

FACPAC Contract Change Order Supplemental Information Form (Ref# 54593)

Form Status: Saved

Tier 1 Project: Estill County Area Technology Center

BG Number: 18-361

District: Estill County (161)

Status: Active

Phase: Project Initiation (View Checklist)

Contract: RISING SUN DEVELOPING, INC., 0003, GENERAL TRADES

Type: CM Bid Package

Proposed

Change Order Number	3-6
Time Extension Required	Yes
If Yes Number Of Days	35
Date Of Change Order	2/5/2021
Change Order Amount To Date	Increase

Construction Contingency

Calculations below are project wide. Remaining negative Construction Contingency may require the submission of a revised BG1.

Current Approved Amount	\$572,123.50
Net Approved COs	\$-129,674.15
Remaining After Approved COs	\$701,797.65
Net All COs	\$258,742.06
Remaining After All COs	\$313,381.44

This Requested Change Order Amount \$90,641.95

+/-

Change In A/E Fee This Change Order \$4,985.31

+/-

Change In CM Fee This Change Order \$1,812.84

+/-

Remaining Construction Contingency

Balance

Contract Change Requested By Local Board of Education

Contract Change Reason Code Expansion of Scope

Change Order Description And Justification

PR #13 - Add exterior steps and sidewalk at Adult Education exterior door. \$8,378.73

PR # 18 - Pave and replace curbs at parent loop \$55,090.95

PR #19 - Pave and replace curbs at bus loop. \$19,979.23

PR #21 - Add sidewalk at Staff Lot connection. \$7,193.04

Cost Benefit To Owner

Improved site

Contract unit prices have been utilized No
to support the cost associated with this
change order.

Detailed Cost Breakdown

Contract unit prices have not been utilized, provide a detailed cost breakdown which
separates labor, material, profit and overhead.

Detail Item	Amount	Percent of Total
Labor	\$47,977.02	52.93%
Materials	\$33,081.15	36.50%
Profit and Overhead	\$9,583.78	10.57%
Bond Insurance	\$0.00	0.00%
Cost Breakdown Total:	\$90,641.95	
Cost for this Change Order supported by an alternate bid or competitive price quote	No	
Explain Why		

**Change Order Supplemental Information Form Signature
Page (Online Form Ref# 54593)**

_____ Architect	_____ Date
_____ Construction Manager	_____ Date
_____ Finance Officer	_____ Date
_____ Local Board of Education Designee	_____ Date



AIA[®] Document G701/CMa[™] – 1992

Change Order - Construction Manager-Adviser Edition

OWNER ☒
 CONSTRUCTION MANAGER ☐
 ARCHITECT ☐
 CONTRACTOR ☐
 FIELD ☐
 OTHER ☐

PROJECT (Name and address):
 ESTILL COUNTY AREA CAREER AND TECHNICAL
 CENTER
 495 ENGINEER DRIVE
 IRVINE KY 40336

CHANGE ORDER NUMBER: 3-6
INITIATION DATE: 2/4/2021

TO CONTRACTOR (Name and address):
 RISING SUN DEVELOPING, INC.
 2555 PALUMBO DRIVE, SUITE 110
 LEXINGTON KY 40509

PROJECT NUMBERS: CMA-KDE-000704 / 18-361
CONTRACT DATE: 12/16/2019
CONTRACT FOR: BID PACKAGE #003 GENERAL TRADES

THE CONTRACT IS CHANGED AS FOLLOWS:

PR #13 - ADD EXTERIOR STEPS AND SIDEWALK AT ADULT EDUCATION EXTERIOR DOOR. \$8,378.73
 PR # 18 - PAVE AND REPLACE CURBS AT PARENT LOOP \$55,090.95
 PR #19 - PAVE AND REPLACE CURBS AT BUS LOOP. \$19,979.23
 PR #21 - ADD SIDEWALK AT STAFF LOT CONNECTION. \$7,193.04

The original Contract Sum was	\$1,971,552.00
Net change by previously authorized Change Orders	(\$26,984.37)
The Contract Sum prior to this Change Order was	\$1,944,567.63
The Contract Sum will be increased by this Change Order in the amount of	\$90,641.95
The new Contract Sum including this Change Order will be	\$2,035,209.58

The Contract Time will not be effected.
 The date of Substantial Completion as of the date of this Change Order therefore is 7/14/2021

NOT VALID UNTIL SIGNED BY THE CONTRACTOR AND CONSTRUCTION MANAGER.

Codell Construction

CONSTRUCTION MANAGER (Firm Name)

4475 Rockwell Rd., Winchester, KY 40392

ADDRESS

BY (Signature)

(Typed Name)

DATE:

RISING SUN DEVELOPING, INC.

CONTRACTOR (Firm Name)

2555 PALUMBO DRIVE, SUITE 110 LEXINGTON, KY 40509

ADDRESS

BY (Signature)

(Typed Name)

DATE:

ROSS-TARRANT ARCHITECTS INC

ARCHITECT (Firm Name)

101 OLD LAFAYETTE AVE LEXINGTON, KY 40502

ADDRESS

BY (Signature)

(Typed Name)

DATE:

ESTILL CO BD OF EDUC.

OWNER (Firm Name)

253 Main Street Irvine, KY 40336

ADDRESS

BY (Signature)

(Typed Name)

DATE:



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 9/18/2020

SUBJECT: PR 13 Adult Ed. Exterior Access Addition PROPOSAL REQUEST ID: PR 13

TYPE: Proposal Request TRANSMITTAL ID: 00655

PURPOSE: For Information Only VIA: Info Exchange

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: Contractor to provide all material, labor and equipment costs to install new exterior concrete sidewalk and access stair as shown on the attached Sketch.

1. Provide and install new concrete sidewalk and stair as shown on PR13.1 and detailed on PR13.2.
2. Adjust Grading as shown on PR13.1.
3. Adjust location of drainage structure DS-5 as shown on PR13.1.

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents describes therein.

This is not a change order nor a direction to proceed with the work described herein.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	9/3/2020	PR-13.1.pdf				
1	9/3/2020	PR-13.2.pdf				

