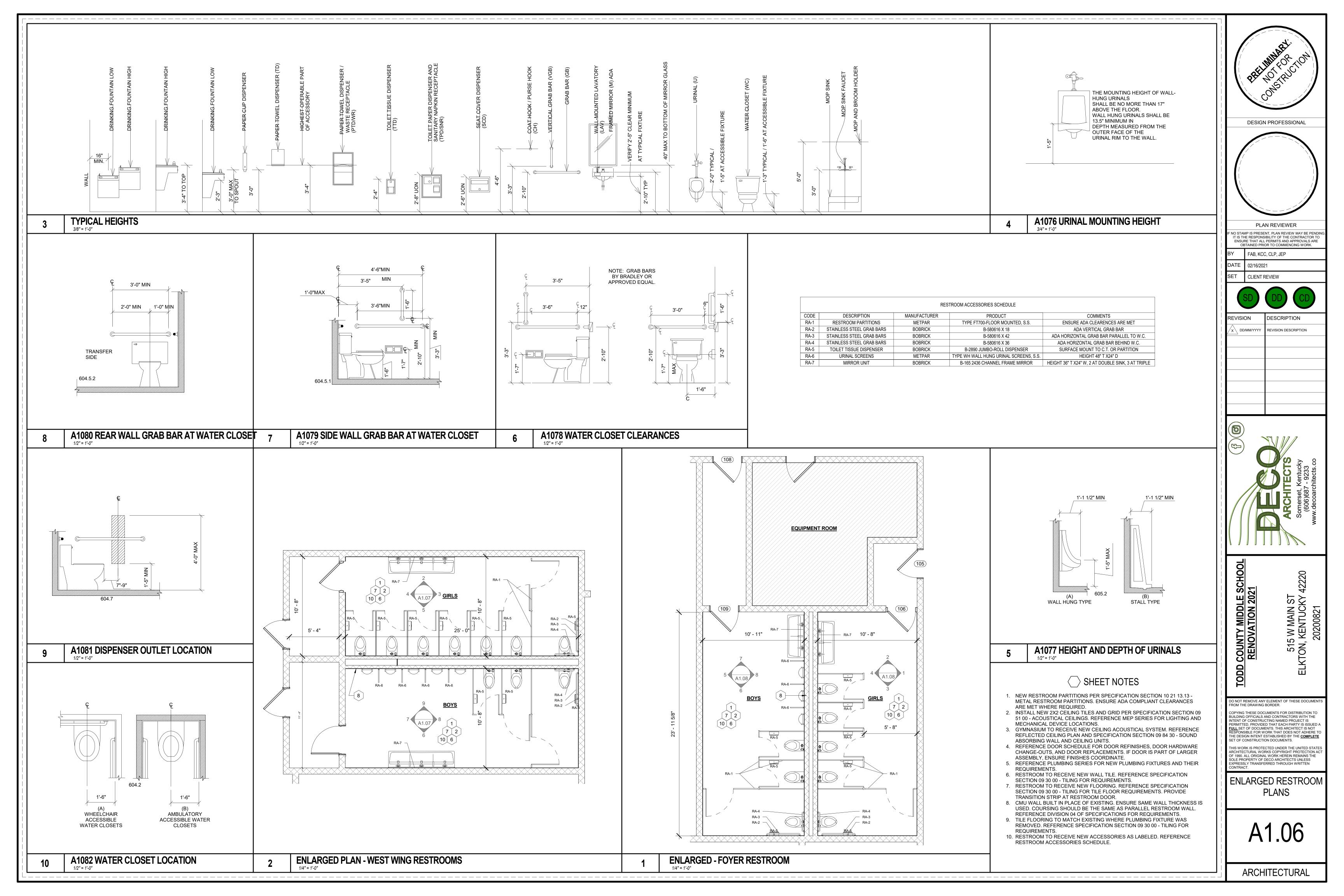
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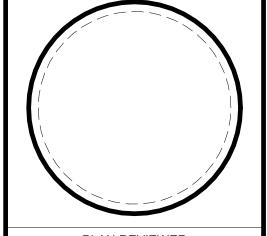
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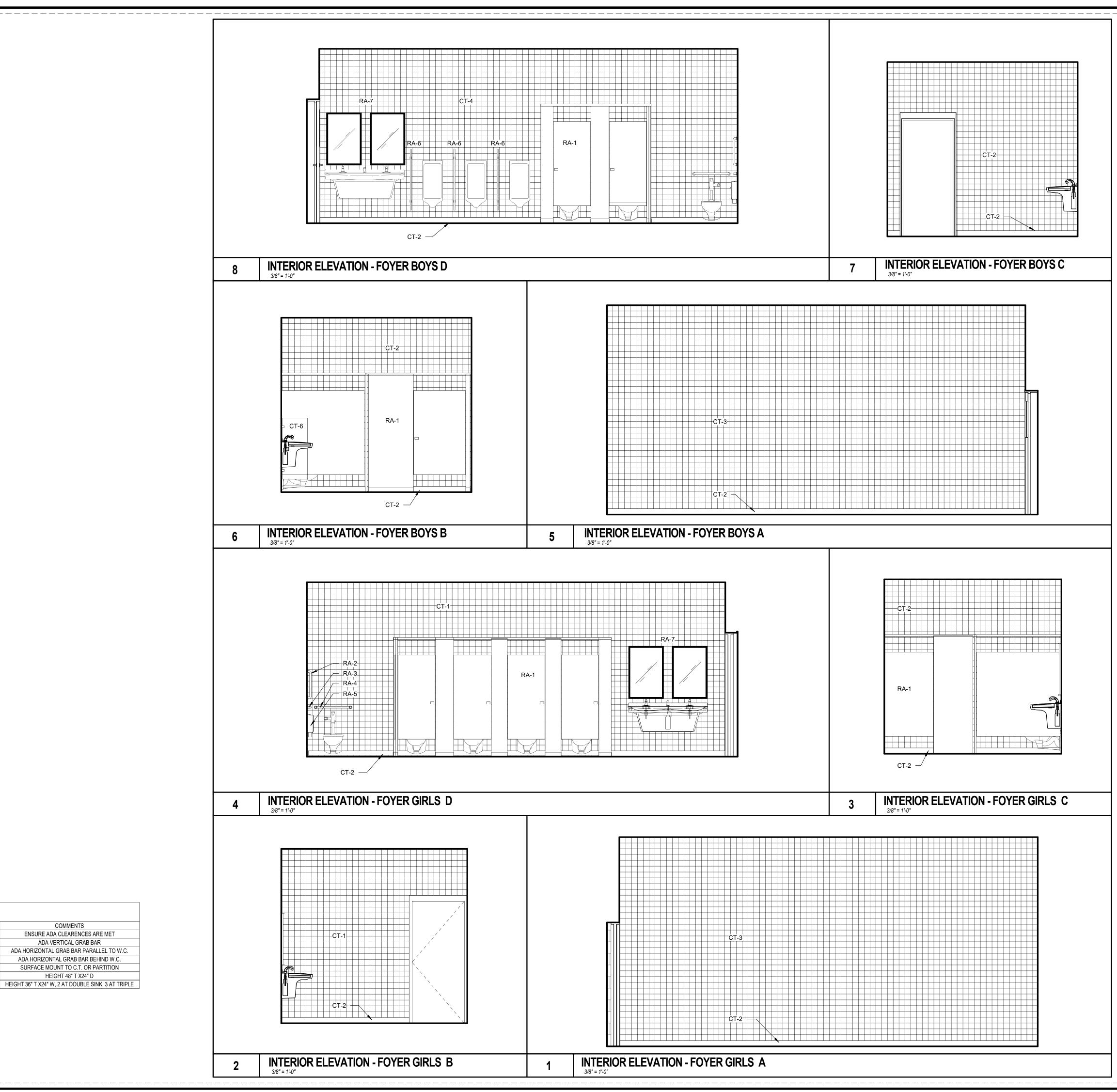


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ENLARGED RESTROOM ELEVATIONS / DETAILS



RESTROOM ACCESSORIES SCHEDULE

PRODUCT

TYPE FT700-FLOOR MOUNTED, S.S.

B-580616 X 18

B-580616 X 42

B-580616 X 36

B-2890 JUMBO-ROLL DISPENSER

TYPE WH WALL HUNG URINAL SCREENS, S.S.

B-165 2436 CHANNEL FRAME MIRROR

COMMENTS

ENSURE ADA CLEARENCES ARE MET

ADA VERTICAL GRAB BAR

ADA HORIZONTAL GRAB BAR BEHIND W.C.

SURFACE MOUNT TO C.T. OR PARTITION

HEIGHT 48" T X24" D

MANUFACTURER

METPAR

BOBRICK

BOBRICK

BOBRICK

BOBRICK

METPAR

BOBRICK

DESCRIPTION

RESTROOM PARTITIONS

STAINLESS STEEL GRAB BARS

STAINLESS STEEL GRAB BARS

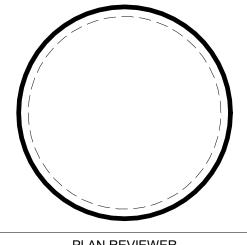
STAINLESS STEEL GRAB BARS

TOILET TISSUE DISPENSER

URINAL SCREENS

MIRROR UNIT

DESIGN PROFESSIONAL



PLAN REVIEWER

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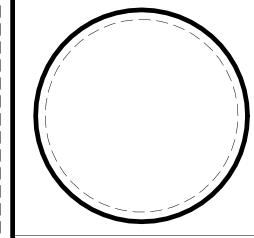
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ENLARGED RESTROOM ELEVATIONS / DETAILS

REFERENCE SPECIFICATION SECTION 09 84 00 - SOUND ABSORBING WALL AND CEILING UNITS FOR PRODUCT SPECIFICS. REF. MANUFACTURER FOR STANDARD DETAILS AND INSTALLATION PRACTICES. FABRIC ACOUSTICAL
CEILING UNITS
SUSPENDED FROM
ROOF DECK. REF.
MANUFACTURER FOR
RECOMMENDED SAG. EXISTING ROOF TRUSSES EXISTING ROOF RIDGE TRUSS REFLECTED CEILING - ENLARGED AREA F



DESIGN PROFESSIONAL



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ARCHITECTS
Somerset, Kentucky
(606)687 - 9233
www.decoarchitects.co

TODD COUNTY MIDDLE SCHOOL RENOVATION 2021

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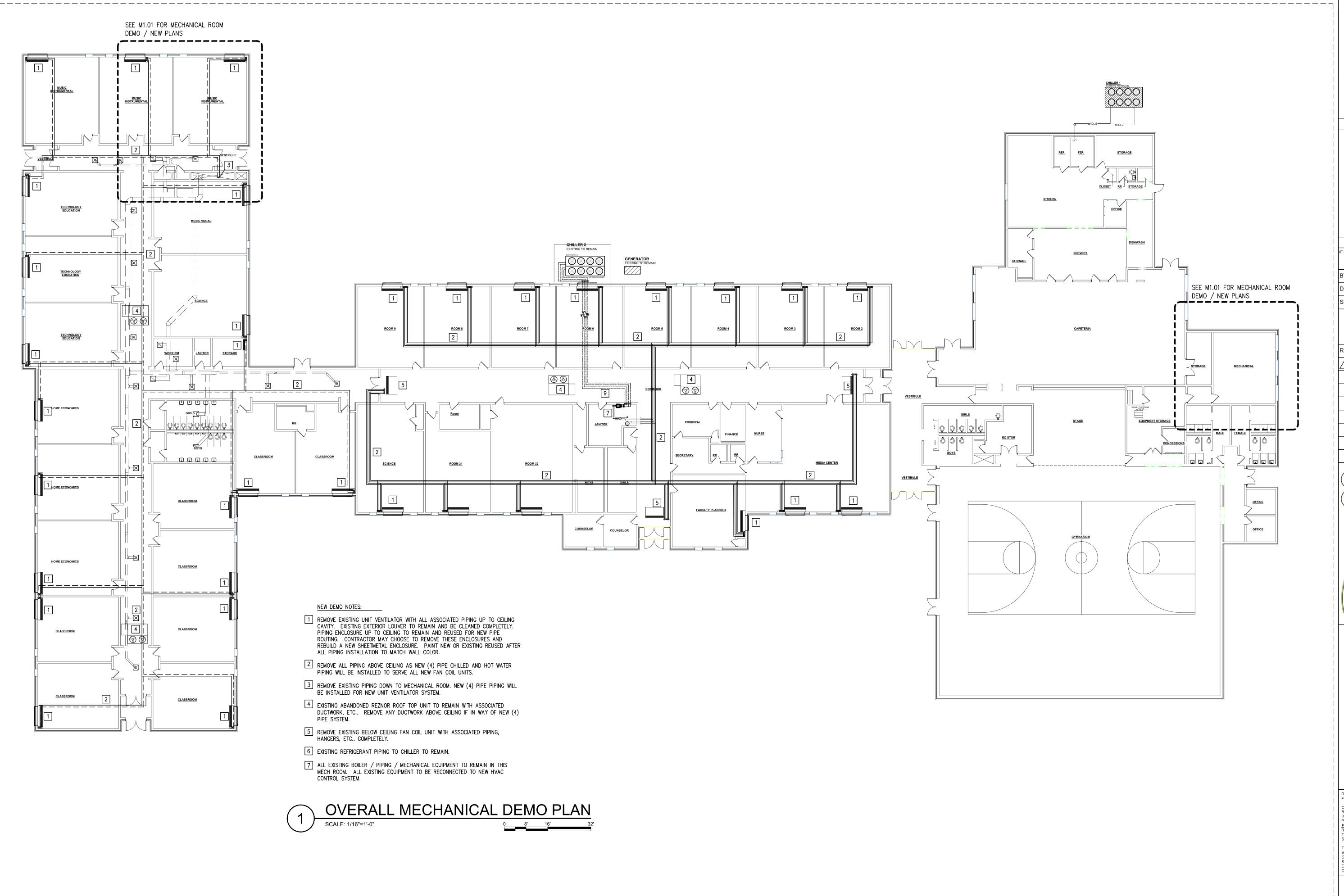
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REFLECTED CEILING PLAN - GYMNASIUM BAFFLES

A1.09



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CONSTRUCTION DOCUMENTS

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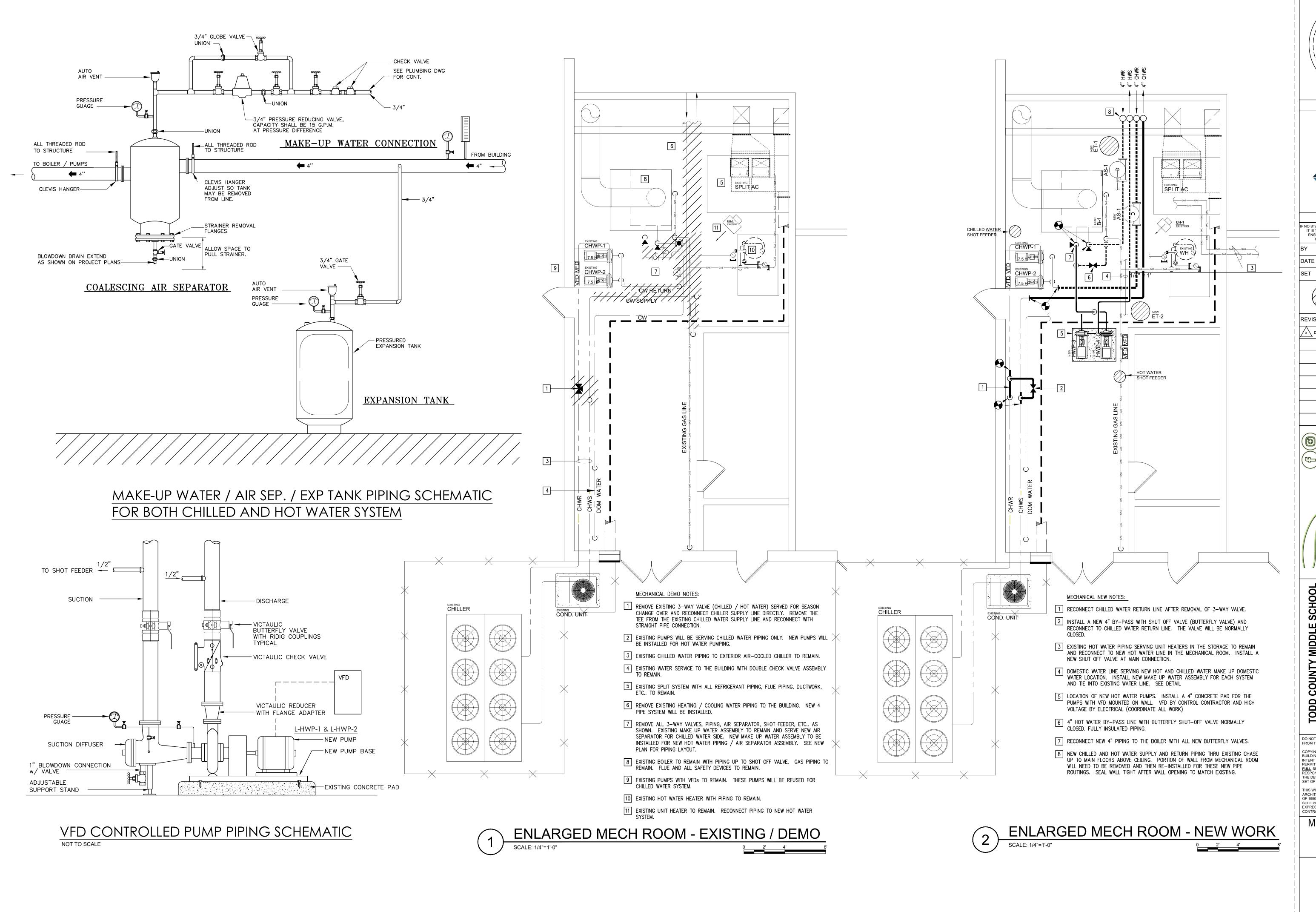
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MECHANICAL DEMO



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DESIGN PROFESSIONAL

ENGINEERING

MECHANICAL • ELECTRICAL • PLUMBING

OO JUSTLY, LOVE MERCY AND WALK HUMBLY

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1830 DESTINY LANE SUITE 113

BOWLING GREEN, KY 42104

270-599-0182

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ARCHITECTS
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(606)687 - 9233
www.decoarchitects.co

NIY MIDDLE SCHOOL OVATION 2020

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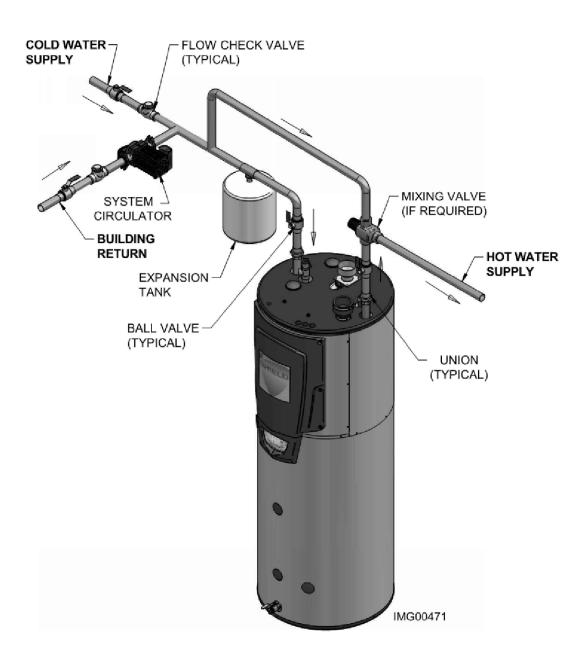
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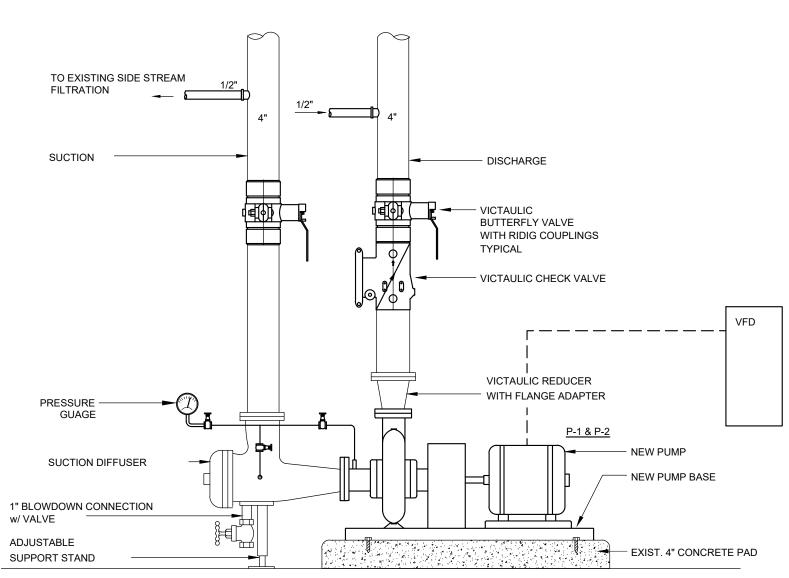
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MECHANICAL ROOMS ENLARGED NEW / DEMO PLAN

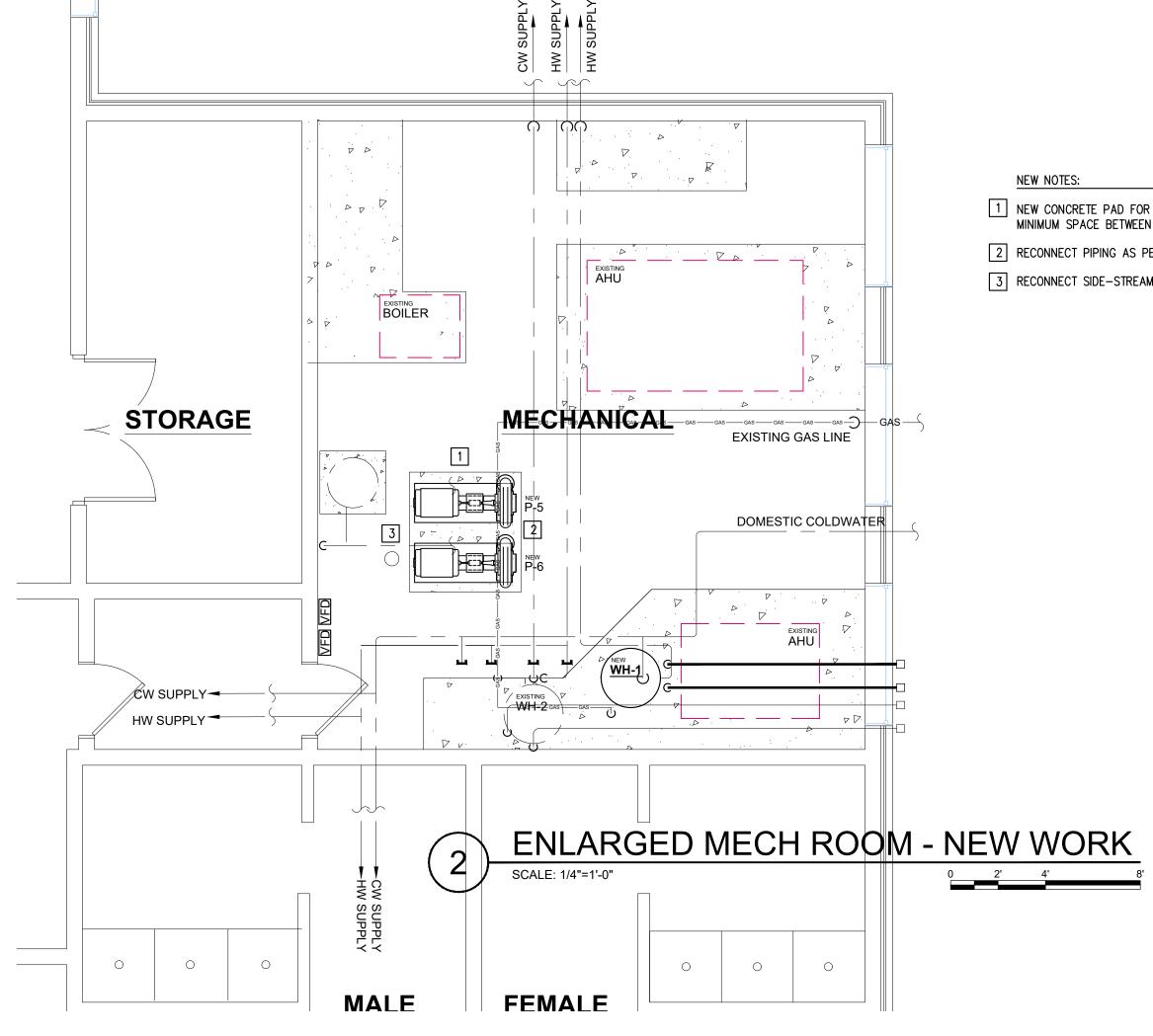
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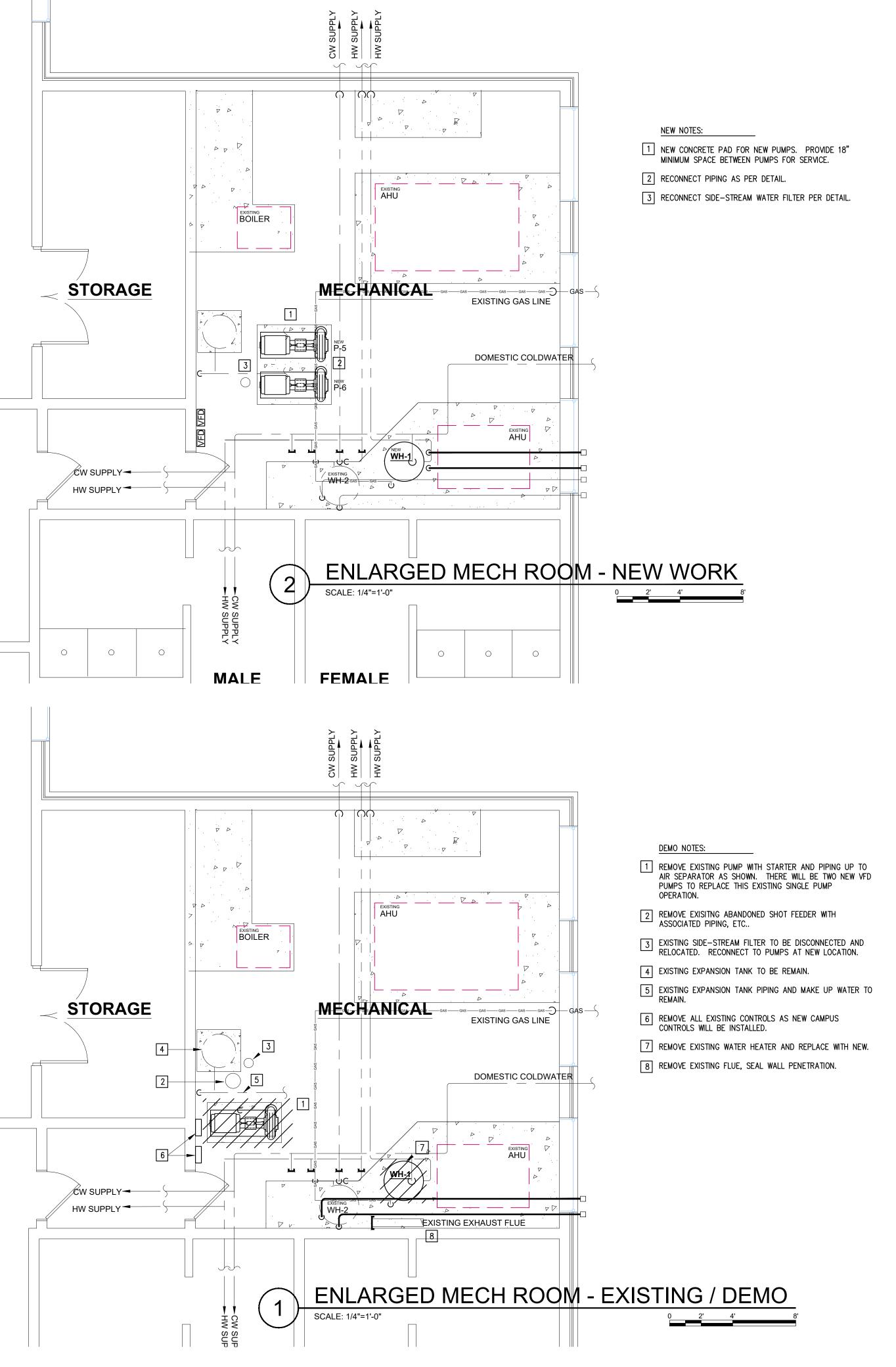
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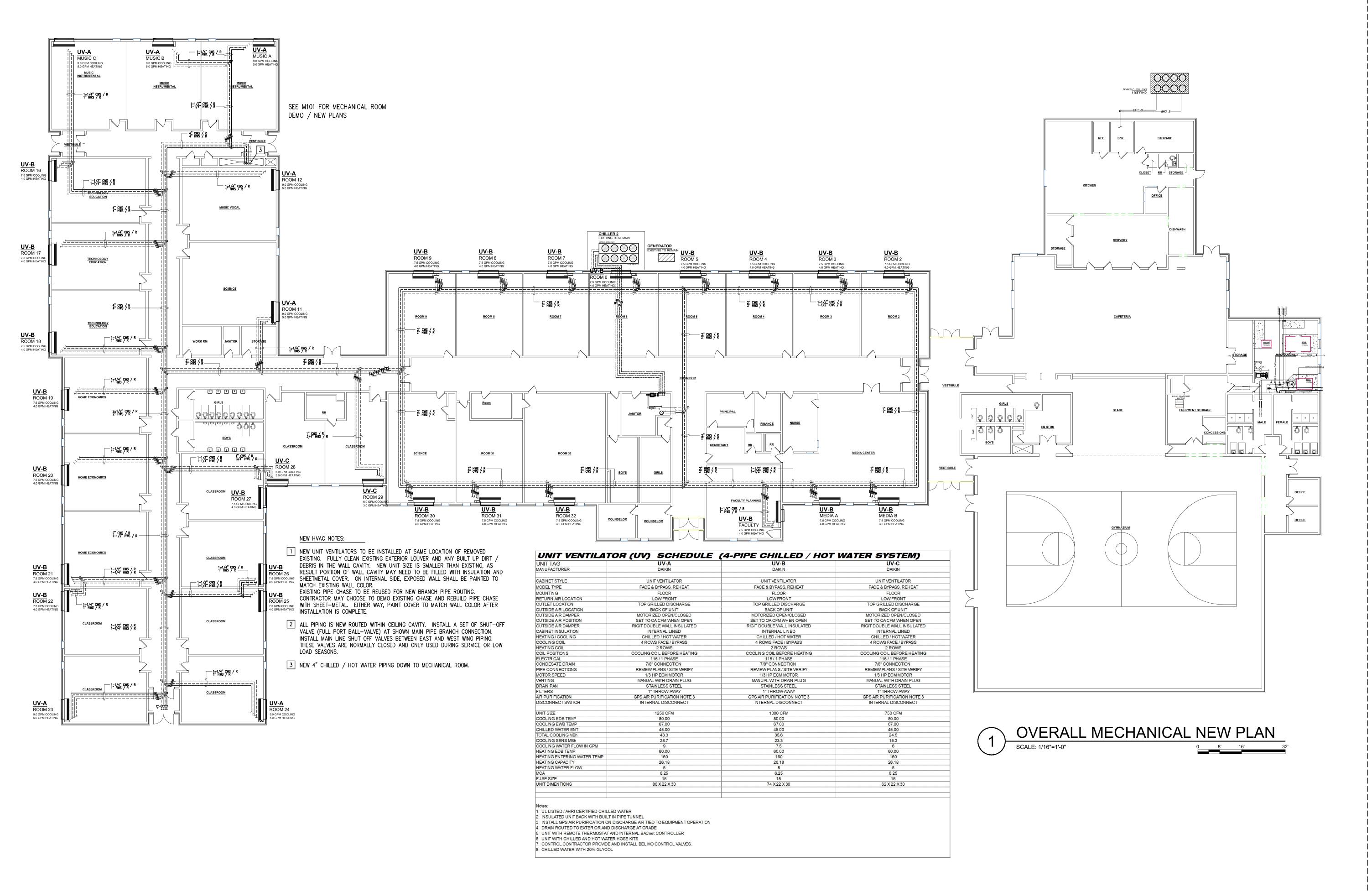
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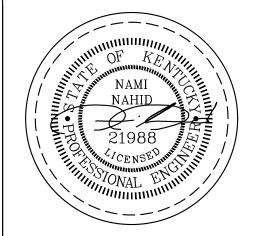
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MECHANICAL ROOMS ENLARGED NEW / **DEMO PLAN**







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SET OF CONSTRUCTION DOCUMENTS.

MECHANICAL NEW PLAN

UNIT NO.	SERVICE	GPM	MAXIMUM VELOCITY	INLET / OUTLET	MA XIMUM PRESSURE	MODEL
				SIZE	DROP (FT. OF HEAD)	NO.
AS-1	HOT WATER	140	0.75 FT/SEC	4"	1.0	CRS-4
AS-2	CHILLED WATER	255	0.75 FT/SEC	4"	1.0	CRS-4
	A CONTRACTOR OF THE CONTRACTOR					

EXPAN	ISION TA	NK SCI	HEDULE (VERTICA	L)	
UNIT NO.	SERVICE	TANK VOLUME		TYPE	MODEL	NOTES
			PRESSURE (PSI)		NO.	
ET-1	CHILLED WATER	53	60	BLADDER	B-200	1
ET-2	HOT WATER	106	60	BLADDER	B-400	1

PUMP SCHEDULE		
UNIT NO.	HW P-3, P-4	P-5,P-6
MA NUFA CTURER	BELL & GOSSETT	BELL & GOSSETT
SERVICE	HOT WATER SYSTEM	WEST WING - GY M
SERIES	e-1510	e-1510
MODEL	2BD	2.5BB
IMPELLER SIZE		
TYPE	BASE MOUNTED	BASE MOUNTED
PRESSURE (FT. OF HEAD)	70	75
GPM	140	275
FLUID	HEATING WATER	HEATING / COOLING
FLUID TEMP (DEG. F)	80 - 180	50 - 180
PUMP RPM	1750	1750
MIN. EFFICIENCY	72.0%	77.5%
MOTOR		
HP	5	10
PART WIND MOTOR	NO	NO
VOLT / PHASE	208 / 3	480 / 3

BASED ON ITT BELL & GOSSETT COMPRESSION TANK WITH LEG ASSEMBLY.

1. HWP-3,4 will be new pumps for heating service to east wing of Middle School. . ALL NEW PUMPS WITH VFD PROVIDED AND INSTALLED BY CONTROL CONTRACTOR. 3. ALL PUMPS WITH SUCTION DIFFUSER AND VALVES AS PER DETAIL FOR ALL ACCESSORIES.

PIPING, DUCTWORK AND INSULATION SCHEDULE

WEATHER EXPOSED PIPING AND INSULATION.

EXPOSED WEATHER PIPING AT CHILLER CONNECTIONS SHALL BE STEEL ASTM A-53 WITH FIBERGLASS INSULATION. INSTALL ALUMINUM EXTERNAL JACKET OVER FIBERGLASS INSULATION TO MATCH EXISTING. PROVIDE PRE=MOLDED INSULATION OVER ALL EXTERNAL EXPOSED VALVES.

MECHANICAL ROOM PIPING MATERIAL AND INSULATION. STEEL ASTM A-53 WITH GROOVED VICTAULIC COUPLING FOR ALL PIPING ABOVE 2"

2" AND BELOW SHALL BE COPPER WITH SOLDERED JOINTS.

ALL VALVE CONNECTIONS SHALL BE FLANGED WITH EPDM GASKET. INSULATION FIBERGLASS: ONE-PIECE MOLDED THREE POUND DENSITY (ASTM C547, CLASS 2) WITH FACTORY

APPLIED ALL-SERVICE JACKET WITH SELF-SEALING LAP. INSULATION SUITABLE FOR PAINTING WITH LATEX PAINTS. INSULATION SUITABLE FOR PIPE TEMP. FROM 0 DEG. TO

850 DEG. JACKET WITH VAPOR BARRIER WITH A PERMEANCE OF LESS THAN 0.02 PERMS/IN. (ASTM E96) MECHANICAL ROOM INSULATION SHALL HAVE ADDITIONAL PVC JACKET.

STENCILE ALL PIPING IN THE MECHANICAL ROOM WITH CONTENT AND DIRECTION EVERY 6' INTERVAL.

BUILDING PIPING AND INSULATION.

STEEL ASTM A-53 WITH GROOVED VICTAULIC COUPLING FOR ALL PIPING ABOVE 2" 2" AND BELOW SHALL BE COPPER WITH SOLDERED JOINTS. DRAIN PIPES SHALL EITHER COPPER OR PVC

WITH 1/2" BLACK FOAM INSULATION.

INSULATION FIBERGLASS: ONE-PIECE MOLDED THREE POUND DENSITY (ASTM C547, CLASS 2) WITH FACTORY APPLIED ALL-SERVICE JACKET WITH SELF-SEALING LAP.

INSULATION SUITABLE FOR PAINTING WITH LATEX PAINTS. INSULATION SUITABLE FOR PIPE TEMP. FROM 0 DEG. TO 850 DEG. JACKET WITH VAPOR BARRIER WITH A PERMEANCE OF LESS THAN 0.02 PERMS/IN. (ASTM E96)

DUCTWORK AND AIR DEVICES INSULATION.

DUCTWORK AS PER LATEST SMACNA GUIDELINES FOR LOW PRESSURE SYSTEM. INSULATED ALL (SUPPLY, RETURN, EXHAUST, OUTSIDE AIR) WITH DOUBLE BUBBLE WRAP TYPE (R-8) ALL DIFFUSERS AND GRILLES SHALL HAVE ABOVE DIFFUSER MOLDED INSULATION ON FACE PLATES.

ALL PUMPS, AIR-SEPORATORS, AND EXPANSION TANKS. INSULATED WITH BLACK FOAM INSULATION.

ALL CHILLED AND HOT WATER VALVES WITHIN THE PIPINGS. ONE PIECE PRE-MOLDED INSULATION.

REFRIGERANT LINE INSULATION:

INSULATE ALL REFRIGERANT LINES WITH 3/4" PRE-MOLDED BLACK FOAM INSULATION. ALL EXTERIOR EXPOSED REFRIGERANT LINES SHALL HAVE ADDITIONAL PVC JACKET INSULATION.

VRV DRAIN PIPING

ALL INDOOR UNITS SHALL HAVE PVC CONDENSATE DRAIN PIPING ROUTED TO NEAREST FLOOR / JAN. SINK. PIPING CAN BE COMBINED FOR MULTIPLE INDOOR UNITS. SLOPE PIPING FOR GRAVITY DRAIN.

MISC MECH ROOM EQUIPMENT

PROVIDE ALL MISC ITEMS IN MECHANICAL ROOM SUCH AS MAKE UP WATER ASSEMBLY, CHEMICAL SHOT FEEDER, CONTROL VALVES, TEMP AND FLOW CONNECTIONS NIPPLES, ETC..

HVAC CONTROLS SYSTEM

Building Automation System:

BUILDING WITH ALL NEW CONTROL SYSTEM BASED ON RELIABLE CONTROLS

MAIN CONTROL TOUCHSCREEN PANEL INSTALLED IN MAIN MECHANCIAL ROOM AND TIED TO NEW CAMPUS WIDE ON-LINE CONTROL SYSTEM. MAIN MECH ROOM CONTROLLER SHALL BE A UL CABINET WITH A TOUCHSCREEN PAD TO ACCESS HIGH SCHOOL HVAC SYSTEM OPERATION.

Mechanical Room Controls (BASEMENT)

Furnish and install new UL listed DDC control panel to control 2(ea) chill water pump VFD (Existing), including current transducers for status,

2(ea) hot water pumps VFD (New), including current transducers for pump status, 1(ea) boiler, 1(ea) chillers (Existing),

outside air temperature sensor, building hot water supply and return temperature sensors, boiler supply temperature sensor, building chill supply and return temperature sensors.