Proposal Request Transmittal

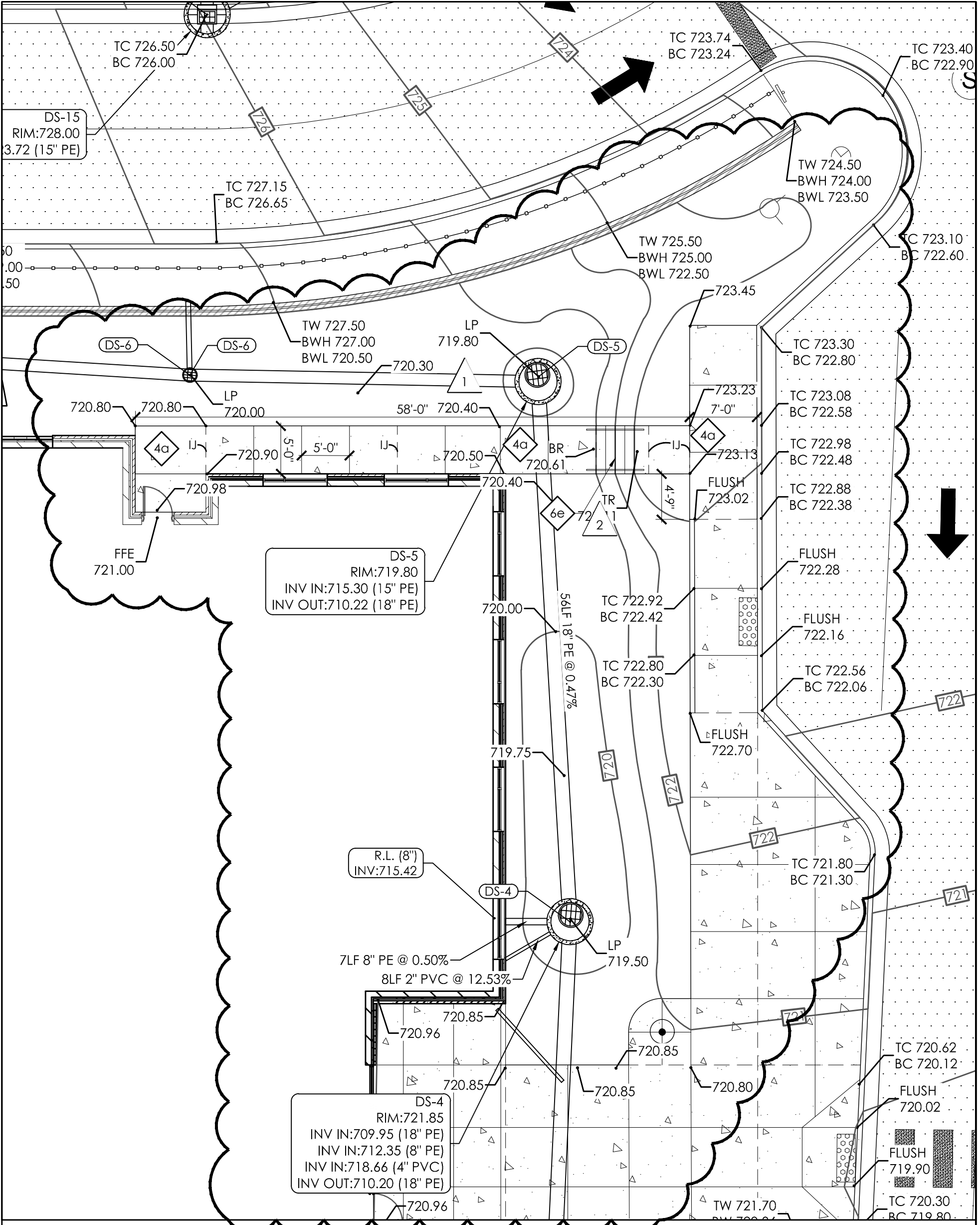
DATE: 9/18/2020

ID: 00655

COPIES:

Peter Fisher

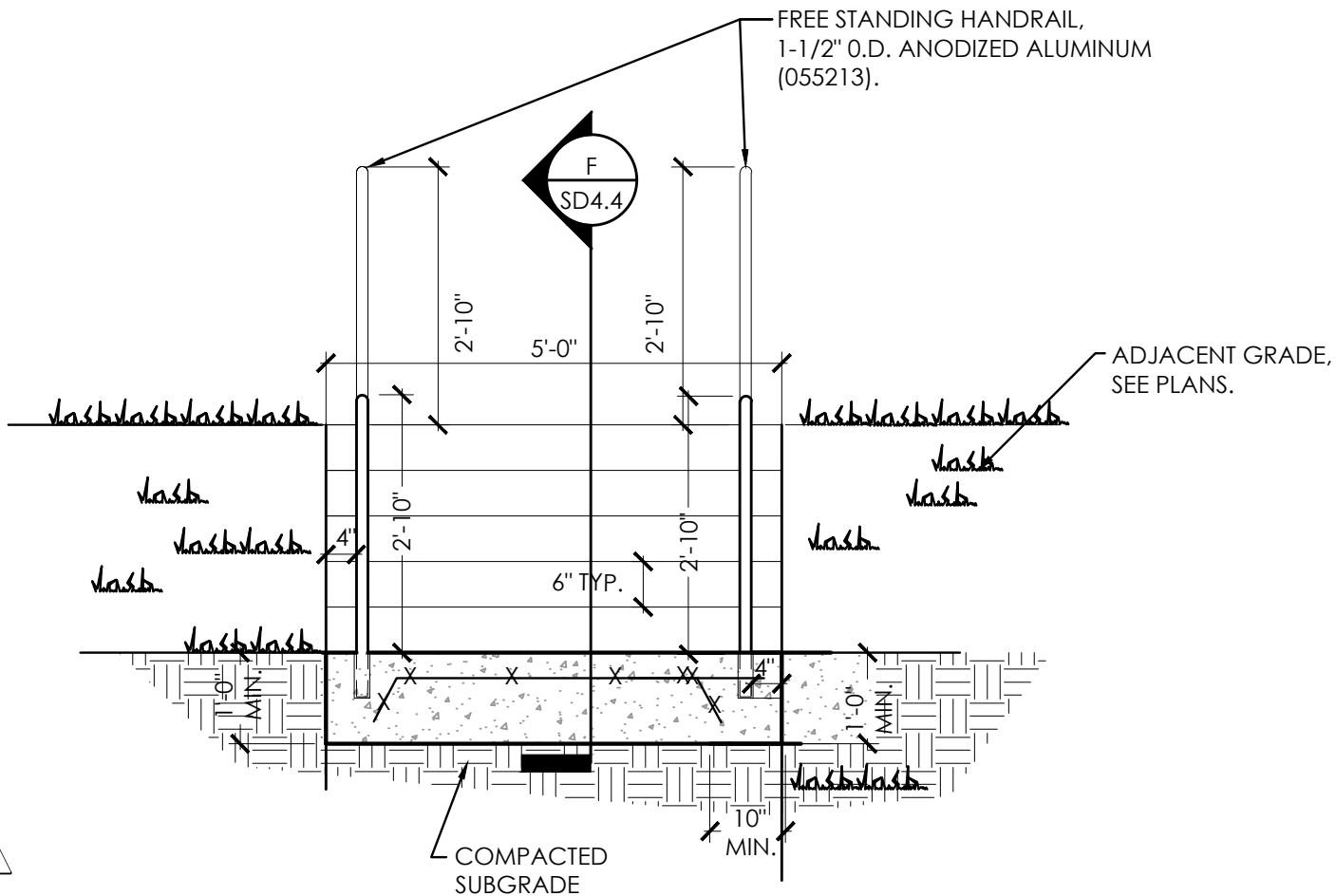
(RossTarrant Architects)



SIDEWALK & STAIR ADDITION

SCALE : 1" = 10'

- 1 REVISE SITE DEVELOPMENT, GRADING, AND DRAINAGE AS SHOWN. REFER TO SHEETS SD3.1, SD3.2, SD3.3 AND SD4.4 FOR ADDITIONAL INFORMATION.
- 2 ADD SITE DEVELOPMENT TAG '6e'. TAG TO READ AS FOLLOWS: "STAIR 'D'. SEE DETAILS F & G/SD4.4." REFER TO SHEETS SD1.1 AND SD3.1 FOR ADDITIONAL INFORMATION.