Provide any required programming for mechanical system.

Tie directly into building MAIN controller.

Mechanical Room Controls (Center Classrooms)

Furnish and install new UL listed DDC control panel to control 1(ea) chill water pump (Existing), including current transducers for status, 1(ea) hot water pump1 (Existing), including current transducers for pump status, 1(ea) boiler, 1(ea) boiler feed pump, 1(ea) chillers (Existing), outside air temperature sensor, building hot water supply and return temperature sensors, boiler supply temperature sensor,

building chill supply and return temperature sensors.

Provide any required programming for mechanical system. Tie directly into building MAIN controller.

Mechanical Room Controls (Gymnasium)

Furnish and install new UL listed DDC control panel to control 2(ea) dual temp water pump (NEW), including current transducers for status,

1(ea) boiler, 1(ea) boiler feed pump, 1(ea) chillers (Existing),

outside air temperature sensor, building hot water supply and return temperature sensors, boiler supply temperature sensor, building chill supply and return temperature sensors.

Provide any required programming for mechanical system. Tie directly into building MAIN controller.

Gymnasium section Controls Upgrade

Replace all AHUs control module, local thermostat and tie back into new building control system.

Replace all chilled / hot water valves at the main AHUs and multiple fan coil units. Field verify exact location and systems.

Classrooms Unit Ventilators / Misc FCUs:

Furnish and install new Reliable digital thermostat and RH sensor for each unit tied to main controller

Each Unit Ventilator / FCU furnished with BACnet module for control contractor to tie into.

CONTROL CONTRATOR TO FURNISH AND INSTALL 3-WAY MODULATING VALVES ON BOTH CHILLED AND HOT WATER PIPING KIT PROVIDED BY FCU MANUFACTURER.

EXISTING PACKAGED RTU SERVING OFFICE AREA

Existing PACKAGED RTUS BE UPDATED WITH NEW BACnet CONTROL MODULES WITH NEW WALL THERMOSTAT / CONTROLLERS AND TIED TO NEW RELIABLE CONTROL SYSTEM.

NEW EXHAUST FANS:

FANS TO OPERATE AS PER DEDICATED SPACE SENSORS / SWITCHES.

MAIN CONTROLLER WITH SYSTEM GRAPHICS TO MONITOR ALL FAN OPERATIONS STATUS WITH OVERRIDES. ALARM WHEN FAN FAILURE.

SPACES WITH TEMPERATURE ACTIVATION, SHOW TEMPERATURE AT THE ZONE ON GRAPHICS WITH FAN STATUS.

MAIN GANG TOILET EXHAUST FANS TO RUN CONTINUOUSLY AS PER SCHEDULE (8AM TO 5PM) ADJUSTABLE.

WALK-IN FREEZER / COOLER

INSTALL NEW TEMP SENSORS IN WALK IN FREEZER AND COOLER WITH MONITORING AT MAIN CONTROL SYSTEM.

PROGRAM TO ALERT USER THRU TEXT WHEN TEMP RISE ABOVE SETPOINT.

DESIGN PROFESSIONAL



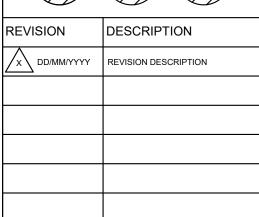
PLAN REVIEWER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

DATE | 02/08/2021









COUNTY MIDDLE SCHOOL RENOVATION 2020

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> MECHANICAL SCHEDULES

ELECTRICAL LEGEND - LIGHTING SYMBOL DESCRIPTION CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED. CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED. CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED. REMOTE HEAD, CONTROLLED BY EXIT LIGHT. CEILING OUTLET AND LIGHTING FIXTURE AS SCHEDULED. WALL OUTLET AND LIGHTING FIXTURE AS SCHEDULED. WALL MOUNTED EMERGENCY LIGHT AS SCHEDULED. WALL OUTLET AND LIGHTING FIXTURE AS SCHEDULED. SYMBOL INDICATES FIXTURE TYPE WHEN SHOWN ON LIGHTING PLANS ADJACENT TO FIXTURE SYMBOL. REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE REQUIREMENTS. OUTLET BOX AND 20-AMP, SINGLE-POLE SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED. OUTLET BOX AND 20-AMP, THREE-WAY SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED. OUTLET BOX AND 20-AMP, FOUR-WAY SWITCH, MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED. OUTLET BOX AND 20-AMP, SINGLE-POLE DIMMER SWITCH. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED.

MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. SUB-TEXT INDICATES CIRCUIT SWITCHED. OUTLET BOX AND 20-AMP, COMBINATION SWITCH AND OCCUPANCY SENSOR. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR,

OUTLET BOX AND 20-AMP, THREE-WAY DIMMER SWITCH.

SWITCH CONFIGURATION AND CIRCUIT SWITCHED AS OTHER NON-OCCUPANCY SENSOR SWITCHES. OUTLET BOX AND 10-AMP, COMBINATION SWITCH AND LOW-VOLTAGE (0-10V) DIMMER. MOUNT AT 46 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE. LOCATE WITHIN 12 INCHES OF STRIKE SIDE OF DOOR, UNLESS NOTED OTHERWISE. OTHER TEXT

INDICATES SWITCH CONFIGURATION AND CIRCUIT

SWITCHED AS OTHER NON-DIMMER SWITCHES.

UNLESS NOTED OTHERWISE. OTHER TEXT INDICATES

CEILING-MOUNT OCCUPANCY SENSOR. THE LETTER(S) DESIGNATION ADJACENT TO THE SYMBOL (IF SHOWN) INDICATE SWITCHING ZONES TO BE CONTROLLED BY THE SENSOR. IF A LETTER DESIGNATION IS NOT SHOWN, THE SENSOR SHALL CONTROL ALL LIGHTING FIXTURES WITHIN THE ROOM.



WALL-MOUNT OCCUPANCY SENSOR. THE LETTER(S) DESIGNATION ADJACENT TO THE SYMBOL (IF SHOWN) INDICATE SWITCHING ZONES TO BE CONTROLLED BY THE SENSOR. IF A LETTER DESIGNATION IS NOT SHOWN, THE SENSOR SHALL CONTROL ALL LIGHTING FIXTURES WITHIN THE ROOM.

ELECTRICAL LEGEND - TELCOM

SYMBOL DESCRIPTION

VOICE/DATA OUTLET. MOUNT OUTLET BOX AT 18 INCHES A.F.F. TO CENTER (EVEN WITH ADJACENT RECEPTACLE IF PRESENT) OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPLASH TO CENTER, UNLESS NOTED OTHERWISE. PROVIDE 1 INCH CONDUIT WITH PULLSTRING FROM OUTLET BOX TO NEAREST ACCESSIBLE CEILING CAVITY. BUSH CONDUIT ENDS. OUTLET BOX SHALL BE 4 INCH SQUARE BY 2-3/4 INCH DEEP WITH A SINGLE GANG PLASTER RING, UNLESS NOTED OTHERWISE. "W" TEXT ADJACENT TO SYMBOL DENOTES WALL PHONE LOCATION (MOUNT AT 56 INCHES A.F.F. TO CENTER). WHERE SHOWN ADJACENT TO A POWER RECEPTACLE, INSTALL OUTLET AT SAME HEIGHT, WITHIN 6 INCHES OF

VIDEO MONITOR OUTLET. MOUNT OUTLET BOX AT 18 INCHES A.F.F. TO CENTER (EVEN WITH ADJACENT RECEPTACLE). PROVIDE 1 INCH CONDUIT FROM OUTLET BOX TO NEAREST ACCESSIBLE ATTIC SPACE. BUSH CONDUIT ENDS. OUTLET BOX SHALL BE 4 INCH SQUARE BY 2-3/4 INCH DEEP WITH A SINGLE GANG PLASTER RING, UNLESS NOTED OTHERWISE.

RECEPTACLE, UNLESS OTHERWISE NOTED.

WAP

CEILING MOUNTED COMMUNICATIONS OUTLET BOX FOR WIRELESS ACCESS POINT. OUTLET BOX SHALL BE FOUR INCHES WITH A SINGLE GANG PLASTER RING.

ELECTRICAL LEGEND - POWER

SYMBOL DESCRIPTION

WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. MOUNT 18 INCHES ABOVE FINISHED FLOOR TO TO CENTER, UNLESS NOTED OTHERWISE.

WALL OUTLET WITH 20A, 125V DUPLEX RECEPTACLE. MOUNT 48 INCHES ABOVE FINISHED FLOOR TO TO CENTER, OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPLASH TO CENTER, UNLESS NOTED OTHERWISE.

CEILING MOUNTED OUTLET WITH 20A, 125V DUPLEX

WALL OUTLET WITH 20A, 125V DOUBLE-DUPLEX RECEPTACLE. MOUNT 18 INCHES ABOVE FINISHED FLOOR TO CENTER, UNLESS NOTED OTHERWISE.

WALL OUTLET WITH 20A, 125V DOUBLE-DUPLEX RECEPTACLE. MOUNT 48 INCHES ABOVE FINISHED FLOOR TO TO CENTER, OR 8 INCHES ABOVE COUNTER OR COUNTER BACKSPLASH TO CENTER, UNLESS NOTED OTHERWISE.

WALL OUTLET WITH SIMPLEX RECEPTACLE AS NOTED ON POWER PLANS.

FLOOR OUTLET WITH DUPLEX RECEPTACLE AND 2 PORT

FLOOR OUTLET WITH DOUBLE-DUPLEX RECEPTACLE AND 2 PORT DATA OUTLET.

SYMBOL INDICATES GROUND FAULT CIRCUIT GFCI INTERRUPTER TYPE RECEPTACLE WHEN SHOWN

ADJACENT TO RECEPTACLE SYMBOL ON PLANS.

SYMBOL INDICATES WESTHER-PROOF WHILE-IN-USE TYPE ENCLOSURE WHEN SHOWN ADJACENT TO RECEPTACLE SYMBOL ON PLANS.

NUMBER TEXT INDICATES CIRCUIT NUMBERS WHEN SHOWN ADJACENT TO SYMBOLS ON PLAN.

LOWER-CASE LETTER TEXT INDICATES CIRCUIT " SWITCHING ARRANGEMENT WHEN SHOWN WITHIN OR ADJACENT TO SYMBOLS ON PLAN.

NUMBER TEXT INDICATES MOUNTING HEIGHT ABOVE FINISHED FLOOR TO CENTER OF OUTLET BOX WHEN SHOWN ADJACENT TO SYMBOLS ON PLAN.

→ WALL-MOUNT JUNCTION BOX AS NOTED ON PLANS.

(J) CEILING-MOUNT JUNCTION BOX AS NOTED ON PLANS.

⊢(P) JUNCTION BOX WITH PHOTO EYE.

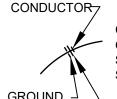
WALL-MOUNT PUSH BUTTON FOR ADA DOORS. MOUNTED AT ADA REQUIRED HEIGHTS.

30A/3 NON-FUSIBLE DISCONNECT SWITCH. TEXT INDICATES AMP AND ENCLOSURE RATINGS.

FUSIBLE DISCONNECT SWITCH. TEXT INDICATES AMP NEMA 3R FUSIBLE DISCONNECT SWITCH AND ENCLOSURE RATINGS.

30A/3 COMBINATION MOTOR STARTER AND DISCONNECT WITH THERMAL OVERLOADS.

PHASE



CIRCUIT. NUMBER OF CROSSBARS INDICATE QUANTITY OF CONDUCTORS REQUIRED. MINIMUM CONDUIT SIZE SHALL BE 3/4 INCH TRADE SIZE. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG.

GROUND -NEUTRAL -

> HOME RUN TO PANEL. NUMBER OF ARROW HEADS INDICATES NUMBER OF CIRCUITS. PREFIX INDICATES PANEL NOMENCLATURE. NUMBERS INDICATE CIRCUIT NUMBERS.

FIRE ALARM LEGEND

S	PHOTO ELECTRIC SMOKE DETECTOR	REPLACE CURRENT
H	AUDIO VISUAL NOTIFICATION DEVICE	REPLACE CURRENT
Sþ	VISUAL NOTIFICATION DEVICE	REPLACE CURRENT
H	HEAT DETECTOR ROR AND FIXED	REPLACE CURRENT
F	MANUAL PULL STATION	REPLACE CURRENT
FACP	ADDRESSABLE FIRE ALARM CONTROL PANEL	REPLACE CURRENT
PWR	NOTIFICATION DEVICE POWER SUPPLY	REPLACE CURRENT
ANN	ANNUNCIATOR PANEL	REPLACE CURRENT
H	AUDIO-VISUAL NOTIFICATION DEVICE	SINGLE GANG 80-96" TO BOTTOM AFF
Sþ	NEW LOCATION - VISUAL NOTIFICATION DEVICE	SINGLE GANG 80-96" TO BOTTOM AFF
F	NEW LOCATION - MANUAL PULL STATION	SINGLE GANG 42" TO BOTTOM AFF
WF	SPRINKLER WATERFLOW MONITOR	REPLACE CURRENT
TS	SPRINKLER TAMPER VALVE MONITOR	REPLACE CURRENT

1. Existing fire alarm device location. Remove device and wiring. Install blank cover plate.

	PA SYSTEM LEGEN	2
TAG	DESCRIPTION	MOUNTI
INT	INTERCOM HEADEND - REPLACE WITH QUANTITY OF ZONES AND AMPLIFIERS TO ACCOMODATE SYSTEM. MINIMUM 64 ROOM POINTS WITH CLASSROOM CALL-IN.	RACK MO
PH	INTERCOM SYSTEM PHONE - PERFORM FUNCTIONS OF NEW INTERCOM SYSTEM	DESK MO
DP	DOOR PHONE - CALL IN STATION TO RING OFFICE INTERCOM PHONE	SURFAC MOUNT 44 BOTTOM
S	EXISTING INTERCOM SPEAEKER. REUSE SPEAKER AND EXISTING CABLING.	CEILIN
СВ	CLASSROOM CALL IN BUTTON - NEW LOCATION	SINGLE G
S VANDAL	VANDAL RESITANT SURFACE MOUNT SPEAKER - NEW LOCATION	SURFAC
S 2x2	2X2 LAY-IN CEILING SPEAKER - NEW LOCATION	CEILIN
Н	OUTDOOR HORN - NEW LOCATION	SURFAC

	ACCESS CONTROL	LEGEND
TAG	DESCRIPTION	MOUNTING
WL	WIRELESS LOCKSET	REPLACE CURRENT LOCKSET
PIM	PANEL INERFACE MODULE	SURFACE MOUNT ABOV CEILING
CR	CARD READER	SINGLE GAN 44" TO BOTTOM AFI
EL	ELECTRONIC DOOR HARDWARE	NA
RX	REQUEST TO EXIT DEVICE	SINGLE GAN ABOVE DOOI HEADER
DPS	DOOR POSITION SWITCH	3/4" HOLE IN FRAME AND DOOR
PS	DOOR POWER SUPPLY	SURFACE MOUNT 48" TO BOTTOM AFF
ACH	ACCESS CONROL HEADEND	SURFACE MOUNT 48" TO BOTTOM AFF
1. COORDII	NATE WITH ARCHITECTURAL DRAWINGS FOR DOC	PR HARDWARE.

	CCTV LEGEND	
TAG	DESCRIPTION	MOUNTING
CN	OUTDOOR BULLET CAMERA - 5MP	SURFACE MOUNT BOX INCLUDED
©\(\)	INDOOR DOME CAMERA - 5MP	CEILING MOUNT
NŽVI	FISHEYE CAMERA - 12MP	CEILING MOUNT
NVR	VMS SERVER - HDD AND CHANNELS TO ACCOMADATE ALL CAMERAS	RACK MOUN

SYMBOL

SYMBOL

DESCRIPTION

DESCRIPTION

ADA COMPLIANT SURFACE MOUNTED HAND DRYER.

DUAL TECHNOLOGY LINE VOLTAGE CEILING SENSOR.

GENERAL NOTES: 1. ALL WORK SHALL BE DONE BY A LICENSED CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOBSITE SAFETY, INCLUDING REQUIREMENTS OF

AUTHORITIES HAVING JURISDICTION. 3. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED

OF BY THE CONTRACTOR, UNLESS NOTES OTHERWISE.

4. THERE SHALL BE NOTHING ABANDONED IN PLACE, UNLESS SPECIFICALLY IDENTIFIED AS SUCH.

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. INCLUDING ADDENDA, AND APPLICABLE CODES AND STANDARDS.

6. ALL TRADES SHALL COORDINATE THE ROUTING AND INSTALLATION OF HIS WORK WITH THAT OF ALL OTHER TRADES THROUGH THE GENERAL CONTRACTOR.

PROVIDE ALL EQUIPMENT, MATERIAL, LABOR, SUPERVISION, COST, AND SERVICES REQUIRED TO INSTALL COMPLETE AND WORKING SYSTEMS. INCLUDING ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLE, INCIDENTAL, OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND

EVERY ITEM IS NOT SPECIFIED OR SHOWN. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH WITH ALL APPLICABLE STATE AND LOCAL

9. SECURITY CONTRACTOR IS RESPONSIBLE FOR RACEWAYS, WIREWAYS, AND CONDUIT REQUIRED FOR THE INSTALLATION OF SECURITY DEVICES. 10. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER

SPECIFICATIONS.

COORDINATE DRYER MODEL, FINISH, AND ACCESSORY SELECTIONS WITH

HAND DRYER SHALL BE INSTALLED WITH NO HEAT OPTION/HEAT OFF OPTION

HAND DRYERS SHALL BE INSTALLED AT ADA HEIGHT, PER MANUFACTURER

HAND DRYER POWER SUPPLY SELECTION SHALL MATCH CIRCUITRY

INDICATED ON SHEET E1.03 AND PANEL SCHEDULES ON SHEET E0.02.

COORDINATE OCCUPANCY SENSOR SELECTION AND FINISH WITH THE

OCCUPANCY SENSORS SHALL BE INSTALLED TO SWITCH A 120VAC LINE.

BUILDING CODES, INCLUDING THE NEC.

PLAN REVIEWER F NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING

DESIGN PROFESSIONAL

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK. KEL - EJS

DATE | 02/18/2021 CONSTRUCTION DOCUMENTS



DESCRIPTION

REVISION $/\chi$ DD/MM/YYYY REVISION DESCRIPTION



COUNTY MIDDLE SCHOOL RENOVATION 2020

5 W MAIN ST KENTUCKY A 20200821

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> **ELECTRICAL** SCHEDULES & LEGENDS

1. COORDINATE STYLE & FINISH WITH THE OWNER. 2. TO BE INSTALLED WITH EMERGENCY BATTERY PACK. 1. COORDINATE STYLE & FINISH WITH THE OWNER. 1. COORDINATE STYLE & FINISH WITH THE OWNER. 2. TO BE INSTALLED WITH EMERGENCY BATTERY PACK.



MANUFACTURER

EXCEL

WORLD DRYER

SLOAN

MANUFACTURER

WATTSTOPPER

LITHONIA

HUBBELL

HAND DRYER SCHEDULE

SERIES

THIN-AIR

SLIMDRI

OPTIMA

DT-355

CMR PDT 9

OMNI

WATTAGE

375 WATTS

300 WATTS

375 WATTS

MAX. LOAD

800 WATTS @

800 WATTS @

16 AMPS @

120VAC

120VAC

120VAC

OCCUPANCY SENSOR SCHEDULE

VOLTAGE

110V/120V OR

208-277V

120/208/240V

110V/120V OR

VOLTAGE

120/230/277/347

120/277VAC

120-277VAC

REMARKS

REMARKS

THE OWNER.

RECOMMENDATIONS.