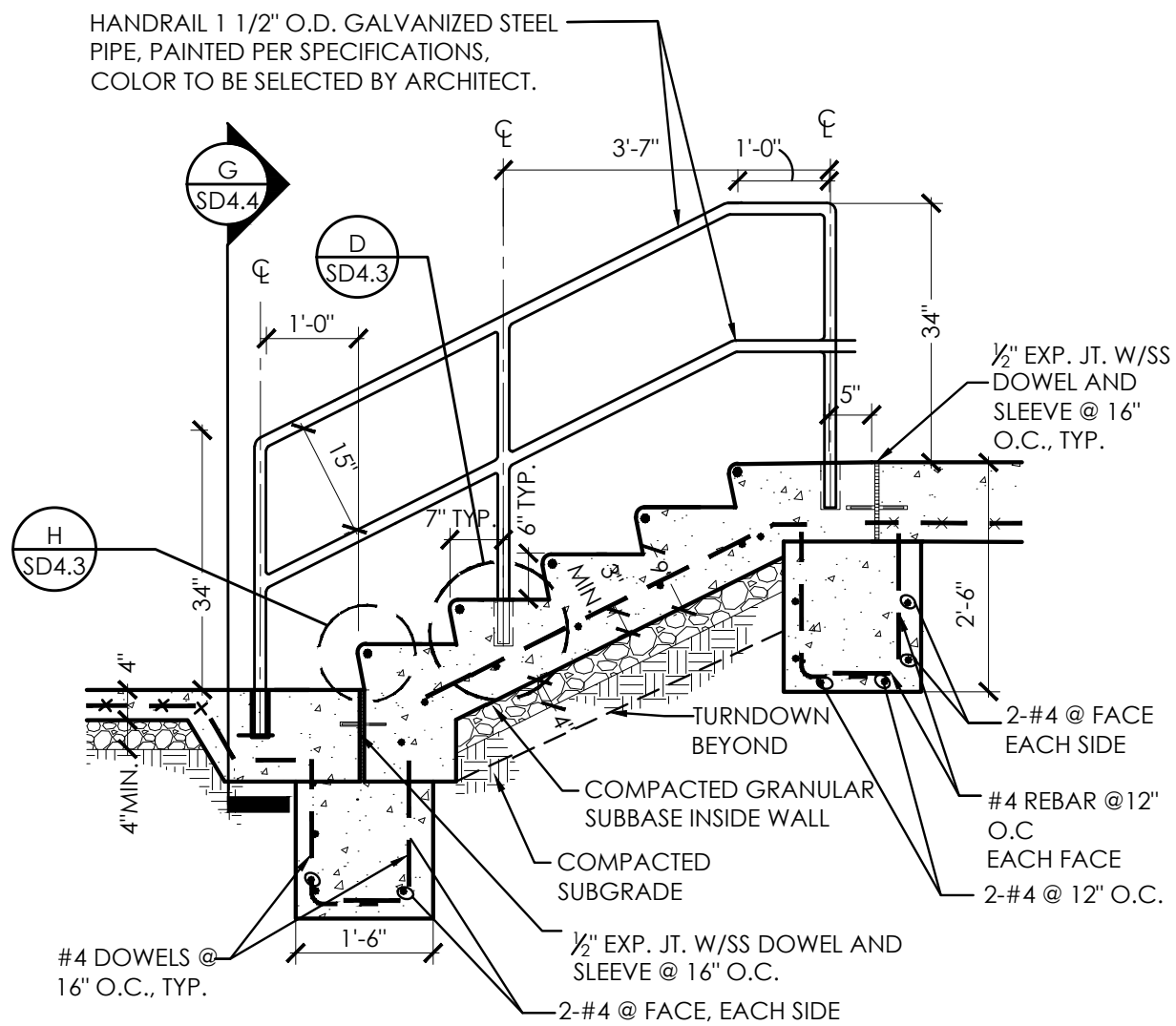
STAIR D - SECTION

SCALE : 1/2" = 1'-0"

G
SD4.4

1

ADD DETAIL G/SD4.4 AS SHOWN. REFER TO SHEET SD4.4 FOR ADDITIONAL INFORMATION.



STAIR D - ELEVATION

SCALE : 1/2" = 1'-0"

F
SD4.4

1

ADD DETAIL F/SD4.4 AS SHOWN. REFER TO SHEET SD4.4 FOR ADDITIONAL INFORMATION.

PROPOSAL
REQUEST #13

PR-13.2

DATE 09/03/2020
PROJECT 1768
DRAWN MBM
CHECKED
SHEET REF. SD4.4
REVISIONS
Copyright © Ross Tarrant Architects 2020

PROPOSAL REQUEST #13
ESTILL COUNTY AREA TECHNOLOGY CENTER
FOR:
ESTILL COUNTY BOARD OF EDUCATION
IRVINE, KENTUCKY

rosstarrant
architects

101 old lafayette avenue | lexington, kentucky 40502 p: 859.254.4018

Proposal

Rising Sun Developing, Inc.
 2555 Palumbo Drive, Ste 110
 Lexington, KY 40509
 859-543-0205 Ph
 859-543-0230 Fax

Proposal To:
Codell Construction
 Estill ATC
 Irvine, KY
 PR#13

Description:
sidewalk and step addition

	QTY	Unit	UNIT\$ Price	
sidewalk	488.00	sf.	\$9.56	\$4,665.28
footers at stairs	2.00	yds.	\$550.00	\$1,100.00
stairs	35.00	sf.	\$16.67	\$583.45
handrails	14.00	lf.	\$85.00	\$1,190.00
regrading	8.00	hrs.	\$105.00	840.00
Total Bid	Add			8,378.73



Change Order Proposal Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 11/12/2020

SUBJECT: Sidewalk Paving & Step Add CHANGE ORDER PROPOSAL ID: COP 14 (PR 13)

TYPE: Change Order Proposal TRANSMITTAL ID: 00687

PURPOSE: Reviewed VIA: Info Exchange

TOTAL AMOUNT: \$8,378.73

TOTAL DAYS: 0

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: RTA finds this proposed pricing acceptable to recommend to the Owner.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	11/11/2020	Copy of PR#13.pdf				

COPIES:

Peter Fisher (RossTarrant Architects)
Michael Mays (RossTarrant Architects)



ESTILL COUNTY AREA CAREER AND TECHNICAL CENTER CHANGE ORDER REVIEW

To: ROSS-TARRANT ARCHITECTS **From:** Jeremy L. Faulkner
INC

Attn: ROSS-TARRANT ARCHITECTS INC **CC:** Kenny G. Davis Jr.

Re: 0018 **Date:** 12/2/2020

Attachments:

- RSD PR#18_.pdf
- Estill ATC - PR 18.pdf
- Standafer PR#18 Rev. 01.pdf
- RSD PR#18 Rev.01.pdf
- Estill ATC - PR 18 Price.pdf
- Standafer PR#18.pdf
- CMA-KDE-000704 Change Order Review Form.doc

I have reviewed and approved the attached pricing. Your approval and signature is required in order to process this change order. Please review the pricing and sign below if it is acceptable.

0018

Contractor	BP#	Pricing
STANDAFER BUILDERS, ASPHALT PAVING DIVISION	002	\$164,236.00
RISING SUN DEVELOPING, INC.	003	\$55,090.95

Total Amount: \$219,326.95 14 days

ROSS-TARRANT ARCHITECTS INC

Date

Codell Construction Company,
Jeremy L. Faulkner
jfaulkner@codellconstruction.com

Standafer Builders, Inc.

1178 West Main Street
P.O. Box 247
West Liberty, KY 41472

Phone: 606-743-4435
Fax: 606-743-7401

**PROPOSED
CHANGE ORDER**

No. 1

TITLE: PR18: Paving-rolled curb/gutter

DATE: 12/09/2020

PROJECT: Paving @ ATC

TO: Attn:
RossTarrant Architects
101 Old Lafayette Avenue
Lexington, KY 40502
Phone:859-254-4018

SUBMITTED:
COMPLETED:
REQUIRED:

DESCRIPTION

As described on PR 18

Num Item	Description	Ref	Qty Unit	Unit Price	Amount
1	Concrete curb & gutter		865.000 Ft.	28.00	24,220.00
2	Rolled curb & gutter		320.000 Ft.	40.00	12,800.00
3	Guard rail		105.000 Ft.	35.00	3,675.00
5	Heavy duty paving		2,397.000 sq yd	49.00	117,453.00
6	Engineering/Staking		1.000 Each	1,500.00	1,500.00
7	Striping		1,700.000 Lft	0.75	1,275.00
8	Painted arrows		16.000 Each	20.00	320.00
9	Painted stop bars		2.000 Each	25.00	50.00
10	Profit & overhead		19,620.000	0.15	2,943.00

Item Total: \$164,236.00

Total: \$0.00

Total: \$164,236.00

APPROVAL

By: 

Date: 1-19-21

By: _____

Date: _____

Proposal					
Rising Sun Developing, Inc. 2555 Palumbo Drive, Ste 110 Lexington, KY 40509 859-543-0205 Ph 859-543-0230 Fax					
<i>Proposal To:</i> Codell Construction Estill ATC Irvine, KY PR#18					
Description:		<i>site development</i>			
		QTY	Unit	UNIT\$ Price	
sidewalk		126.00	sf.	\$9.56	\$1,204.56
demo asphalt		1023.44	yds.	\$15.00	\$15,351.60
flume		363.00	lf.	\$61.44	22,301.00
4" pe pipe		57.00	lf.	\$17.00	1,197.00
4" perf.		326.00	lf.	\$5.50	969.00
landscaping and topsoil repair					7,300.00
Overhead and Profit	15%				6,767.79
Total Bid				Add	55,090.95

damproofing not included in proposal
 add 14 days to schedule



Change Order Proposal Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 1/26/2021

SUBJECT: (PR 18) Parent Loop Drive Replacement and Curbs CHANGE ORDER PROPOSAL ID: COP 19r01

TYPE: Change Order Proposal TRANSMITTAL ID: 00775

PURPOSE: Reviewed VIA: Info Exchange

TOTAL AMOUNT: \$219,326.95

TOTAL DAYS: 0

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: See attached:

- Standafer - \$164,236.00
- RSD - \$55,090.95

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	1/22/2021	Change Order Proposal ID COP 19r01 - Estill ATC - PR 18 - Revised.pdf				

COPIES:

Peter Fisher (RossTarrant Architects)
Michael Mays (RossTarrant Architects)



ESTILL COUNTY AREA CAREER AND TECHNICAL CENTER CHANGE ORDER REVIEW

To: ROSS-TARRANT ARCHITECTS **From:** Jeremy L. Faulkner
INC

Attn: ROSS-TARRANT ARCHITECTS INC **CC:** Kenny G. Davis Jr.

Re: 0019 **Date:** 12/2/2020

Attachments:

- Estill ATC - PR 19.pdf
- CMA-KDE-000704 Change Order Review Form.doc
- Standafer PR#19 Rev. 01.pdf
- RSD PR#19 Rev. 01.pdf
- Estill ATC - PR 19 Price.pdf

I have reviewed and approved the attached pricing. Your approval and signature is required in order to process this change order. Please review the pricing and sign below if it is acceptable.

0019

Contractor	BP#	Pricing
		\$0.00
STANDAFER BUILDERS, ASPHALT PAVING DIVISION	002	\$63,700.03
RISING SUN DEVELOPING, INC.	003	\$19,979.23

Total Amount: \$83,679.26 7 days

ROSS-TARRANT ARCHITECTS INC

Date

Codell Construction Company,
Jeremy L. Faulkner
jfaulkner@codellconstruction.com



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 12/2/2020

SUBJECT: PR 19 - Bus Loop Pavement and Curbs PROPOSAL REQUEST ID: PR 19

TYPE: Proposal Request TRANSMITTAL ID: 00712

PURPOSE: For Contractor's Pricing VIA: Info Exchange

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: Contractor to provide all material, labor and equipment costs for work reflected in the PR Drawings.

1. Demolish and remove existing curbs and mill existing asphalt pavement as shown on SD0.2.
2. Install asphalt overlay on bus loop, new curb and gutter and associated striping as shown on SD1.1.
3. Install new pavements to meet grades shown on SD2.1. Install new 12-inch heavy duty trench drain as shown on SD2.1 per detail J/SD4.1. Connect new piping to existing inlet as shown and seal penetration to be water tight.

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents describes therein.
This is not a change order nor a direction to proceed with the work described herein.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	12/1/2020	PR19-SD0.2 DEMO.pdf				

Proposal Request Transmittal

DATE: 12/2/2020

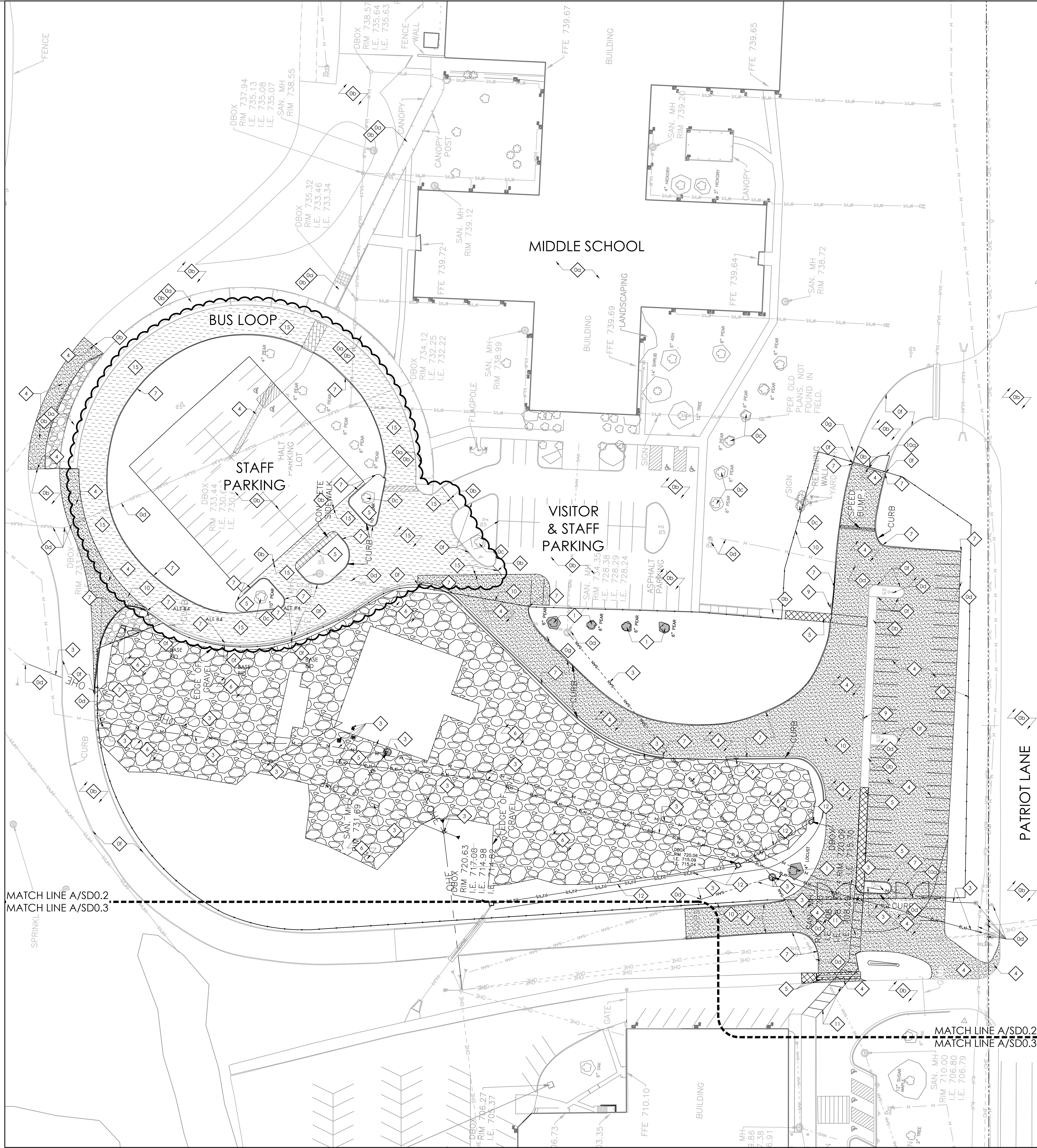
ID: 00712

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	12/1/2020	PR19-SD1.1 DEVELOPMENT.pdf				
1	12/1/2020	PR19-SD2.1 CIVIL.pdf				

COPIES:

Peter Fisher

(RossTarrant Architects)



GENERAL SITE NOTES

1. THE SITE PLANS WERE PREPARED BASED UPON TOPOGRAPHIC SURVEYS BY AMERICAN ENGINEERS INC. 2300 NELSON MILLER PARKWAY, LOUISVILLE, KY 40223. REFER TO SITE SURVEY SHEETS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
3. THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
4. THE CONTRACTOR SHALL USE EXTREME CARE IN WORKING AROUND EXISTING OVERHEAD AND UNDERGROUND UTILITIES. PROTECT UNDERGROUND UTILITIES FROM DAMAGE DURING CONSTRUCTION.
5. SEE EROSION POLLUTION AND SEDIMENT CONTROL PLAN FOR RECOMMENDED BEST MANAGEMENT PRACTICES INFORMATION AND SEDIMENT CONTROLS.
6. REFER TO CONSTRUCTION MANAGER'S PLANS AND SPECIFICATIONS FOR INFORMATION REGARDING CONSTRUCTION SCHEDULE/SEQUENCING, CONSTRUCTION FENCING/STAGING.