ART KILN _--- 41 42 --- DRINKING FOUNTAIN EUH 1 ____ 45 | 46 ____ " " 103 " " 103 ____ 55 56 ____ EX. FAN-RESTROOMS " " 103 --- 57 58 --- P-1 WATER COOLER WATER COOLER BOYS RESTROOM HAND DRYER 20A 69 70 20A BOYS RESTROOM HAND DRYER CIPLS RESTROOM HAND DRYER 20A 69 70 20A BOYS RESTROOM HAND DRYER 20A 69 70 2 GIRLS RESTROOM HAND DRYER 20A 71 72 20A GIRLS RESTROOM HAND DRYER GIRLS RESTROOM HAND DRYER 20A 73 74 20A GIRLS RESTROOM HAND DRYER SPACE --- 75 76 --- SPACE SPACE SPACE --- 77 78 --- SPACE

(4) NEW BRANCH

CIRCUITS TO BE

INSTALLED ON (4)

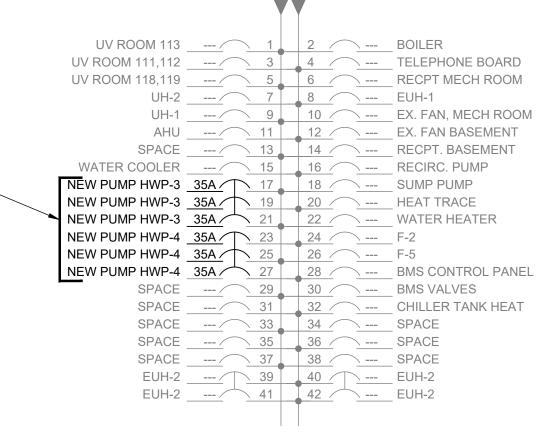
NEW 20A BREAKERS.

- (4) NEW BRANCH CIRCUITS TO BE INSTALLED ON (4) NEW 20A BREAKERS.

PANEL"C" (EXISTING)

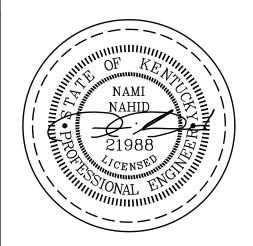
400A, 120/240V, 1PH, 3W. FLUSH MOUNT 42 SPACE CHALLENGER PANELBOARD PRL1 SERIES

(2) NEW BRANCH CIRCUITS TO FEED NEW **PUMPS IN BASEMENT** MECH. ROOM TO BE INSTALLED ON (2) NEW 35A, 3 POLE BREAKERS.



PANEL"B" (EXISTING)

225A, 120/240V, 1PH, 3W. SURFACE MOUNT 42 SPACE CHALLENGER PANELBOARD PRL1 SERIES



DESIGN PROFESSIONAL



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KEL - EJS DATE | 02/18/2021

CONSTRUCTION DOCUMENTS





DESCRIPTION REVISION /X DD/MM/YYYY REVISION DESCRIPTION

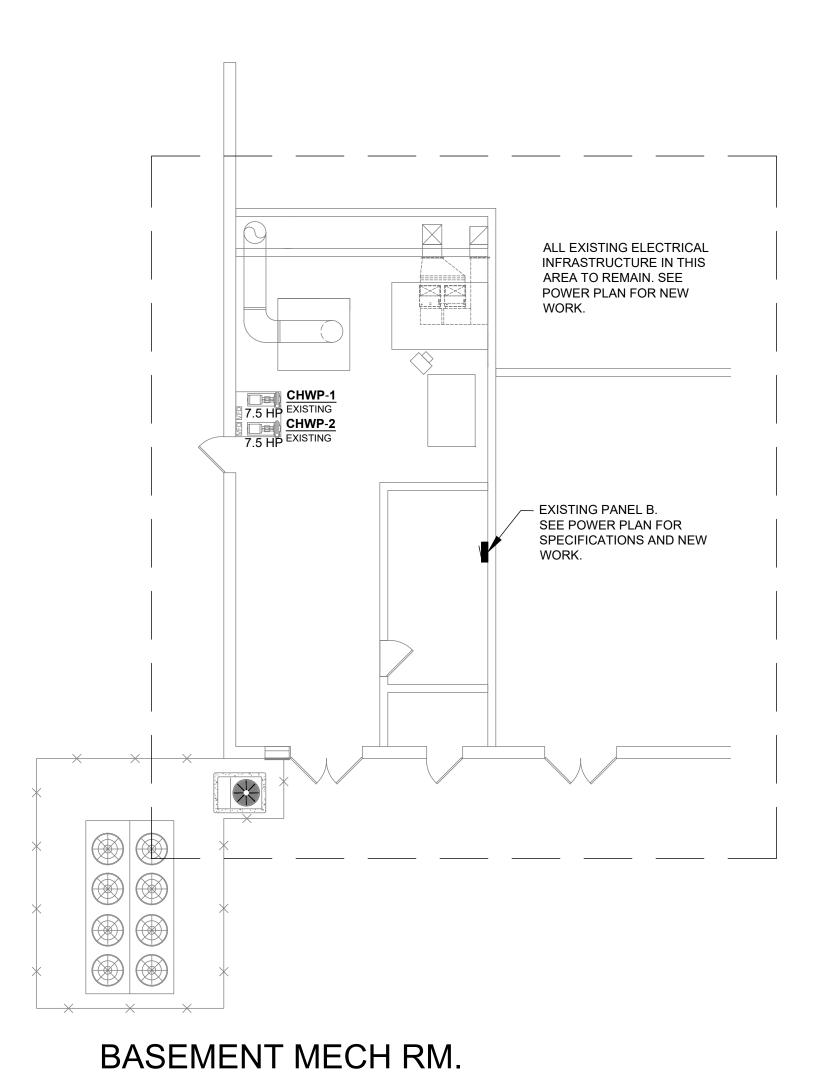
TODD COUNTY MIDDLE SCHOOL RENOVATION 2020

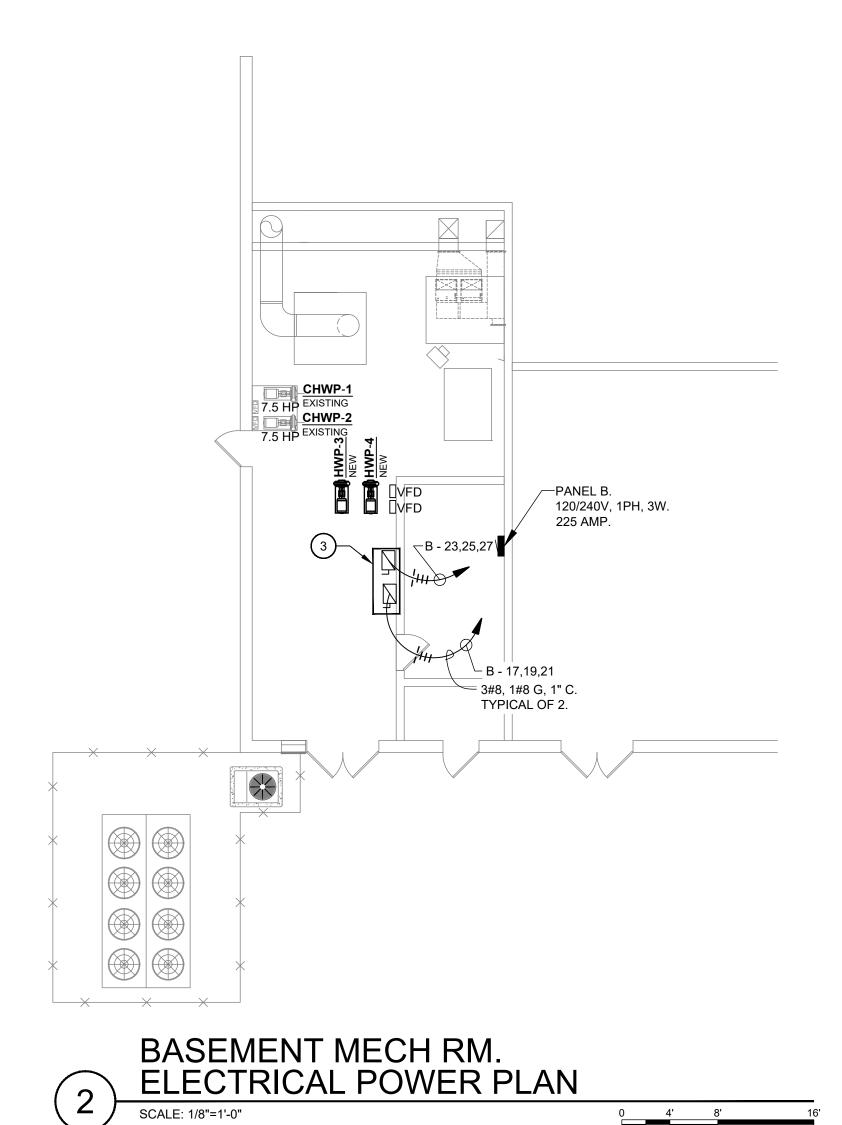
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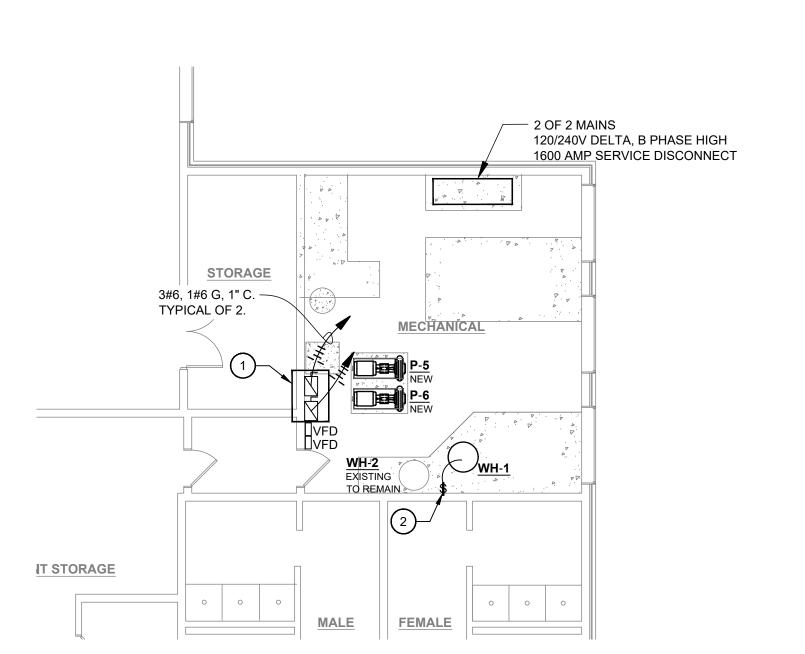
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ELECTRICAL POWER DISTRIBUTION





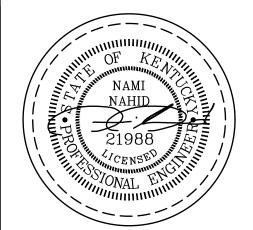


GYM MECH RM. ELECTRICAL POWER PLAN

MECH RM. DEMO NOTES:

- INSTALL (2) VFD'S FOR NEW PUMPS. (VFD'S PROVIDED BY MECHANICAL CONTRACTOR). WIRE PUMP AND VFD'S TO MANUFACTURER'S SPECIFICATIONS. COMPLETELY REMOVE ALL ASSOCIATED CIRCUITRY. REWORK RACEWAY BETWEEN THE VFD'S AND NEW PUMPS AS NECESSARY FOR NEW INSTALL, REUSING EXISTING RACEWAY WHERE
- COMPLETELY REMOVE ALL CIRCUITRY AND DISCONNECTS ASSOCIATED WITH EXISTING PUMP. REWORK RACEWAY BETWEEN THE VFD'S AND NEW PUMPS AS NECESSARY FOR NEW INSTALL, REUSING EXISTING RACEWAY WHERE APPLICABLE.
- DISCONNECT ELECTRICAL CIRCUIT FOR EXISTING WATER HEATER, LEAVING CIRCUIT IN PLACE FOR NEW WATER HEATER TO BE INSTALLED IN SAME SPACE. COORDINATE WITH PLUMBING FOR ANY ADDITIONAL REQUIREMENTS FOR REMOVING EXISTING WATER HEATER.
- 3a) FIELD VERIFY PROPER WORKING CONDITION OF EXISTING CIRCUITRY TO BE REUSED FOR NEW
- COMPLETELY REMOVE EXISTING WATER HEATER DISCONNECT SWITCH. SEE NEW WORK FOR REPLACEMENT DETAILS.

- PROVIDE (2) NEW 60A, 3 PHASE, NON-FUSIBLE DISCONNECTS TO DE-ENERGIZE NEW PUMPS "P-5" AND "P-6". INSTALL (2) NEW 60 AMP I-LINE BREAKERS IN THE EXISTING SWITCHGEAR (2 OF 2 MAINS), AND FEED EACH DISCONNECT FROM ITS OWN 60 AMP BREAKER.
- PROVIDE A SINGLE POLE, 20 AMP, TOGGLE TYPE SAFETY-DISCONNECT SWITCH, WITH LOCK-OUT TAG-OUT ACCESSORY AS A DISCONNECTING MEANS TO NEW WATER HEATER. REWORK REUSABLE CIRCUITRY AND RACEWAY AS NECESSARY TO ACCOMMODATE NEW WATER HEATER INSTALL. COORDINATE FINAL CONNECTIONS WITH PLUMBING.
- PROVIDE (2) NEW 60A, 3 PHASE, NON-FUSIBLE DISCONNECTS TO DE-ENERGIZE NEW PUMPS "HWP-3" AND "HWP-4". INSTALL (2) NEW 35 AMP, 3 POLE BREAKERS IN PANEL B (EXISTING), AND FEED EACH DISCONNECT FROM ITS OWN 35 AMP BREAKER. REFER TO PANEL SCHEDULES ON SHEET E0.02. WIRE PUMPS AND VFD'S TO MANUFACTURER'S SPECIFICATIONS.



DESIGN PROFESSIONAL



PLAN REVIEWER NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING

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KEL - EJS

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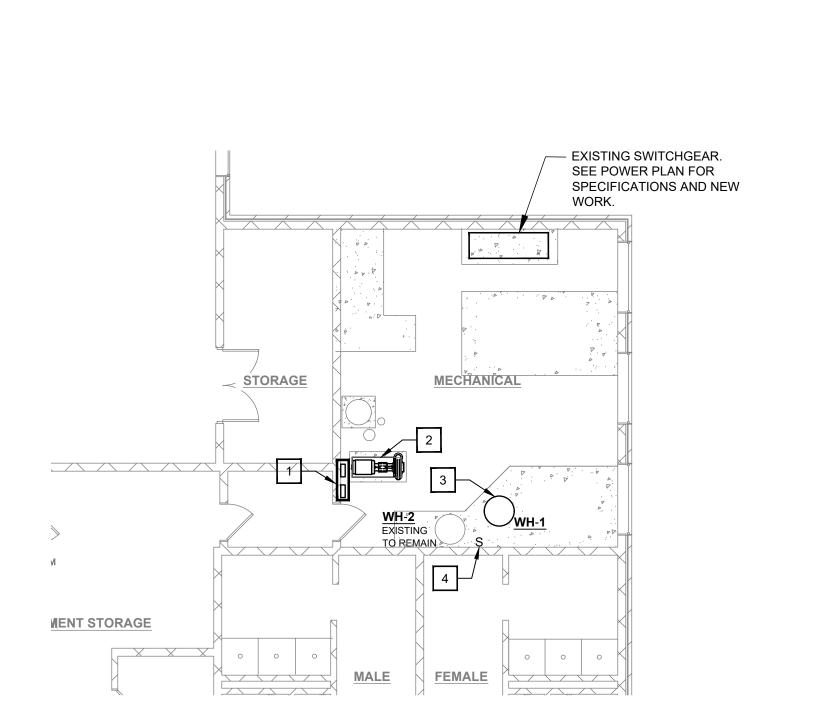
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ENLARGED MECHRM ELECTRICAL DEMO AND **NEW WORK**

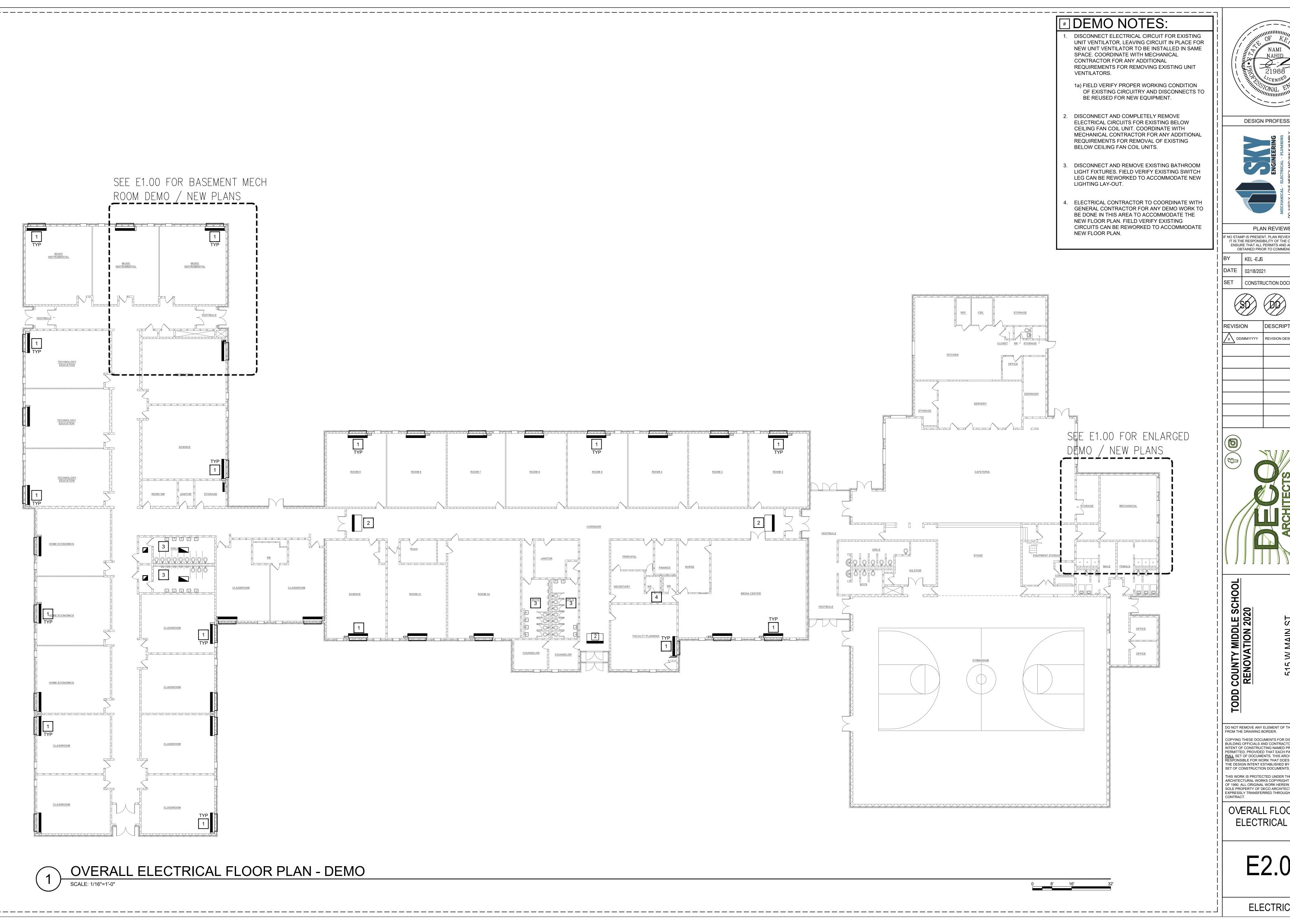
ELECTRICAL

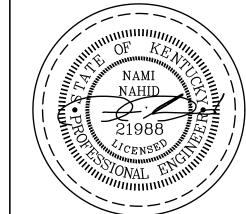


GYM MECH RM. ELECTRICAL DEMO PLAN

ELECTRICAL DEMO PLAN

SCALE: 1/8"=1'-0"