SITE DEMOLITION TAGS

- 0 EXISTING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.
- (a) BUILDING & ASSOCIATED STRUCTURES. NO UTILITIES TO THESE FACILITIES ARE TO BE REMOVED UNLESS NEW PERMANENT UTILITY IS PROVIDED PRIOR TO DEMOLITION.
- (b) PAVEMENT - PATCH/REPAIR WHERE DAMAGED BY CONSTRUCTION. SAW-CUT TO PROVIDE CLEAN EDGE. CONCRETE PAVING TO BE SAW-CUT BACK TO NEAREST UNDAUNAGED CONTROL OR ISOLATION JOINT. MATCH NEW ADJACENT PAVEMENT TO EXISTING PAVEMENT ELEVATIONS.
- (c) TREE/VEGETATION
- (d) FENCING
- (e) CURB
- (f) SIGN
- 1 REMOVE EXISTING TREE / SHRUB / DENSE VEGETATION, INCLUDING STUMPS.
- 2 NOT USED
- 3 REMOVE/RELOCATE UTILITY. NO UTILITIES ARE TO BE ABANDONED IN PLACE. TURN ALL POLES AND LIGHT FIXTURES OVER TO THE OWNER IN GOOD CONDITION.
- 4 REMOVE ASPHALT PAVEMENT & AGGREGATE BASE
- 5 REMOVE CONCRETE PAVEMENT & AGGREGATE BASE
- 6 REMOVE STONE PAVEMENT
- 7 REMOVE CONCRETE CURB.
- 8 REMOVE GAS PUMPS AND UNDERGROUND TANKS & ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH ALL APPLICABLE LAWS. REFER TO SPECIFICATION SECTION 026500 FOR ADDITIONAL INFORMATION.
- 9 REMOVE SIGN, POLE, BASE AND/OR FOUNDATION IN ITS ENTIRETY.
- 10 TEMPORARY CONSTRUCTION FENCE INSTALLED IN PREVIOUS PACKAGE. CONTRACTOR OF THIS PACKAGE IS RESPONSIBLE FOR CONTINUED MAINTENANCE THROUGHOUT THIS PROJECT.
- (a) DENOTES VEHICULAR GATE.
- 11 REMOVE STRIPING.
- 12 REMOVE STORM STRUCTURE/PIPING.
- 13 REMOVE STAIR AND FOUNDATIONS
- 14 REMOVE WALL AND FOUNDATIONS
- 15 1.5" MILL OF EXISTING SURFACE. REMOVE AND DISPOSE OF MILLINGS.

NOTE:
REFER TO SITE SURVEY
DRAWINGS FOR EXISTING
GRADE INFORMATION.

LEGEND

- ASPHALT PAVEMENT DEMOLITION
- CONCRETE PAVEMENT DEMOLITION
- BUILDING DEMOLITION
- GRAVEL PAVEMENT DEMOLITION
- CONSTRUCTION PERIMETER FENCING, COORDINATE WITH CONSTRUCTION MANAGER'S PLANS AND SPECIFICATIONS

SITE DEMOLITION PLAN

SCALE: 1" = 30'



PROPOSAL REQUEST #19
ESTILL COUNTY AREA TECHNOLOGY CENTER - BP2
FOR:
ESTILL COUNTY BOARD OF EDUCATION
IRVINE, KENTUCKY

M&E Engineer
CMIA, Inc.
2429 Members Way
Lexington, KY 40504
p 859.253.3892

Structural Engineer
Structural Design Group, Inc.
220 Great Circle Rd., Suite 106
Nashville, TN 37228
p 615.255.5537

Construction Manager
Cottel Construction Co.
P.O. Box 17
Winchester, Kentucky 40392
p 859.744.2222

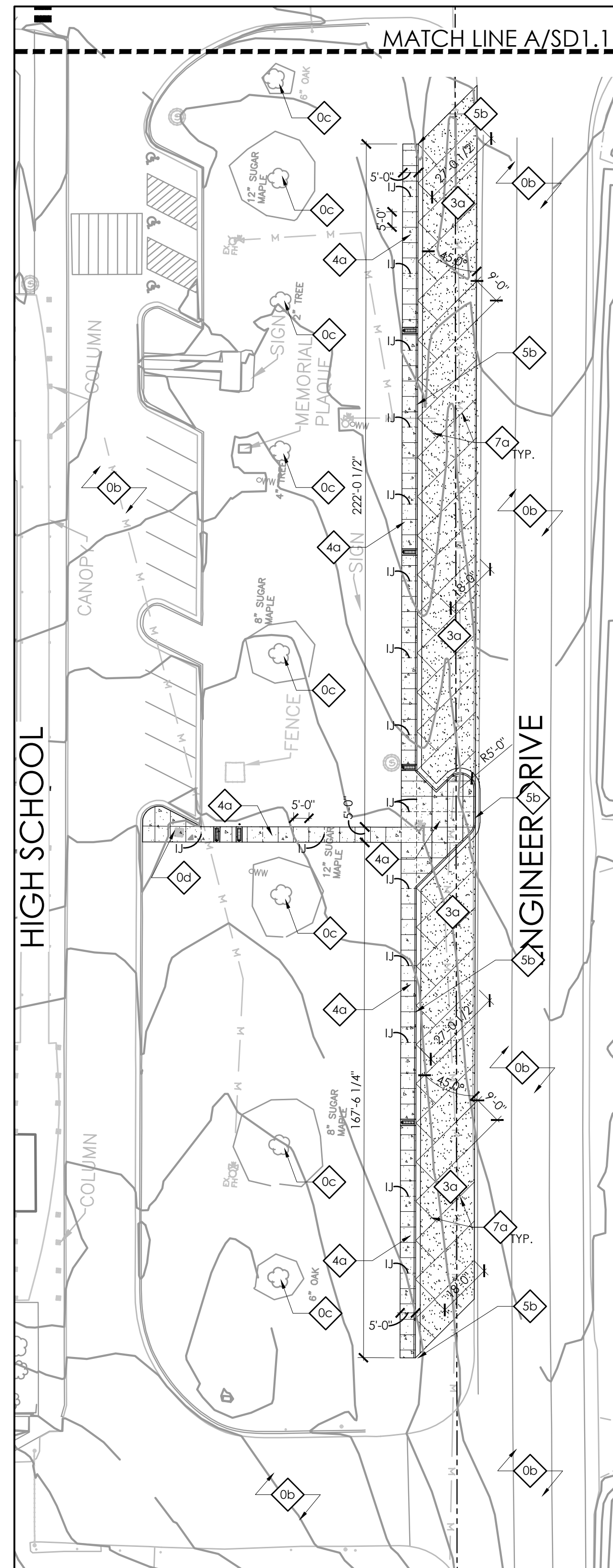
BG# 18-361
EDA# 04-79-07385

Project No: 1768
Drawn By: JTD, MBM
Rev'd By: LMR, DS

SHEET RELEASE	
1	2/01/20 PR #19
2	
3	
4	
5	
6	
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8	

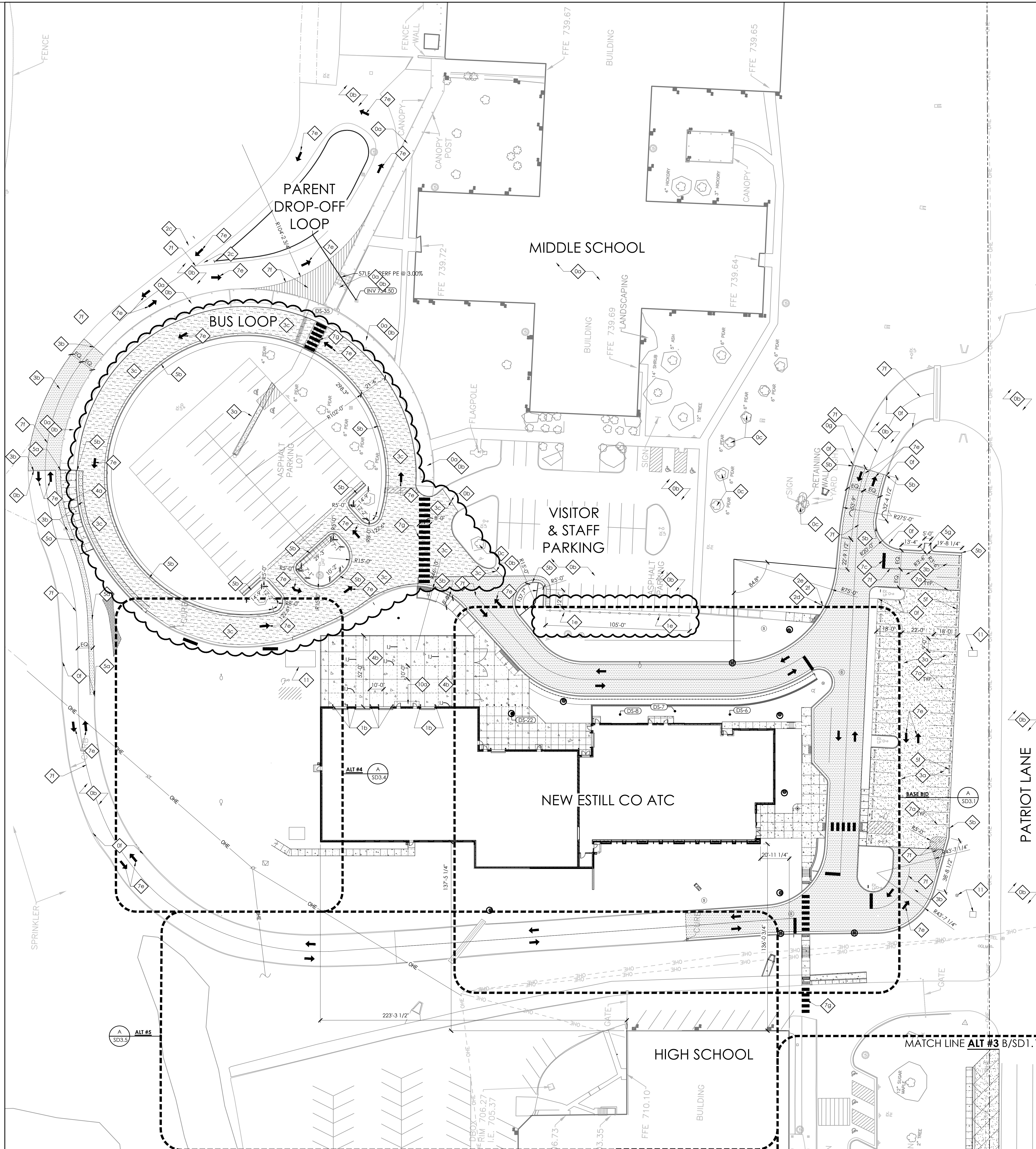
COPYRIGHT © 2019
PHASE 2 - CONSTRUCTION DOCUMENTS
SD0.2
PROPOSAL REQUEST #19

DATE ISSUED:
SEPTEMBER 20, 2019



SITE DEVELOPMENT AND LAYOUT PLAN
ALTERNATE # 3

SCALE: 1" = 30'



SITE DEVELOPMENT AND LAYOUT PLAN

SCALE: 1" = 30'

GENERAL SITE NOTES

- THE SITE PLANS WERE PREPARED BASED UPON TOPOGRAPHIC SURVEYS BY AMERICAN ENGINEERS INC., 2300 NELSON MILLER PARKWAY, LOUISVILLE, KY 40223. REFER TO SITE SURVEY SHEETS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- THE ARCHITECT AND ARCHITECTS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
- THE CONTRACTOR SHALL USE EXTREME CARE IN WORKING AROUND EXISTING OVERHEAD AND UNDERGROUND UTILITIES. PROTECT UNDERGROUND UTILITIES FROM DAMAGE DURING CONSTRUCTION.
- SEE EROSION POLLUTION AND SEDIMENT CONTROL PLAN FOR RECOMMENDED BEST MANAGEMENT PRACTICES INFORMATION AND SEDIMENT CONTROLS.

SITE DEVELOPMENT TAGS

- EXISTING TO REMAIN, PROTECT THROUGHOUT CONSTRUCTION.
- [a] BUILDING & ASSOCIATED STRUCTURES. NO UTILITIES TO THESE FACILITIES ARE TO BE REMOVED UNLESS NEW PERMANENT UTILITY IS PROVIDED PRIOR TO DEMOLITION.
- [b] PAVEMENT - PATCH/REPAIR WHERE DAMAGED BY CONSTRUCTION. SAW-CUT TO PROVIDE CLEAN EDGE. CONCRETE PAVING TO BE SAW-CUT BACK TO NEAREST UNADJACENT CONTROL OR ISOLATION JOINT. MATCH NEW ADJACENT PAVEMENT TO EXISTING PAVEMENT ELEVATIONS.
- [c] TREE VEGETATION
- [d] UTILITY. REFER TO MEP SHEETS FOR ADDITIONAL INFORMATION.
- [e] FENCING
- [f] CURB
- [g] SIGN
- BOLLARD, [055000], SET 2'-0" ON CENTER AWAY FROM ANY BUILDING. SEE DETAIL K/SD4.2.
- [a] SPACING IS 5'-0" ON CENTER, 6" OFF EDGE OF CONCRETE.
- [b] ALIEN WITH DOOR OPENING.
- [c] HANDRAIL. SEE DETAIL L/SD4.3.
- [d] GUARDRAIL. SEE DETAIL M/SD4.3.
- [e] VEHICULAR GUARDRAIL. SEE DETAIL E/SD4.3.
- TRAFFIC SIGNAGE (SINGLE POST). SEE DETAIL L/SD4.2 (101453).
- [a] STOP SIGN.
- [b] ACCESSIBLE PARKING SIGN. SEE DETAIL J/SD4.2.
- [c] ONE WAY DO NOT ENTER SIGN.
- [d] BUSES AND VISITORS ONLY WITH RIGHT DIRECTIONAL ARROW.
- [e] PARENT DROP-OFF WITH UP DIRECTIONAL ARROW.
- [f] SERVICE VEHICLES WITH UP DIRECTIONAL ARROW.
- [g] PARENT DROP-OFF WITH RIGHT DIRECTIONAL ARROW.
- [h] SERVICE VEHICLES WITH RIGHT DIRECTIONAL ARROW.
- [i] STAFF PARKING ONLY SIGN.
- ASPHALT PAVEMENT (321216).
- [a] LIGHT DUTY ASPHALT PAVING. SEE DETAIL A/SD4.2.
- [b] HEAVY DUTY ASPHALT PAVING. SEE DETAIL A/SD4.2.
- [c] MILL AND OVERLAY ASPHALT TO DEPTH OF 1.5" SIM. A/SD4.2.
- CONCRETE PAVEMENT (321313, 321373).
- [a] 4" DEPTH CONCRETE PAVEMENT. SEE DETAIL B/SD4.2.
- [b] 8" DEPTH CONCRETE PAVEMENT. SEE DETAIL C/SD4.2.
- CONCRETE CURB (321313, 321613, 321726).
- [a] 6" WIDTH HEADER CURB. SEE DETAIL E/SD4.2.
- [b] CURB AND GUTTER. SEE DETAIL D/SD4.2.
- [c] CONCRETE SIDEWALK WITH TURNDOWN CURB. SEE DETAIL Q/SD4.2.
- [d] ACCESSIBLE DROPPED CURB TYPE 'A' RAMP. SEE DETAILS G & H/SD4.2.
- [e] ACCESSIBLE DROPPED CURB TYPE 'B' RAMP. SEE DETAILS H & I/SD4.2.
- [f] CONCRETE WHEEL STOPS. SEE DETAIL F/SD4.2.
- [g] CONCRETE DRAINAGE FLUME. SEE DETAIL H/SD4.1.
- CONCRETE STAIRS & RAMPS (321313).
- [a] STAIR 'A'. SEE DETAIL F & G/SD4.3.
- [b] STAIR 'B'. SEE DETAIL J & K/SD4.3.
- [c] ALTERNATE #5 - STAIR 'C'. SEE DETAIL A & B/SD4.4.
- [d] ALTERNATE #5 - RAMP 'A'. SEE DETAIL C & D/SD4.4.
- PAINTED PAVEMENT MARKINGS. (321723.13).
- [a] 4" PAVING STRIPING, WHITE.
- [b] ACCESSIBLE PARKING SYMBOL. SEE DETAIL J/SD4.2.
- [c] PAINTED TRAFFIC STOP BAR, 12"X12", WHITE.
- [d] 4" PAVING STRIPING, BLUE.
- [e] TRAFFIC ARROW. SEE DETAIL N/4.2.
- [f] 4" PAVING STRIPING, YELLOW.
- [g] CROSS WALK. SEE DETAIL M/SD4.2.
- RETAINING WALL.
- [a] CAST IN PLACE CONCRETE WALL WITH GUARDRAIL. SEE DETAIL E/SD4.4.
- [b] CAST IN PLACE CONCRETE WALL. SEE DETAIL F/SD4.3.
- [c] ALTERNATE #5 - CONCRETE RETAINING WALL TYPE II. SEE DETAIL E/SD4.4.
- VINYL COATED CHAIN LINK FENCING. (323113).
- [a] 8'-0" HEIGHT FENCE. SEE DETAIL A/SD4.3.
- [b] 8'-0" HEIGHT BY 5'-0" PEDESTRIAN GATE. SEE DETAIL C/SD4.3.
- [c] 8'-0" HEIGHT BY 20'-0" VEHICULAR GATE. SEE DETAIL B/SD4.3.
- STRUCTURE. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- [a] BUILDING CANOPY.
- UTILITY STRUCTURE. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- FLAGPOLE. SEE DETAIL R/SD4.2, (107500).