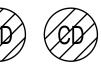


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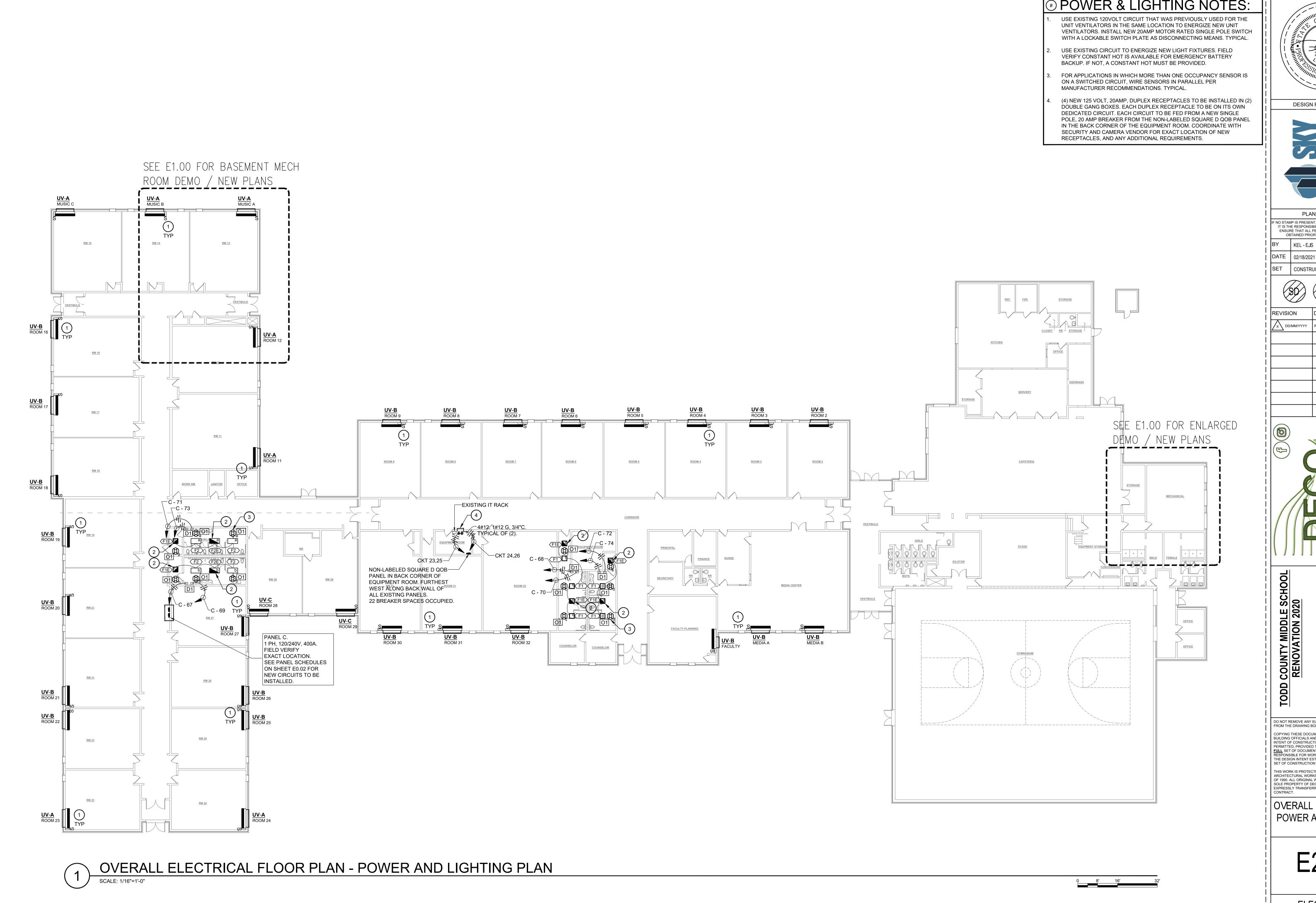


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OVERALL FLOOR PLAN **ELECTRICAL DEMO**

E2.00







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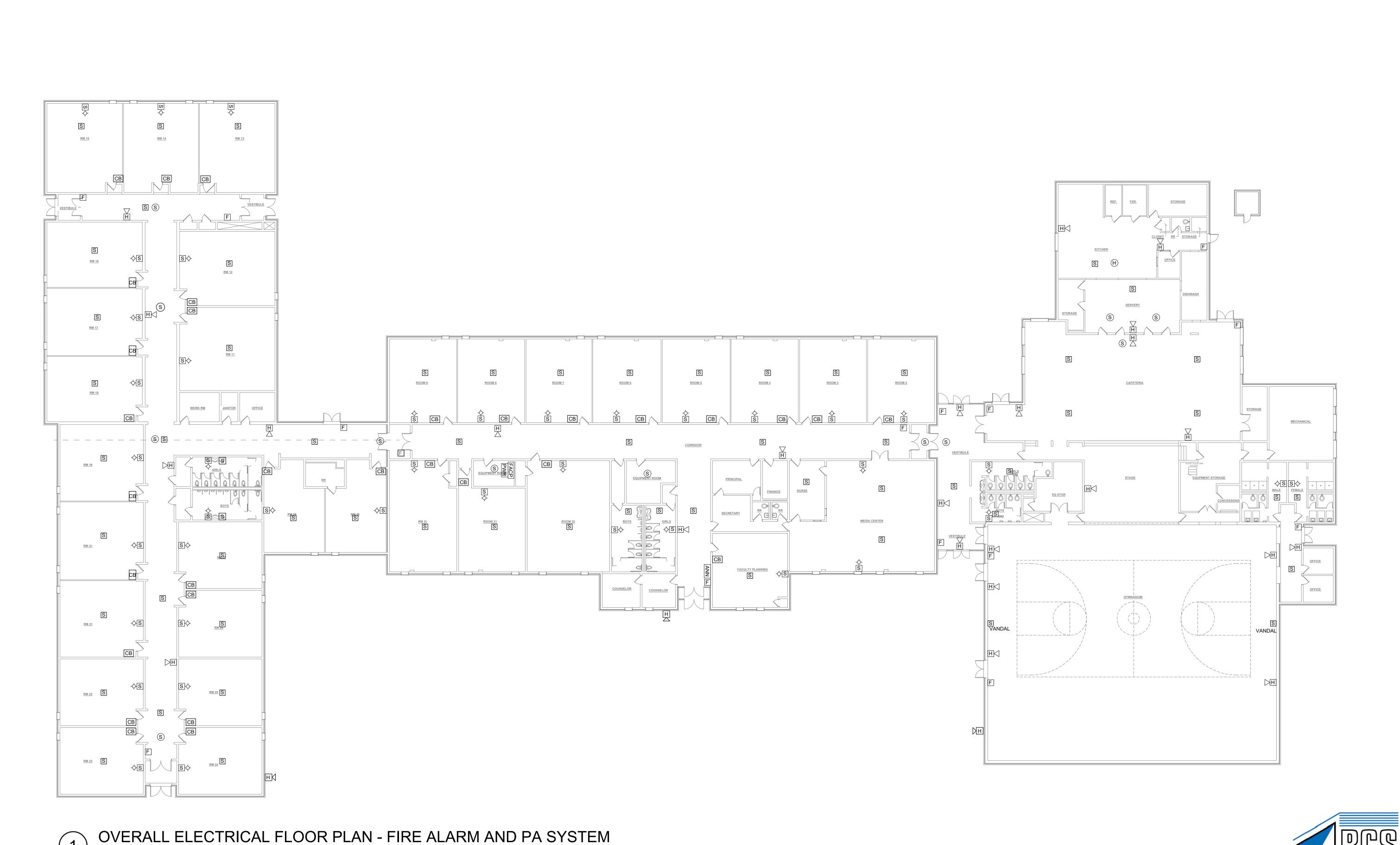
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OVERALL FLOOR PLAN -POWER AND LIGHTING





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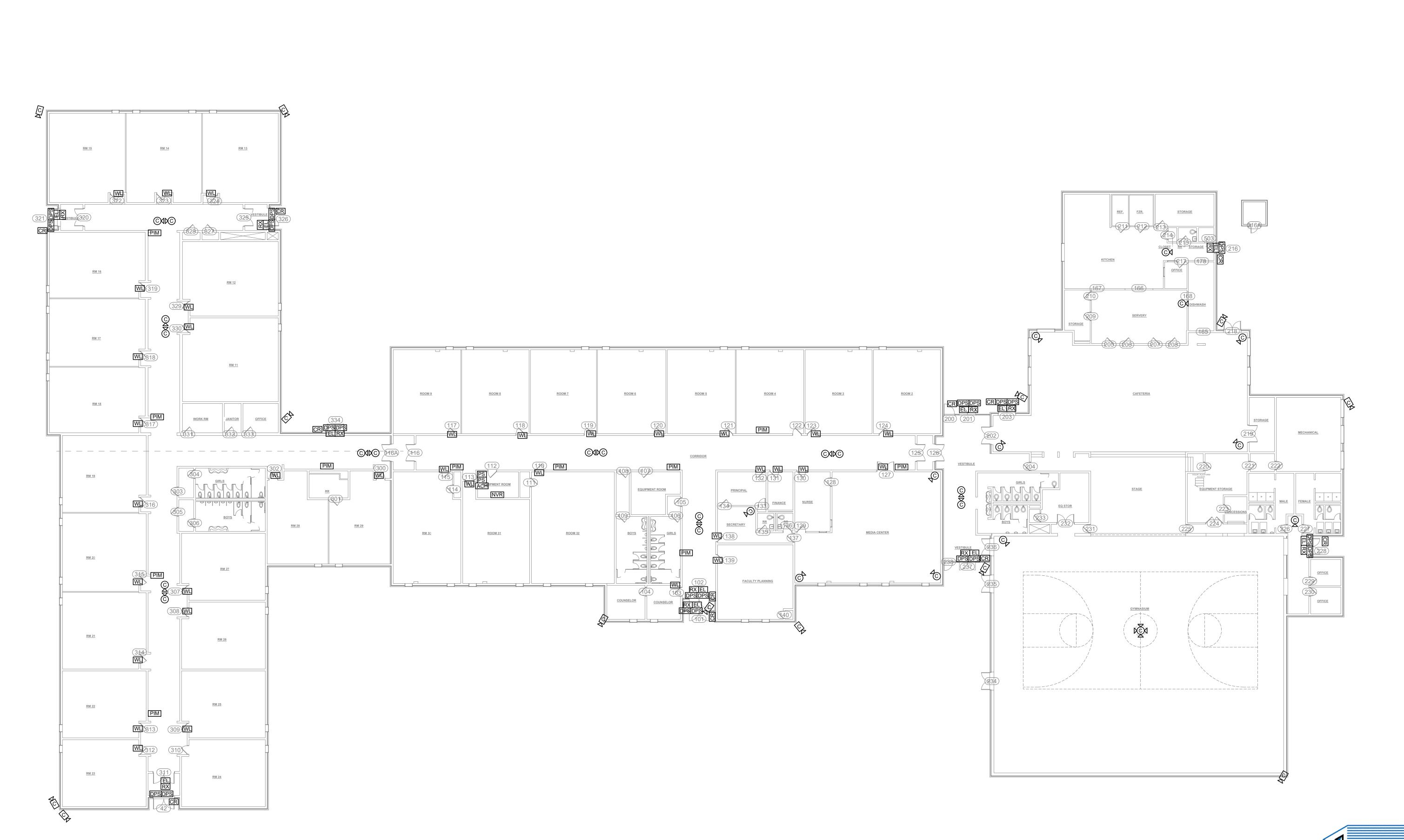
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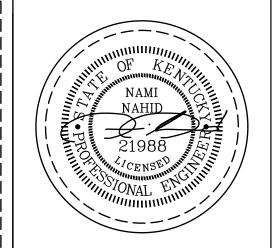
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OVERALL FLOOR PLAN -FIRE ALARM AND PA SYSTEM

E3.00







PLAN REVIEWER

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RENOVATION 2020

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OVERALL FLOOR PLAN -CCTV AND ACCESS CONTROL

E3.01

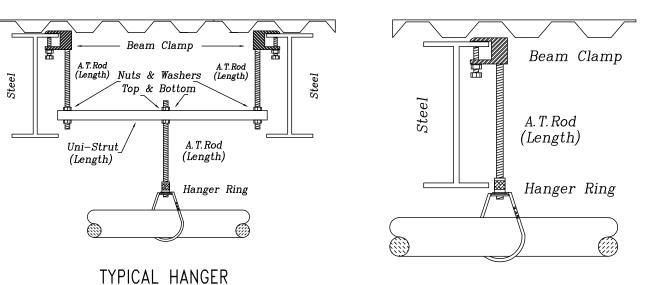
ELECTRICAL

OVERALL ELECTRICAL FLOOR PLAN - CCTV AND ACCESS CONTROLS

SCALE: 1/16"=1'-0"

8' 16' 32'

DESIGN INTENT NOTES



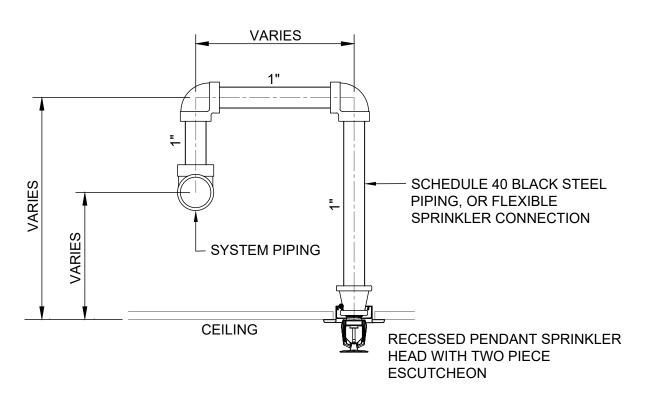
TYPICAL HANGER

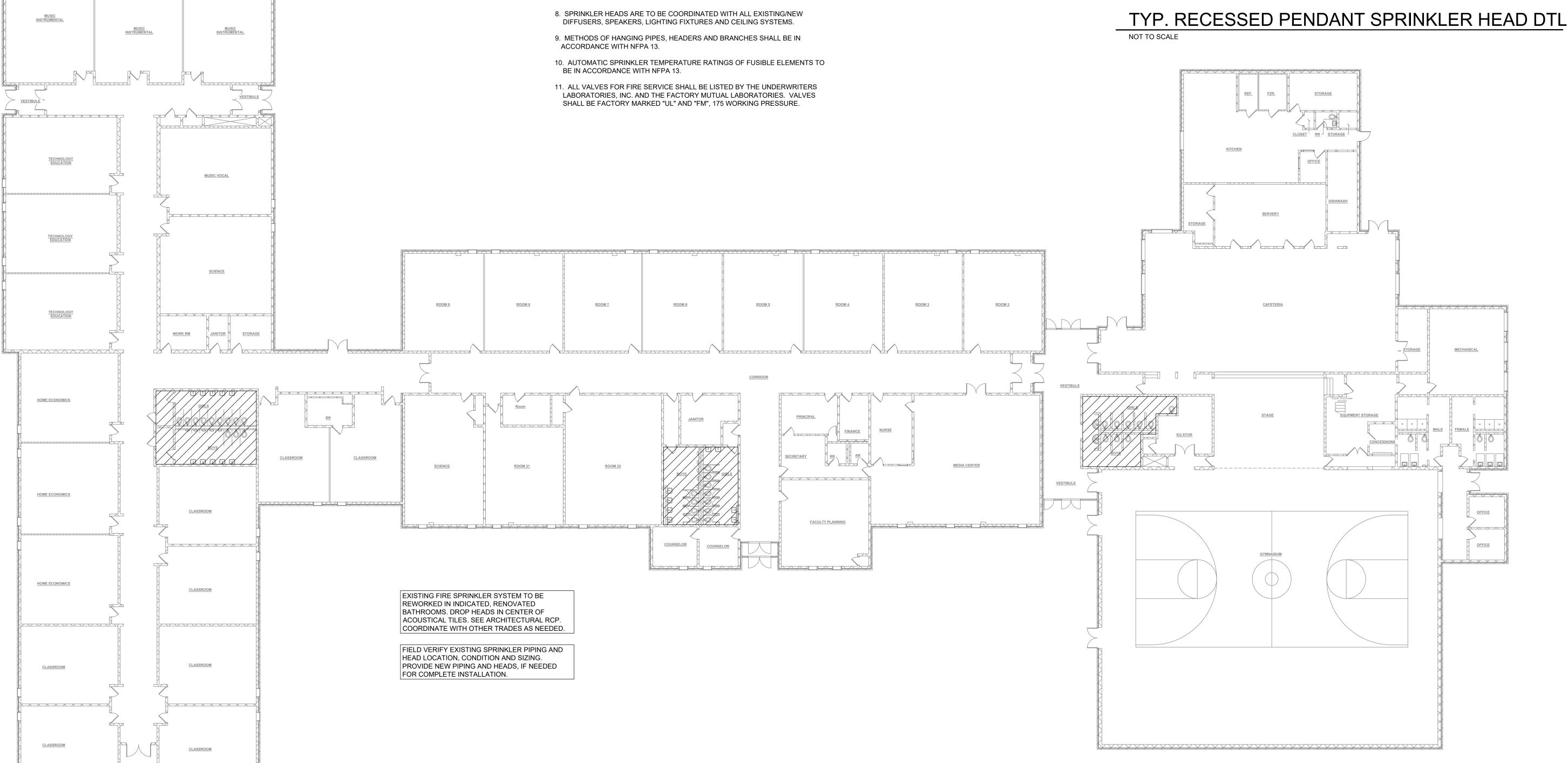
1. FIRE PROTECTION SYSTEM TO COMPLY WITH NFPA 13, AND ALL APPLICABLE STATE AND LOCAL CODES. THIS PLAN INDICATES THE INTENT OF THE DESIGN. CONTRACTOR HAS THE OPTION TO REDESIGN PIPING PROVIDED THE INTENT OF THE DESIGN IS NOT ALTERED.

AND ARCHITECT/ENGINEER.

- 2. ADHERE TO AND OBTAIN ALL PERMITS, LICENSES AND GOVERNMENT REQUIREMENTS.
- 3. FINAL INSPECTION AND APPROVAL BY LOCAL FIRE DEPARTMENT
- 4. CUTTING OF STRUCTURAL AND/OR ARCHITECTURAL MEMBERS TO BE DONE ONLY WITH THE WRITTEN APPROVAL OF THE ARCHITECT.
- 5. PIPE ROUTING SHOWN CAN BE USED OR EQUIVALENT AND ANY ADDITIONAL OFFSETS OR FITTINGS REQUIRED FOR PROPER INSTALLATION, COORDINATION WITH OTHER TRADES AND/OR TO MAINTAIN PROPER CLEARANCES SHALL BE PROVIDED. VERIFY EXISTING STRUCTURAL MECHANICAL AND ELECTRICAL INSTALLATIONS AND AVOID ANY/ALL OBSTRUCTIONS OR INTERFERENCES WITH FIRE PROTECTION PIPE ROUTING.
- 6. FIRE STOP ALL PENETRATIONS OF SMOKE/FIRE WALLS, CEILINGS, FLOORS, ROOFS ETC. FLASH AND COUNTER FLASH ROOF PENETRATIONS. (SEE FIRE RATED PIPE PENETRATION DETAIL).
- 7. PROVIDE ACCESS PANELS TO ALL VALVES ABOVE NON-ACCESSIBLE CEILINGS AND CHASES.

- 12. A SPRINKLER HEAD SHALL BE INSTALLED NO FURTHER THAT 7'-6" FROM EITHER SIDE OF A MAGNETICALLY HELD OPEN SMOKE DOOR.
- 13. PROVIDE A PERMANENTLY ATTACHED NAME TAG STATING THE REQUIRED DESIGN CRITERIA FOR EACH HYDRAULICALLY DESIGNED SYSTEM.
- 14. SPRINKLERS SHALL COVER THE ENTIRE AREA OF THE ROOM. SPRAY SHALL NOT BE BLOCKED BY WALLS OR PARTITIONS.
- 15. ALL SPRINKLER HEADS MOUNTED IN CEILING SHALL BE LOCATED A MINIMUM OF 4"AWAY FORM ANY WALLS, CEILING HEIGHT CHANGES OR ANY OTHER VERTICAL INTERSECTING SURFACE.
- 16. PIPE SHALL BE REAMED AND CLEANED BEFORE ASSEMBLY.
- 17. MAINTAIN A MINIMUM OF 18 INCHES FROM THE BOTTOM OF THE SPRINKLER DEFLECTOR TO THE TOP OF STORAGE/FILE STORAGE.
- 18. PROVIDE SYSTEM(S) WITH FLUSHING CONNECTION(S).
- 19. PROVIDE SPRINKLERS ABOVE AND BELOW EXPOSED DUCTWORK 4 FEET AND WIDER.
- 20. PROVIDE HEAD GUARDS ON SPRINKLER HEADS IN ELECTRIC AND TELEPHONE ROOMS.
- 21. INSPECTOR'S TEST VALVE SHALL NOT EXCEED 7 FEET ABOVE THE FINISHED FLOOR.





ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK. DATE 02/18/2021

CONSTRUCTION DOCUMENTS

PLAN REVIEWER

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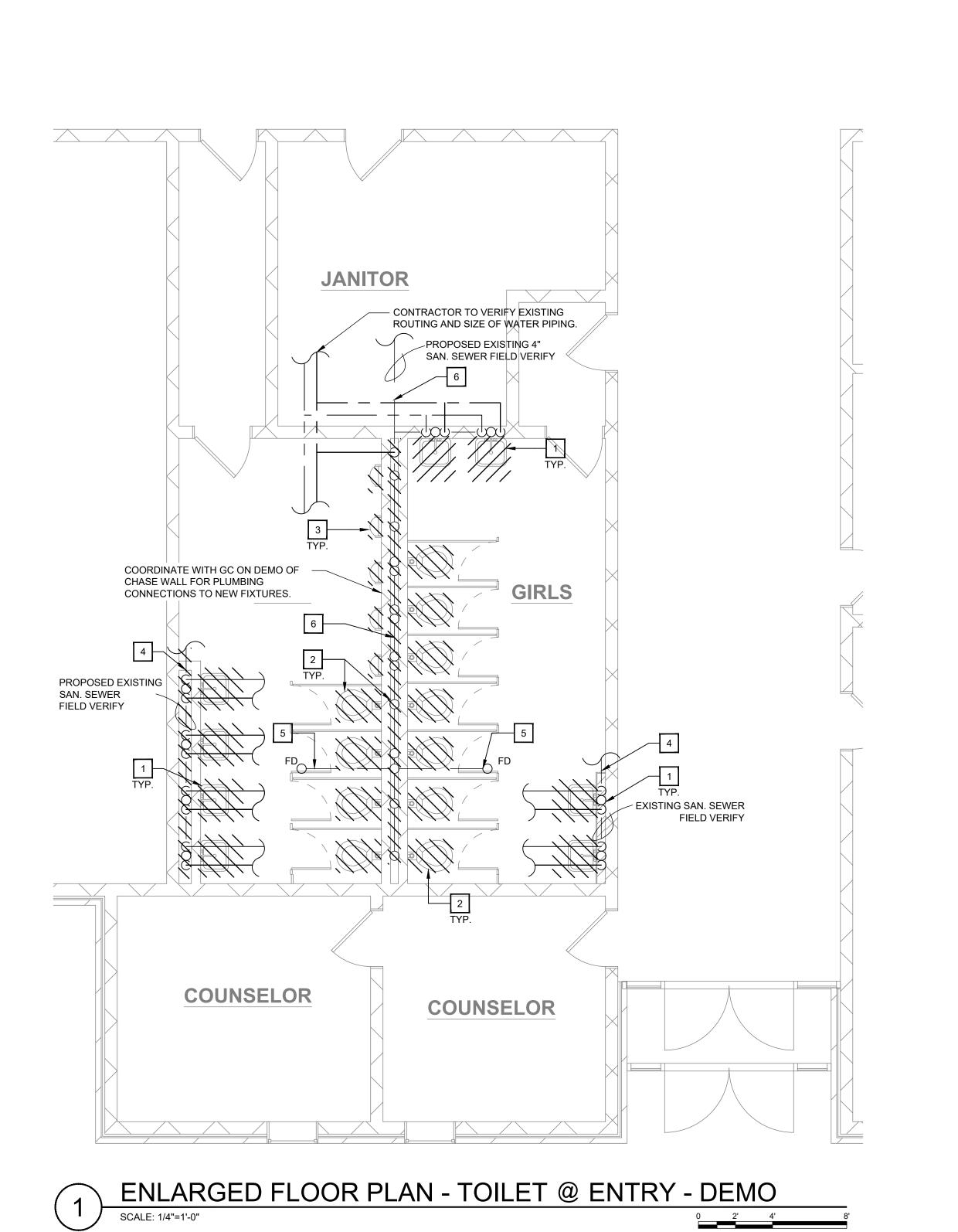
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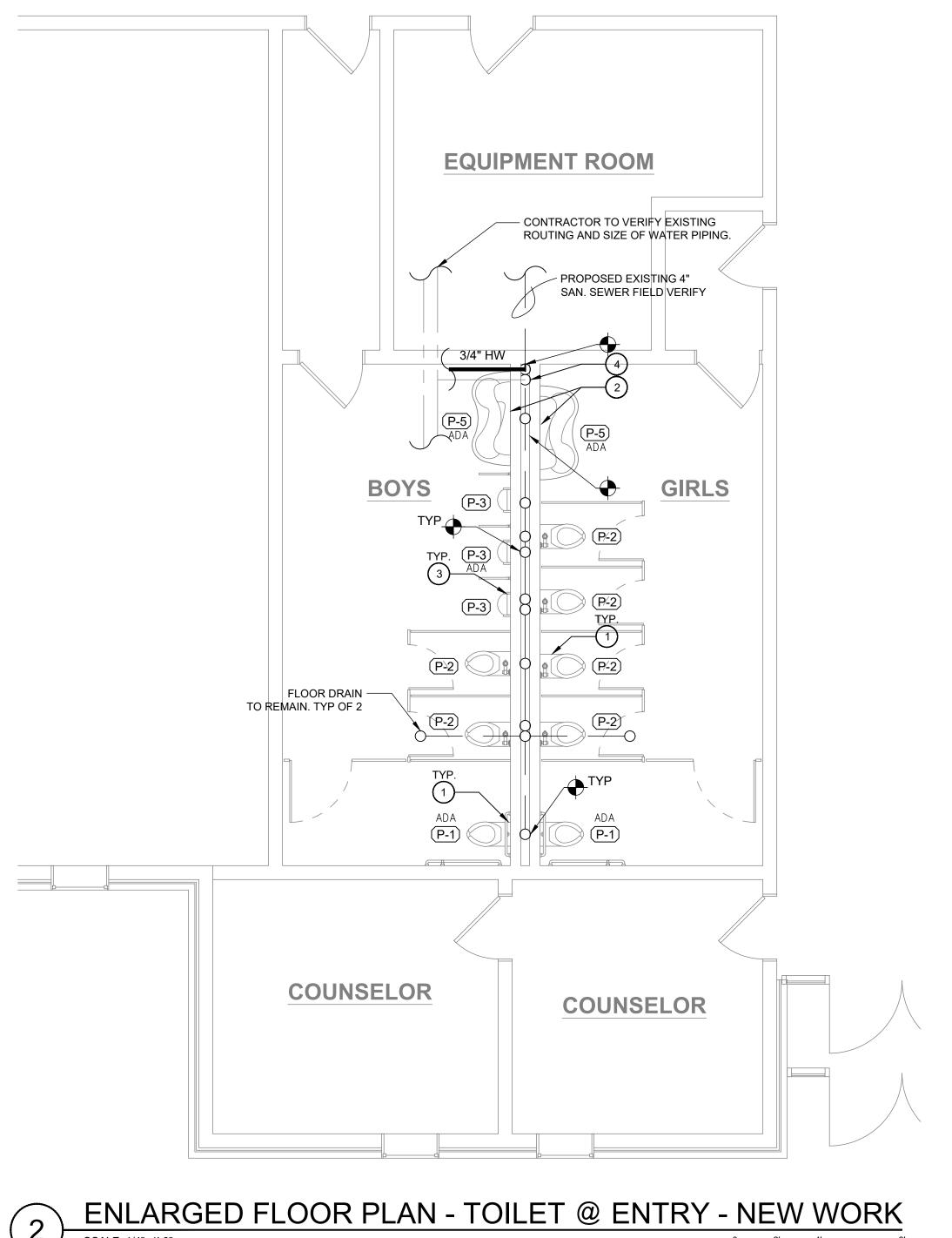
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FIRE INTENT PLAN, NOTES & DTL

FIRE PROTECTION

OVERALL FIRE PROTECTION INTENT



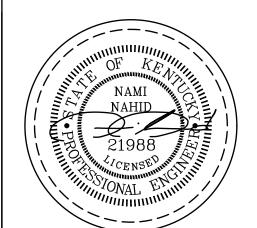


DEMO NOTES:

- ALL EXISTING LAVATORIES SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL PIPING, POWER, DRAIN, ETC. CAP PIPING BACK TO MAIN . FIELD VERIFY EXISTING DRAIN AND WATER CONNECTION LOCATION, ROUTING, AND CONDITIONS. SEE RISER
- . REMOVE EXISTING FLOOR MOUNTED TOILETS, INCLUDING WATER, VALVE AND DRAIN CONNECTION CAP AT MAIN (TYP). REMOVE EXISTING FLOORING, AS REQUIRED, IN PREPARATION FOR NEW SEWAGE CONNECTION TO NEW FLOOR MOUNTED AUTOMATIC FLUSH VALVE TOILETS. SEE PLUMBING SCHEDULE AND ARCHITECTURAL FOR ADDITIONAL INFORMATION AND FINISHES.
- REMOVE EXISTING URINALS IN ENTIRETY, INCLUDING WALL CARRIER, WATER CONNECTION, VALVES AND SEWER CONNECTION. REWORK WATER AND DRAIN PIPING FOR NEW FIXTURE INSTALL. CAP UNUSED PIPING, AT MAIN. FIELD VERIFY EXISTING CONDITIONS. TYPICAL.
- 4. PROPOSED LOCATION OF LAVATORY SEWER / VENT BRANCH LINE TO BE CAPPED BACK TO MAIN OR ABANDONED IN PLACE IF: FIELD VERIFICATION REVEALS BRANCH LINE SERVES ADDITIONAL FIXTURES THAN REMOVED LAVATORIES OR PERMISSION IS OBTAINED FROM LOCAL AHJ.
- 5. FLOOR DRAINS TO REMAIN. FIELD VERIFY CONDITION OF PIPING AND FIXTURE. PROVIDE TRAP PRIMER IF NOT PRESENT OR IN WORKING CONDITION.
- PROPOSED LOCATION OF EXISTING MAIN UNDER PLUMBING CHASE WALL. FIELD VERIFY CONDITION, SIZE AND LOCATION. REPLACE ANY PIPE NEEDED FOR COMPLETE INSTALL OF FIXTURES PER CODE. JET CLEAN EXISTING SEWER MAIN IN BATHROOM PRIOR TO NEW FIXTURE INSTALLATION.

NEW WORK NOTES:

- AUTOMATIC FLUSH VALVE TOILETS TO EXISTING DRAIN AND WATER PIPING. UTILIZE EXISTING PIPING WHEN APPLICABLE OR PROVIDE NEW CONNECTION TO MAINS, AS NEEDED FOR COMPLETE INSTALL OF NEW FIXTURE. SEE SEWER RISER.
- NEW WALL HUNG LAVATORY SYSTEM SHALL BE CONNECTED TO REWORKED DOMESTIC COLD WATER PIPING. UTILIZE EXISTING PIPING WHEN APPLICABLE OR PROVIDE NEW CONNECTION TO MAINS, AS NEEDED FOR COMPLETE INSTALL OF NEW FIXTURE. FIELD VERIFY EXISTING CONDITIONS OF PIPING, REPLACE IF NEEDED. PROVIDE NEW 3/4" HOT WATER WITH SHUT OFF VALVE, TO NEW FIXTURE. FIELD VERIFY EXISTING HOT WATER MAIN LOCATION AND CONNECT. PROVIDE ALL NECESSARY ACCESSORIES FOR COMPLETE INSTALL. SEE FIXTURE CONNECTION SCHEDULE
- CONTRACTOR TO FIELD VERIFY EXISTING WATER CONNECTION SIZE IN PIPE CHASE AND REWORK FOR NEW CONNECTIONS TO FIXTURES, AS REQUIRED. SEE FIXTURE CONNECTION SCHEDULE



DESIGN PROFESSIONAL



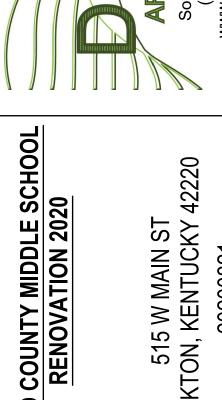
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- 1. CONTRACTOR TO INSTALL NEW FLOOR MOUNTED
- NEW URINAL SHALL TIE TO EXISTING MAINS, UTILIZE EXISTING PIPE CONNECTIONS WHEN APPLICABLE OR PROVIDE NEW CONNECTIONS TO MAINS, AS NEEDED FOR COMPLETE INSTALL OF NEW FIXTURE SEE RISER AND FIXTURE CONNECTION SCHEDULE.

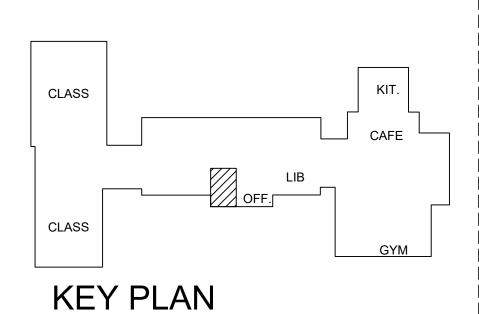


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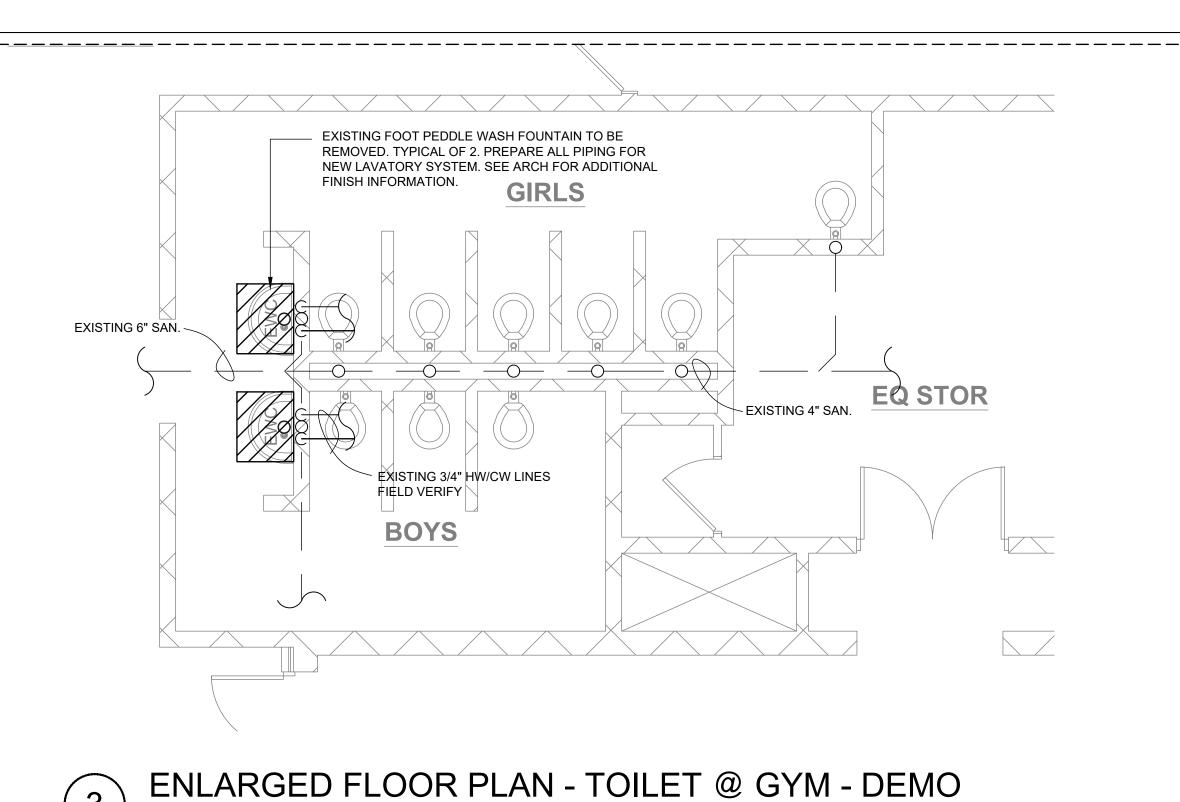
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PLUMBING ENLARGED FLOOR PLAN

PLUMBING



NOT TO SCALE



ENLARGED FLOOR PLAN - TOILET @ GYM - NEW WORK

EXISTING 3/4" HW/CW LINES

FIELD VERIFY

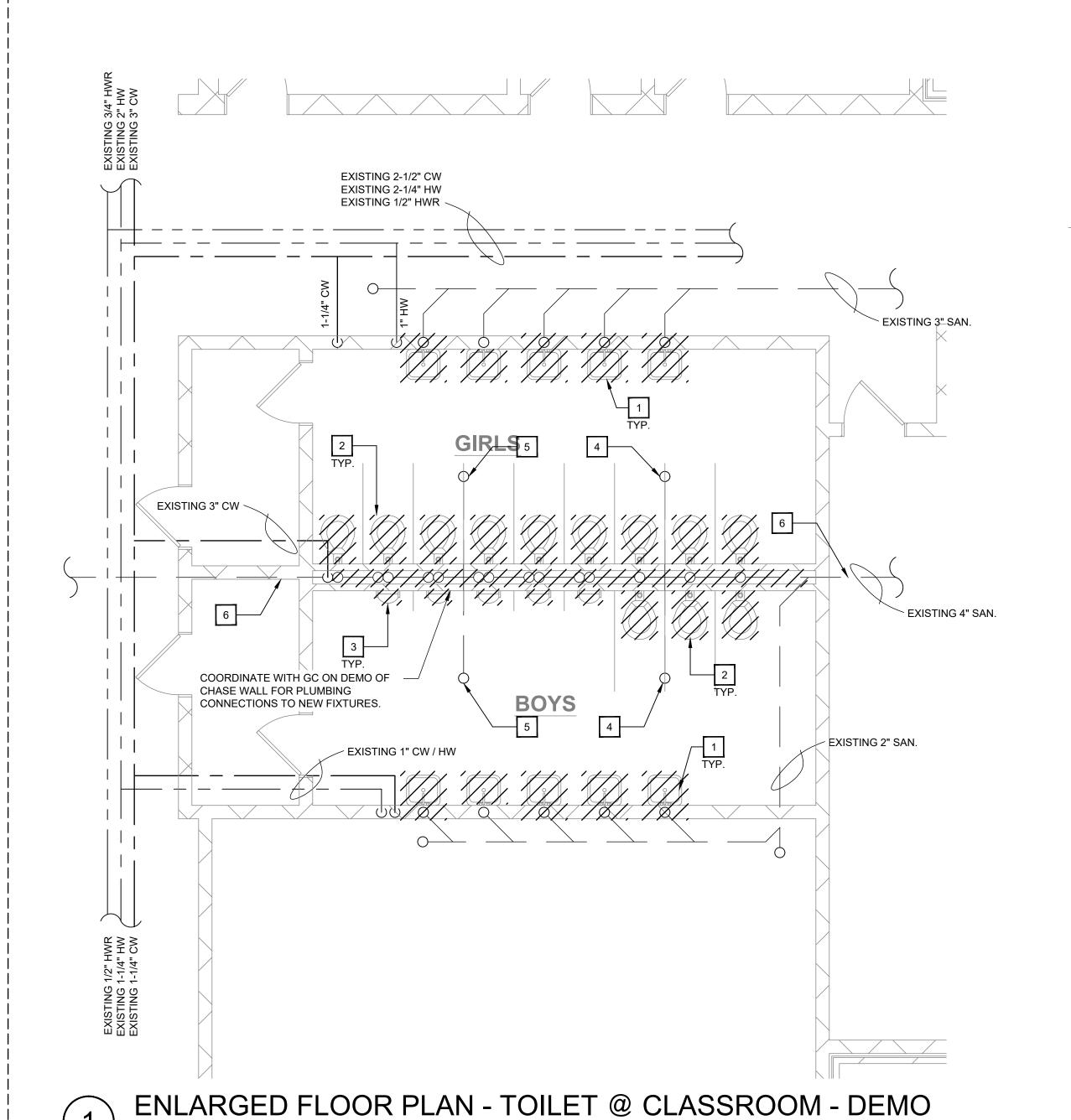
NEW WALL HUNG LAVATORY SYSTEM SHALL BE CONNECTED TO