LEGEND

- CONCRETE PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- IJ - ISOLATION JOINT

PROPOSAL REQUEST #19
ESTILL COUNTY AREA TECHNOLOGY CENTER - BP2
FOR:
ESTILL COUNTY BOARD OF EDUCATION
IRVINE, KENTUCKY

M&E Engineer
CMIA, Inc.
2429 Members Way
Lexington, KY 40504
p 859.253.3892
Structural Engineer
Structural Design Group, Inc.
220 Great Circle Rd., Suite 106
Nashville, TN 37228
p 615.255.5337
Construction Manager
Codel Construction Co.
P.O. Box 17
Winchester, Kentucky 40392
p 859.744.2222

BG# 18-361
EDA# 04-79-07385

Project No: 1768
Drawn By: JTD, MBM
Rev'd By: LMR, DS

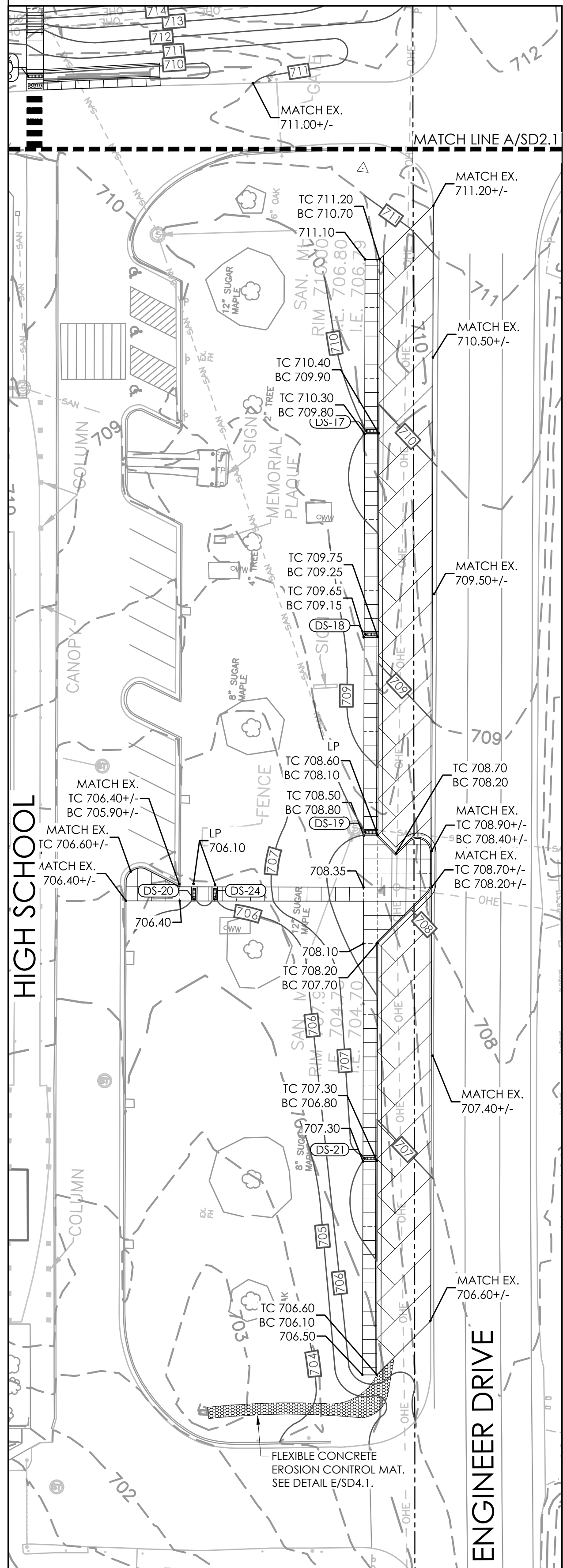
SHEET RELEASE	
1	01/17/19 ADDENDA 2
2	2/01/20 PR #19
3	
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PHASE 2 - CONSTRUCTION DOCUMENTS