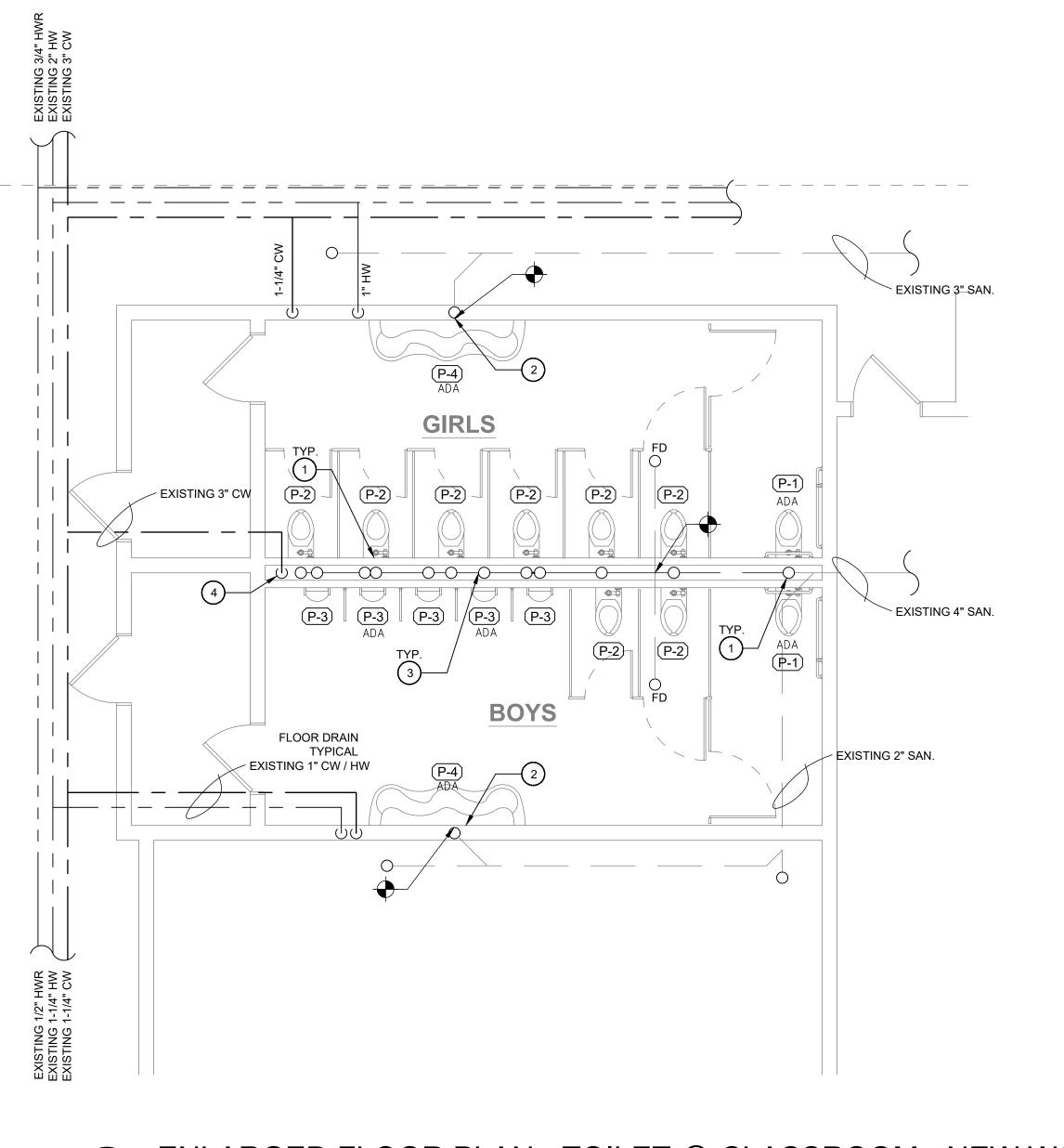
NECESSARY ACCESSORIES FOR COMPLETE INSTALL. TYPICAL OF 2.

EXISTING PIPING. REWORK PIPING AS REQUIRED FIELD VERIFY

EXISTING CONDITIONS, LOCATION AND SIZING. PROVIDE ALL

EXISTING 6" SAN. ~



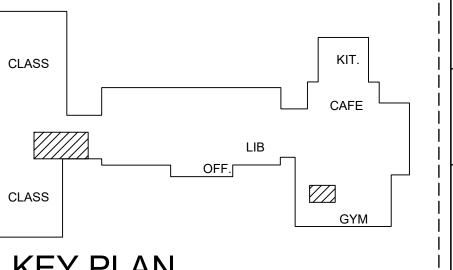


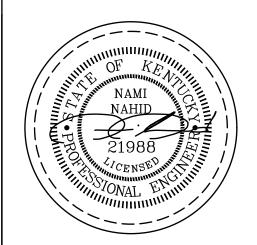
DEMO NOTES:

- ALL EXISTING LAVATORIES SHALL BE REMOVED, II THEIR ENTIRETY, INCLUDING ALL PIPING, POWER, DRAIN, ETC. FIELD VERIFY EXISTING DRAIN AND WATER CONNECTION LOCATION, ROUTING AND CONDITION. REWORK EXISTING PIPING NEEDED FOR NEW LAVATORY INSTALL. CAP UNUSED PIPING AT MAIN. SEE PLAN, DETAIL AND RISER.
- REMOVE EXISTING FLOOR MOUNTED TOILETS. INCLUDING WATER, VALVE AND DRAIN CONNECTION CAP AT MAIN (TYP). REMOVE EXISTING FLOORING, AS REQUIRED. IN PREPARATION FOR NEW SEWAGE CONNECTION TO NEW FLOOR MOUNTED AUTOMATIC FLUSH VALVE TOILETS. SEE PLUMBING SCHEDULE AND ARCHITECTURAL FOR ADDITIONAL INFORMATION AND FINISHES.
- REMOVE EXISTING URINALS IN ENTIRETY, INCLUDING WALL CARRIER, WATER CONNECTION, VALVES AND SEWER CONNECTION. REWORK WATER AND DRAIN PIPING FOR NEW URINAL INSTALL, CAP UNUSED PIPING, AT MAIN, FIELD VERIFY EXISTING CONDITIONS. TYPICAL.
- 4. FLOOR DRAINS TO REMAIN. FIELD VERIFY CONDITION OF PIPING AND FIXTURE. PROVIDE TRAP PRIMER IF NOT PRESENT OR IN WORKING CONDITION.
- FLOOR DRAIN TO BE REMOVED ALONG WITH PIPING, FITTINGS ETC. CAP AT MAIN UNDERGROUND. COORDINATE WITH GC AND FLOORING CONTRACTOR.
- PROPOSED LOCATION OF EXISTING MAIN UNDER PLUMBING CHASE WALL. FIELD VERIFY CONDITION SIZE AND LOCATION. REPLACE ANY PIPE NEEDED FOR COMPLETE INSTALL OF FIXTURES PER CODE. JET CLEAN EXISTING SEWER MAIN IN BATHROOM PRIOR TO NEW FIXTURE INSTALLATION.

NEW WORK NOTES:

- CONTRACTOR TO INSTALL NEW FLOOR MOUNTED AUTOMATIC FLUSH VALVE TOILETS TO EXISTING DRAIN AND WATER PIPING. UTILIZE EXISTING PIPING WHEN APPLICABLE OR PROVIDE NEW CONNECTION TO MAINS, AS NEEDED FOR COMPLETE INSTALL OF NEW FIXTURE. SEE SEWER RISER AND FIXTURE CONNECTION SCHEDULE.
- NEW WALL HUNG LAVATORY SYSTEM SHALL BE CONNECTED TO REWORKED COLD AND HOT WATER PIPING. UTILIZE EXISTING PIPING WHEN APPLICABLE OR PROVIDE NEW CONNECTION TO MAINS, AS NEEDED FOR COMPLETE INSTALL OF NEW FIXTURE FIELD VERIFY EXISTING CONDITIONS OF PIPING. PROVIDE 2" DWV PIPING IF NEEDED. PROVIDE ALL NECESSARY ACCESSORIES FOR COMPLETE INSTALL. SEE FIXTURE CONNECTION SCHEDULE AND SEWER
- NEW URINAL SHALL TIE TO EXISTING MAINS. UTILIZE EXISTING PIPE CONNECTIONS WHEN APPLICABLE OR PROVIDE NEW CONNECTIONS TO MAINS, AS NEEDE FOR COMPLETE INSTALL OF NEW FIXTURE. SEE RISER AND FIXTURE CONNECTION SCHEDULE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER CONNECTION SIZE IN PIPE CHASE AND REWORK FOR NEW CONNECTIONS TO FIXTURES, AS REQUIRED. SEE FIXTURE CONNECTION SCHEDULE





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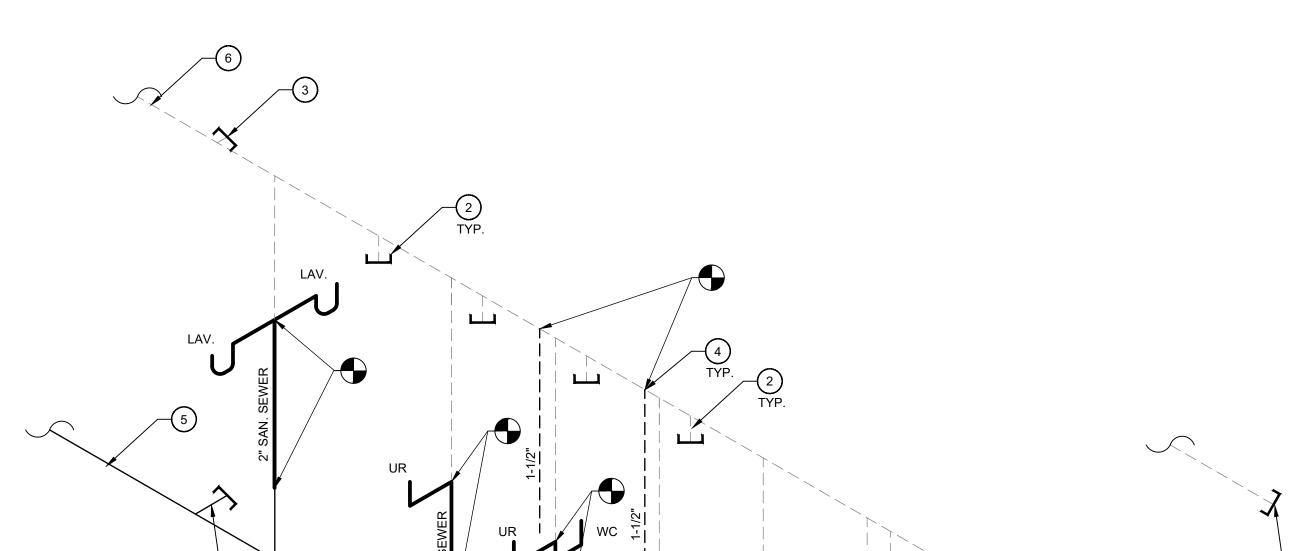
PLUMBING ENLARGED FLOOR PLAN

PLUMBING

KEY PLAN

NOT TO SCALE

ENLARGED FLOOR PLAN - TOILET @ CLASSROOM - NEW WORK



EX. FD 💬

SEWER RISER IS FOR SCHEMATIC USE ONLY. CONTRACTOR MUST FIELD VERIFY EXISTING VERTICAL PIPE LOCATION, CONDITION AND SIZING PRIOR TO INSTALL. REPLACE ANY NEEDED DWV PIPING FOR COMPLETE INSTALLATION OF NEW FIXTURES.

FIXTURE CONNECTION SCHEDULE				
DECORIDETION	CONNECTION SIZE			
DESCRIPTION	WASTE	C.W.	H.W.	VENT
SINK	2"	1/2"	1/2"	1-1/2"
URINAL	2"	3/4"	1	1-1/2"
LAVATORY	2"	1/2"	1/2"	1-1/2"
WATER CLOSET (FLUSH VALVE)	3"	1-1/2"	-	1-1/2"
SHOWER	3"	3/4"	3/4"	1-1/2"
MOP BASIN	3"	3/4"	3/4"	1-1/2"
DRINKING FOUNTAIN	2"	1/2"	-	1-1/2"
FLOOR DRAIN	3" OR 4"	1/2" T.P.	-	1-1/2"
TRAP PRIMER UNIT	-	1/2"	-	-

NOTE: FIXTURE CONNECTION SCHEDULE SHALL BE USED FOR TYPICAL CONNECTION. SEE RISER AND PLANS FOR ADDITIONAL WASTE, CW, HW, AND VENT SIZES.

SEWER RISER NOTES:

- INSTALL NEW FIXTURE TO EXISTING DRAIN/VENT PIPING. UTILIZE EXISTING VERTICAL PIPES WHEN APPLICABLE. FIELD VERIFY EXISTING LOCATION, CONDITION AND SIZE OF PIPE SEE FIXTURE CONNECTION SCHEDULE FOR APPROPRIATE DWV SIZE.
- 2. CAP OR REMOVE EXISTING FIXTURE DWV LINES BACK TO MAIN PER CODE. REPLACE ANY DWV PIPE NEEDED FOR COMPLETE INSTALL OF FIXTURES PER CODE. FIELD VERIFY
- 3. EXISTING LAVATORY SEWER/VENT BRANCH SHALL BE REMOVED AND CAPPED BACK TO MAIN OR ABANDONED IN PLACE IF: FIELD VERIFICATION REVEALS BRANCH LINE SERVES ADDITIONAL FIXTURES THAN REMOVED LAVATORIES OR PERMISSION IS OBTAINED FROM LOCAL AHJ.
- 4. PROVIDE NEW CONNECTION TO MAINS, AS NEEDED FOR COMPLETE INSTALL OF NEW FIXTURE.
- 5. PROPOSED LOCATION OF EXISTING SEWER MAIN UNDER PLUMBING CHASE WALL. FIELD VERIFY CONDITION, SIZE AND LOCATION. REPLACE ANY PIPE NEEDED FOR COMPLETE INSTALL OF FIXTURES PER CODE.
- 6. PROPOSED LOCATION OF EXISTING VENT MAIN ABOVE CEILING. FIELD VERIFY CONDITION, SIZE AND LOCATION. REPLACE ANY PIPE NEEDED FOR COMPLETE INSTALL OF FIXTURES PER CODE.

DESIGN PROFESSIONAL



PLAN REVIEWER

F NO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK.

DATE 02/18/2021

CONSTRUCTION DOCUMENTS

DESCRIPTION REVISION

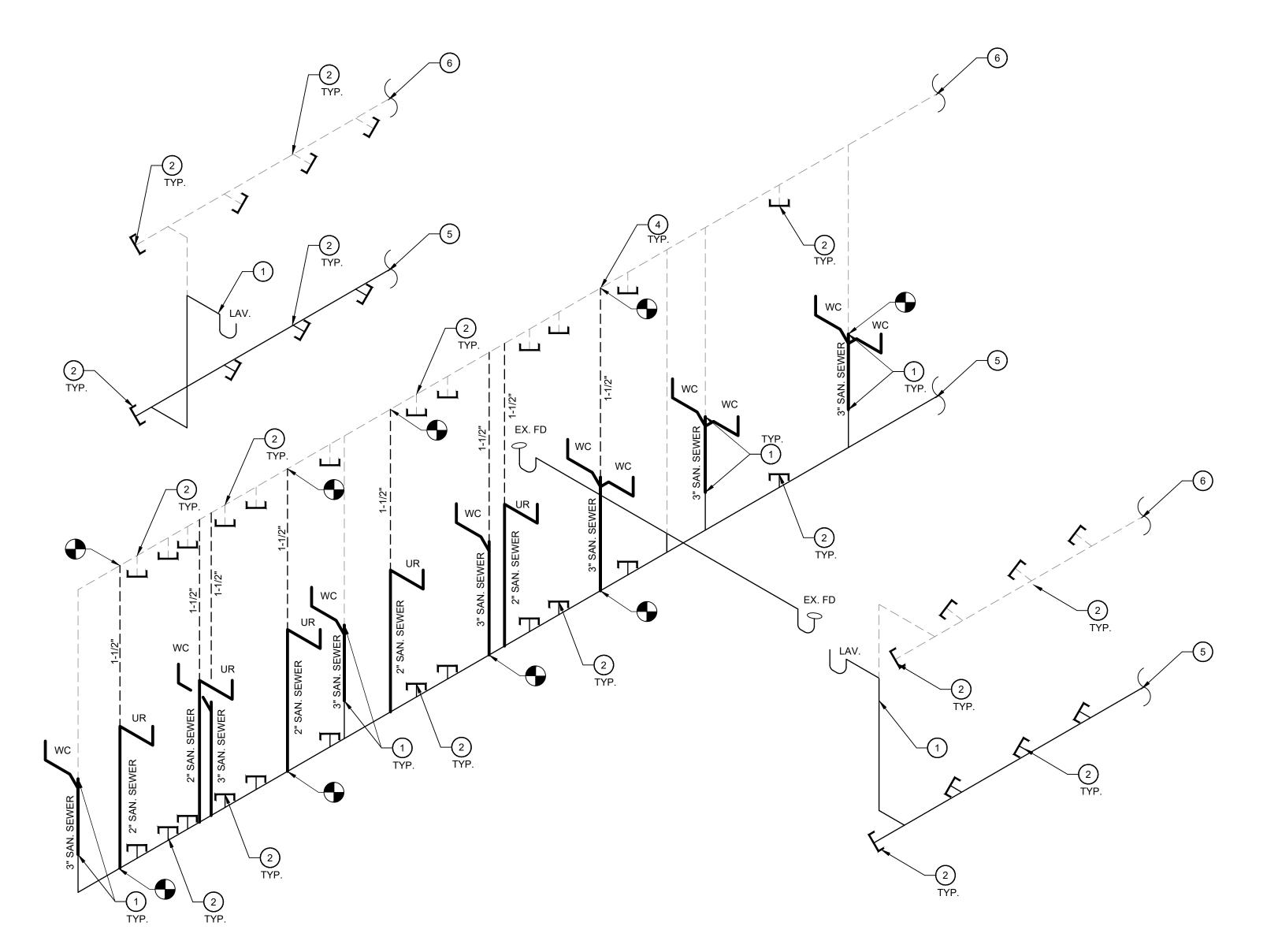
/X DD/MM/YYYY REVISION DESCRIPTION

DO NOT REMOVE ANY ELEMENT OF THESE DOCUMENTS FROM THE DRAWING BORDER. COPYING THESE DOCUMENTS FOR DISTRIBUTION TO BUILDING OFFICIALS AND CONTRACTORS WITH THE INTENT OF CONSTRUCTING NAMED PROJECT IS PERMITTED, PROVIDED THAT EACH PARTY IS ISSUED A FULL SET OF DOCUMENTS. THIS ARCHITECT IS NOT RESPONSIBLE FOR WORK THAT DOES NOT ADHERE TO THE DESIGN INTENT ESTABLISHED BY THE COMPLETE SET OF CONSTRUCTION DOCUMENTS.

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PLUMBING

PLUMBING



SEWER RISER - TOILET @ GYM

NOT TO SCALE

SEWER RISER - TOILET @ ENTRY

NOT TO SCALE

SEWER RISER - TOILET @ CLASSROOM

MATERIALS

DOMESTIC WATER PIPE - ABOVE SLAB TYPE L COPPER UNDERGROUND TYPE K COPPER

COPPER PIPE FITTINGS SHALL BE WROT COPPER, SOCKET TYPE, MIL-F-1183 WITH 95/5 SOLDER OR "NO LEAD" SOLDER FOR POTABLE WATER.

WASTE PIPING BELOW SLAB - SCHEDULE 40 PVC WASTE AND VENT PIPING ABOVE SLAB CAN BE SCH. 40 PVC PVC PIPE FITTINGS 4" AND SMALLER SHALL BE ASTM D-1785 TYPE 1, GRADE 1, SOCKET TYPE WITH ASTM D-2564 SOLVENT

ALL DOMESTIC WATER LINES INSULATED WITH 1" BLACK FOAM STENCILED EVERY 10'-0" INSTALLED

SPECIFICATIONS

CEMENT.

HANDICAP LAVATORY P-TRAP AND ANGLE VALVE ASSEMBLIES SHALL BE INSULATED WITH THE FULLY MOLDED, TRUEBRO, HANDI LAV-GUARD INSULATION KIT WITH 3-PIECE INTERLOCKING TRAP

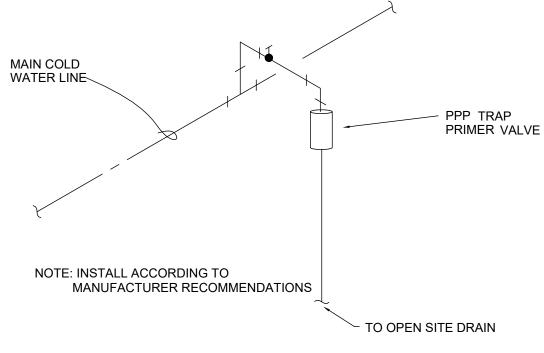
ASSEMBLY AND 2-PIECE INTERLOCKING ANGLE VALVE ASSEMBLIES. FASTENERS SHALL BE NYLON-TYPE SUPPLIED WITH KIT

P.O. BOX 429, ELLINGTON, CT 06029 PHONE: (203) 875-2868

HANDI LAV-GUARD KIT FITS:

1 1/4" OR 1 1/2" TUBULAR PLASTIC P-TRAPS 1 1/4" OR 1 1/2" TUBULAR BRASS P-TRAPS

1 1/4" OR 1 1/2" SEMI-CAST BRASS P-TRAPS 1 1/4" STRAIGHT LAVATORY TAIL PIECE 1/2" SWEAT ANGLE STOP VALVE, KEYED OR REGULAR 1/2" COMP. ANGLE STOP VALVE, KEYED OR REGULAR 3/8" I.P. ANGLE STOP VALVE, KEYED OR REGULAR 3/8" 0.D. SUPPLY TUBE



TRAP PRIMER UNIT

GENERAL PLUMBING NOTES

- 1. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- 2. THERE SHALL BE NOTHING ABANDONED IN PLACE, UNLESS SPECIFICALLY IDENTIFIED AS SUCH OR AHJ APPROVED.
- 3. EXISTING SANITARY SEWER THAT CONTAINS HUMAN WASTE SHALL BE JET CLEANED IN REMODELED AREA. PRIOR TO INSTALLATION OF NEW FIXTURES.
- 4. THESE PLANS ARE DIAGRAMMATIC IN NATURE, CONTRACTORS SHALL INCLUDE APPROPRIATE ALLOWANCES FOR OFFSETS AS REQUIRED TO ACCOMMODATE VERTICAL AND HORIZONTAL VARIATIONS IN THE LOCATIONS, ELEVATIONS OF PIPING AND EXISTING CONDITIONS.
- 5. EACH TRADE SHALL COORDINATE THE ROUTING AND INSTALLATION OF THEIR WORK WITH THAT OF ALL OTHER TRADES THROUGH THE GENERAL CONTRACTOR. IN ANY INSTANCES OF CONFLICT, SYSTEMS REQUIRING "GRADE" OR "SLOPE" FOR DRAINAGE (SANITARY SEWER, SANITARY VENT, EQUIPMENT DRAINS, ETC...) SHALL HAVE PRIORITY.
- 6. PENETRATIONS OF WALLS OR FLOORS FOR THE PASSAGE OF PIPING. OR OTHER EQUIPMENT SHALL BE PROPERLY SEALED AFTER INSTALLATION OF EQUIPMENT. FIELD VERIFY EXISTING WALL PENETRATIONS AND PROPERLY SEAL AS REQUIRED TO MAINTAIN WALL OR FLOOR RATING. PIPING PENETRATING FIRE RATED WALLS SHALL HAVE UL FIRE RATED CAULKING. SMOKE TIGHT FOR PIPING PENETRATION THRU SMOKE TIGHT WALL.
- 7. ALL UNDERGROUND PIPE TO BE MINIMUM OF 2" CHARLOTTE PVC UNLESS OTHERWISE NOTED. PIPING SHALL NOT RUN THRU FOUNDATION OR FOOTERS WITH A LENGTH GREATER THAN 2 FEET. WITHIN THE FOOTER CONTRACTOR SHALL PROVIDE A PIPE SLEEVE THE LENGTH OF THE PENETRATION, 2 INCHES LARGER THAN THE PENETRATING PIPE, LASTLY, THE PIPE MUST BE ARMAFLEX INSULATED AND APPROVED BY LOCAL AHJ.
- 8. PROVIDE ALL EQUIPMENT, MATERIAL, LABOR, SUPERVISION, COSTS AND SERVICES REQUIRED TO INSTALL COMPLETE AND WORKING SYSTEMS, INCLUDING ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLE, INCIDENTAL OR CUSTOMARILY INCLUDED. EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFIED OR SHOWN.
- 9. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, INCLUDING ADDENDA, AND APPLICABLE CODES AND STANDARDS.
- 10. PROVIDE ACCESS TO ALL CONCEALED EQUIPMENT AND VALVES. COORDINATE LOCATION OF ACCESS PANELS WITH ARCHITECT.
- 11. ALL FLOOR DRAINS, FLOOR SINKS, HUB DRAINS, OR INDIRECT CONNECTIONS SHALL BE PROVIDED WITH TRAP PRIMER VALVE(S) EXTENDING TO NEAREST COLD WATER SUPPLY UNLESS SHOWN OTHERWISE.
- 12. VENT STACK SHALL BE LOCATED A MINIMUM OF 10'-0" AWAY FROM ANY HVAC UNIT.
- 13. EXTEND SANITARY SEWER, DOMESTIC WATER, STORM, AND FIRE MAIN PIPING AS REQUIRED IN ORDER TO CONNECT TO STUB-OUT PROVIDED BY CIVIL.

- 14. INSTALL STOPS IN SUPPLIES TO ALL FIXTURES.
- 15. INSTALL SHUT-OFF VALVES AT ALL EQUIPMENT/FIXTURES
- 16. PROVIDE VENTS, CLEANOUTS, AND PLUMBING AS REQ'D BY STATE PLUMBING CODE.
- 17. PIPING SHALL BE CONCEALED IN FINISHED AREAS, UNLESS NOTED OTHERWISE.
- 18. CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE STARTING WORK.
- 19. ALL EQUIPMENT INSTALLED AS PER CERTIFIED SHOP DRAWING FROM MFR.
- 20. PROVIDE ACCESS PANELS FOR CONCEALED VALVES AND OPEN SITE DRAINS.
- 21. PROVIDE HYDRAULIC SHOCK ABSORBERS WHERE QUICK-CLOSING VALVES ARE UTILIZED AND AS OTHERWISE REQUIRED BY CODE.
- 22. ROOF OPENINGS SHALL MEET ROOF BOND CANTS AND FLASHINGS BY ROOFING CONTRACTOR, ALL COLLARS ON VENTS, ETC. BY ROOFING CONTRACTOR.
- 23. HOSE BIBBS & WALL HYDRANTS SHALL BE A MIN. OF 18" ABOVE FR. GRADE.
- 24. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS.
- 25. BACK TO BACK FLUSH VALVE WATER CLOSETS TO BE INSTALLED USING A DOUBLE "Y" CONNECTION. SEE RISER
- 26. PIPING MUST CONFORM TO LOCAL AND STATE SEISMIC CODES.
- 27. C-CLAMPS ARE NOT TO BE USED WITHOUT A SEISMIC RETAINER STRAP ON ANY PROJECTS LOCATED WITHIN A SEISMIC ZONE.
- 28. EXPOSED PIPING IN FINISHED SPACES SHALL BE PAINTED.
- 29. NO PIPING SHALL BE RUN DIRECTLY OVER ANY ELECTRICAL PANELS, TRANSFORMERS, SWITCHGEAR ETC. PROVIDE DRAIN PANS UNDER PIPES, IF NO OTHER ROUTING IS AVAILABLE.
- 30. WHEN BRANCH LINE EXCEEDS 20FT IN LENGTH, AN ADDITIONAL WATER HAMMER ARRESTER SHOULD BE INSTALLED, USING BRANCH LINE PIPE SIZE, AT THE END OF THE BRANCH LINE BETWEEN THE LAST TWO FIXTURES. WATER HAMMER ARRESTER FOR A BRANCH SERVING A PIECE OF EQUIPMENT WITH A QUICK-CLOSING VALVE SHOULD BE PLACED AS CLOSE AS POSSIBLE TO THE EQUIPMENT ISOLATION VALVE.

1417 11313	TOTAL BESONII HOT
P-1 ADA	ADA AMERICAN STANDARD MODEL NUMBER 3461.576.020 FLOOR MOUNTED TOP SPUD 1.1-1.6 GPF TOILET, BATTERY POWERED AUTOMATIC FLUSH VALVE INCLUDED IN PACKAGE. PROVIDE OPEN FRONT TOILET SEAT TO MATCH EQUIPMENT. PROVIDE ALL ACCESSORIES FOR COMPLETE UNIT INSTALLATION.
(P-2)	AMERICAN STANDARD MODEL NUMBER 3451.576.020 FLOOR MOUNTED TOP SPUD 1.1-1.6 GPF TOILET, BATTERY POWERED AUTOMATIC FLUSH VALVE INCLUDED IN PACKAGE. PROVIDE OPEN FRONT TOILET SEAT TO MATCH EQUIPMENT. PROVIDE ALL ACCESSORIES FOR COMPLETE UNIT INSTALLATION.
P-3 ADA	AMERICAN STANDARD TOP SPUD URINAL .50 GPF MODEL # 6590.505.020. BATTERY AUTOMATIC FLUSH VALVE INCLUDED IN PACKAGE. PROVIDE ANY OTHER ACCESSORIES NEEDED FOR COMPLETE INSTALLATION.
(P-4)	BRADLEY EXPRESS SERIES 3-STATION WALL MOUNT LAVATORY MODEL # ELX-3.S53-3100.R.T.5.PC.BA.6-3100.SSD.R.L.T.PC.BA.ALP-WHT.BS.COAL.CW-CHROME. WITH SOAP DISPENSER OPTION. BATTERY POWERED FAUCET/SOAP. SUPPORT BRACKETS, P-TRAP, MIXING VALVE, STRAINER AND DRAIN ASSEMBLY COMES WITH MODEL, SEE CUT SHEETS FOR

PLUMBING FIXTURE SCHEDULE

FIXTURE DESCRIPTION

MARK

H.B.

AFD

AFF

AHJ

BFF

BOP

CD

CFM

CO

CPVC

DTL

DWG

ECO

EQUIP

FT HD

GPM

HWR

BTU/H

ARCH

	ADDITIONAL ITEMS INCLUDED. INSTALL BASED ON MANUFACTURERS RECOMMENDATIONS.
P-5 ADA	BRADLEY EXPRESS ELX SERIES 2-STATION WALL MOUNT LAVATORY MODEL # ELX-2.S53-3100.R.T.5.PC.BA.6-3100.SSD.R.L.T.PC.BA.ALP-WHT.BS.COAL.CW-CHROME. WITH SOAP DISPENSER OPTION. BATTERY POWERED FAUCET. SUPPORT BRACKETS, P-TRAP, MIXING VALVE, STRAINER AND DRAIN ASSEMBLY COMES WITH MODEL, SEE CUT SHEETS FOR ADDITIONAL ITEMS INCLUDED. INSTALL BASED ON MANUFACTURERS RECOMMENDATIONS.
C.O.	INTERIOR: ZURN MODEL ZN1400-4NL EXTERIOR: ZURN MODEL Z1400-4NL WALL: ZURN MODEL Z1441

*** ACCEPTABLE MANUFACTURERS FOR PLUMBING FIXTURES IN ADDITION TO MANUFACTURERS ALREADY

PLUMBING ABBREVIATION LEGEND

NOTE: ALL ABBREVIATIONS MAY NOT APPLY

FLOOR DRAIN ZURN MODEL # FD2210

HOSE BIB: ZURN MODEL Z1341

AREA FLOOR DRAIN

ABOVE FINISH FLOOR

BELOW FINISH FLOOR

CONDENSATE DRAIN

DRINKING FOUNTAIN

EXTERIOR CLEAN OUT

CUBIC FEET PER MINUTE

BOTTOM OF PIPE

CLEAN OUT

COLD WATER

DETAIL

DRAWING

EMERGENCY

EQUIPMENT

FLOOR SINK

HOSE BIBB

HUB DRAIN

HORSE POWER

HOT WATER

INDOOR UNIT

KILOWATT

HERTZ

HOT WATER RETURN

FLOOR DRAIN

FEET OF HEAD

GENERAL CONTRACTOR

GALLONS PER MINUTE

ARCHITECT

BOTTLE FILLER

AUTHORITY HAVING JURISDICTION

BRITISH THERMAL UNIT / PER HOUR

CHLORINATED POLY VINYL CHLORIDE

DESIGN PROFESSIONAL ADDITIONAL ITEMS INCLUDED INSTALL BASED ON MANUFACTURERS RECOMMENDATIONS PLAN REVIEWER IO STAMP IS PRESENT, PLAN REVIEW MAY BE PENDING IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PERMITS AND APPROVALS ARE OBTAINED PRIOR TO COMMENCING WORK. DATE | 02/18/2021 CONSTRUCTION DOCUMENTS

SPECIFIED IN SCHEDULE: ZURN, KHOLER, ELKAY, WATTS, BRADLEY

LAV

MBH

MFR

MIN

NTS

PEX

RTU

RPZ

SQ FT

SQ IN

TDH

SEAL SLEEVE WITH TIGHTLY

EXTERIOR WALLS.

PACKED APPROPRIATE RATED

MATERIAL FOR INTERIOR AND

COAT EXTERIOR SURFACES

WITH TAR COMPOUND

BELOW GRADE AND

ABOVE GRADE.

WATERPROOF CAULK

LAVATORY

MANUFACTURER

MINIMUM

NATURAL GAS

NOT TO SCALE

NOT IN CONTRACT

OPEN RECEPTACLE

PACKAGED UNIT

ROOF TOP UNIT

SANITARY SEWER

SPECIFICATION

SQUARE FOOT

SQUARE INCH

TRENCH DRAIN

TUBE HEATER

UNIT HEATER

VENT THRU ROOF

WALL CLEAN OUT

WALL HYDRANT

TYPICAL

URINAL

VENT

WITH

TOTAL DYNAMIC HEAD

SHOWER

THOUSAND BTU'S PER HOUR

CROSS-LINKED POLYETHYLENE

PRESSURE REDUCING VALVE

PRESSURE PER SQUARE INCH

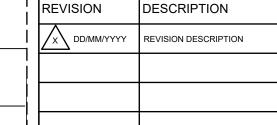
REDUCED PRESSURE ZONE ASSEMBLY

STAINLESS STEEL / SAN. SEWER

WATER CLOSET / WATER COLUMN

POLY VINYL CHLORIDE

POUND





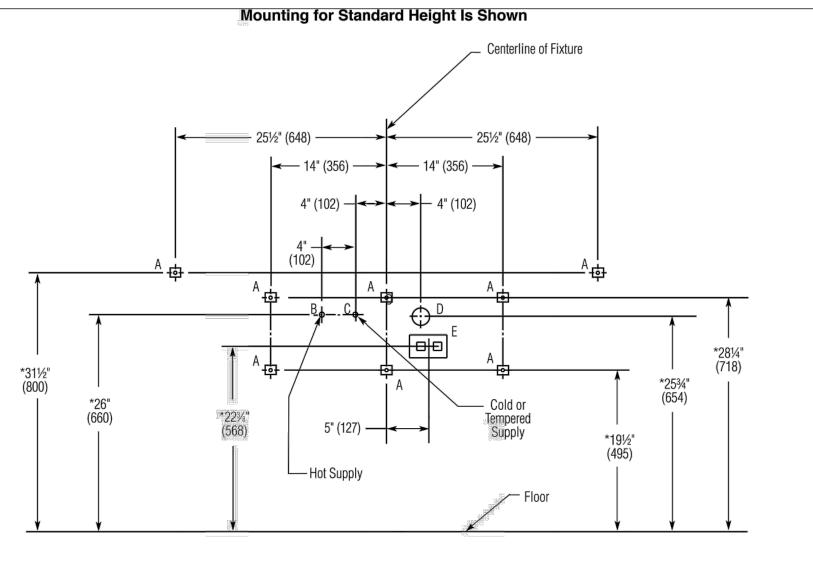
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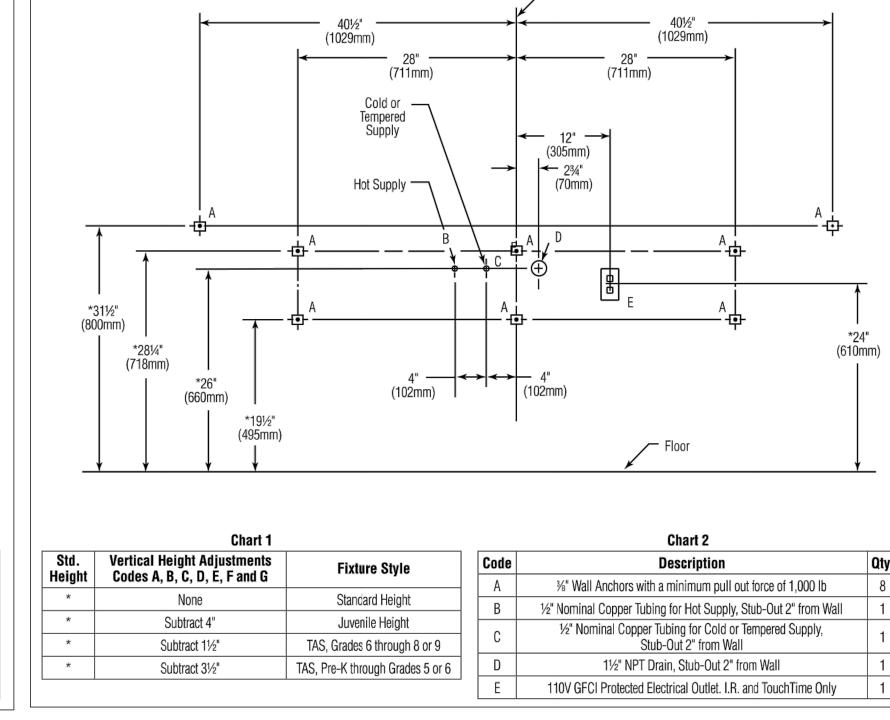
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PLUMBING SCHEDULE & DETAILS

P3.01

PLUMBING





Mounting for Standard Height Is Shown

Centerline of Fixture

SEALING AND ANCHORING COLLAR CENTER PIPE IN SLEEVE STANDARD WEIGHT STEEL PIPE SLEEVE POURED IN PLACE EXTERIOR WALLS NOT TO SCALE

PIPE SLEEVE THRU WALL DETAIL

LAVATORY SYSTEM INSTALL DETAIL

2 - PERSON STATION

Standard Height

Juvenile Height

TAS, Grades 6 through 8 or 9

TAS, Pre-K through Grades 5 or 6

Vertical Height Adjustments

Codes A, B, C, D, É, F and G

Subtract 4"

Subtract 1½"

Subtract 31/2"

Description Wall Anchors with a minimum pull out force of 1,000 lb 1/2" Nominal Copper Tubing for Hot Supply, Stub-Out 2" from Wall Nominal Copper Tubing for Cold or Tempered Supply Stub-Out 2" from Wall 11/2" NPT Drain, Stub-Out 2" from Wall

Chart 2

110V GFCI Protected Electrical Outlet, I.R. and TouchTime Only

3 - PERSON STATION