SD1.1

PROPOSAL REQUEST #19

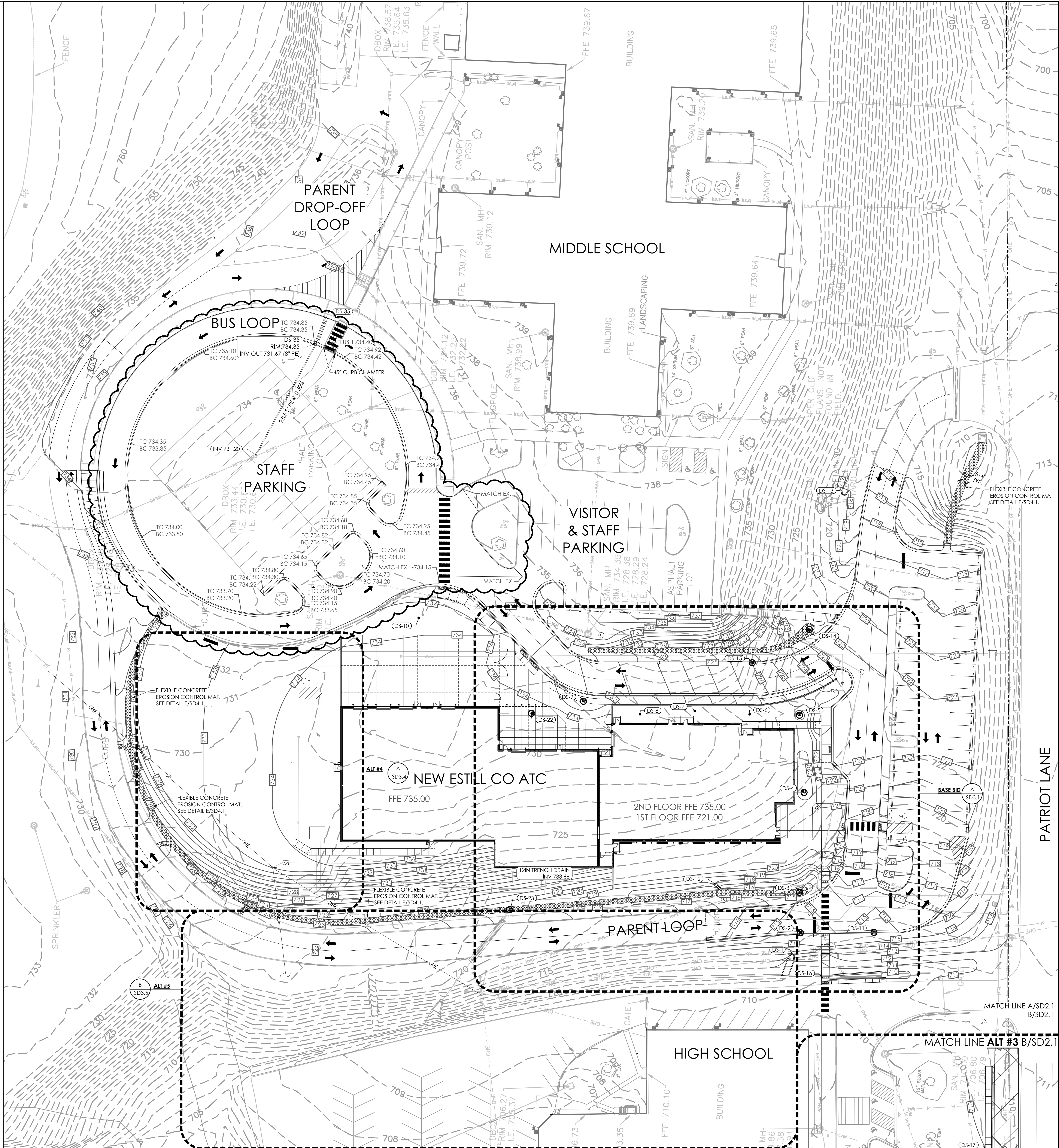
DATE ISSUED:
SEPTEMBER 20, 2019



SITE GRADING PLAN
ALTERNATE #3

SCALE: 1" = 30'

B
SD2.1



SITE GRADING PLAN

SCALE: 1" = 30'

0 30 60 Feet

A
SD2.1



GENERAL SITE NOTES

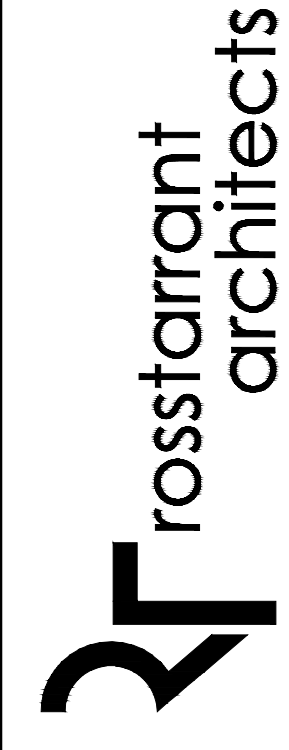
1. THE SITE PLANS WERE PREPARED BASED UPON TOPOGRAPHIC SURVEYS BY AMERICAN ENGINEERS INC. 2300 NELSON MILLER PARKWAY, LOUISVILLE, KY 40223. REFER TO SITE SURVEY SHEETS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
3. THE ARCHITECT AND ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
4. THE CONTRACTOR SHALL USE EXTREME CARE IN WORKING AROUND EXISTING OVERHEAD AND UNDERGROUND UTILITIES. PROTECT UNDERGROUND UTILITIES FROM DAMAGE DURING CONSTRUCTION.
5. SEE EROSION POLLUTION AND SEDIMENT CONTROL PLAN FOR RECOMMENDED BEST MANAGEMENT PRACTICES INFORMATION AND SEDIMENT CONTROLS.
6. REFER TO CONSTRUCTION MANAGER'S PLANS AND SPECIFICATIONS FOR INFORMATION REGARDING CONSTRUCTION SCHEDULE/SEQUENCING, CONSTRUCTION FENCING/STAGING.

SITE GRADING NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ACTUAL DEPTHS OF ALL EXISTING STORM DRAINS, GAS MAINS, WATER MAINS, AND PIPES TO ALL NEW CONNECTIONS AND CROSSINGS. CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO AREAS WHERE CONSTRUCTION OR GRADING MAY INTERFERE WITH SUCH LINES.
2. ANY DISCREPANCIES BETWEEN THIS GRADING PLAN AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO EXCAVATION, GRADING, TRENCHING, OR OTHER CONSTRUCTION OF ANY SORT. FAILURE TO NOTIFY THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF EXCAVATION, GRADING, TRENCHING, OR OTHER CONSTRUCTION SHALL IMPLY THE CONTRACTOR'S VERIFICATION OF AND ACCEPTANCE OF EXISTING SITE CONDITIONS. SAID FAILURE TO NOTIFY THE ARCHITECT IN WRITING SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER FROM ANY ADDITIONAL COSTS INCURRED BY THE CONTRACTOR DUE TO DISCREPANCIES NOT REPORTED WHICH COULD HAVE BEEN DETECTED BY PRUDENT AND REASONABLE OBSERVATION AND VERIFICATION BY THE CONTRACTOR.
3. ALL IMPERVIOUS SURFACES SHALL BE GRADED AND INSTALLED WITH A MINIMUM SLOPE OF ONE PERCENT (1%) AND A MAXIMUM SLOPE OF SEVEN PERCENT (7%).
4. ALL PERVIOUS SURFACES SHALL BE GRADED AND INSTALLED WITH A MINIMUM SLOPE OF TWO PERCENT (2%) AND A MAXIMUM SLOPE OF THIRTY-THREE PERCENT (33%) EXCEPT WHERE SHOWN.
5. SLOPE PERVIOUS SURFACES MIN. 5% AND IMPERVIOUS SURFACES MIN. 1% AWAY FROM BUILDING FOUNDATIONS.
6. MAINTAIN GRADING TO PROMOTE POSITIVE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO POND IN CONSTRUCTION AREAS.
7. RELOCATE ALL BURIED UTILITIES THAT ARE IMPACTED BY ANY EARTHWORK. RELOCATED UTILITY LOCATIONS ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO STARTING WORK.
8. PROTECT AREAS TO BE SEEDS AS FOLLOWS:
 - A) DITCHES AND DRAINAGE SWALES ARE TO RECEIVE HIGH-VELOCITY EROSION-CONTROL BLANKETS.
 - B) SLOPES 4:1 (H:V) OR GREATER ARE TO RECEIVE LONG-TERM EROSION-CONTROL BLANKETS.
 - C) SLOPES BETWEEN 4:1 AND 6:1 (H:V) ARE TO RECEIVE SHORT-TERM EROSION-CONTROL BLANKETS.
 - D) SLOPES BELOW 4:1 (H:V) ARE TO RECEIVE STRAW MULCH PER THE SPECIFICATIONS. DO NOT USE HAY.
9. ANY AREAS DISTURBED DURING CONSTRUCTION ARE TO BE RECONDITIONED, SEEDS AND MULCHED PER THE SPECIFICATIONS AND BMP NOTES.
10. ALL TREES THAT ARE IDENTIFIED BY THE ARCHITECT TO REMAIN, EITHER ON THE DRAWING OR IN THE FIELD, ARE TO BE PROTECTED IN ACCORDANCE WITH THE SPECIFICATIONS. ALL TREES LOCATED OUTSIDE OF AREAS IDENTIFIED TO BE REGARDED ARE TO BE PROTECTED IN ACCORDANCE WITH THE SPECIFICATIONS.
11. THE CONTRACTOR SHALL ENSURE THAT CONSTRUCTION DEBRIS AND SEDIMENT ARE REMOVED DAILY FROM SITE DRIVEWAYS, PARKING AREAS, WALKWAYS AND SURROUNDING ROADS AND WALKWAYS.
12. THE NEW ROADS AND ROAD BASE ARE NOT DESIGNED TO ACCOMMODATE CONSTRUCTION TRAFFIC AND SHOULD NOT BE USED FOR SUCH UNLESS STABILIZED USING #2 CRUSHED STONE AND/OR GEO-GRID BELOW THE DESIGNED PAVEMENT SECTION. IF THE CONTRACTOR WISHES TO USE THE NEW ROAD ALIGNMENTS DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO STABILIZE THE ROAD ALIGNMENT SUBGRADES AND PREVENT THEM FROM BEING DAMAGED DURING CONSTRUCTION.
13. IN THE EVENT OF THE UNANTICIPATED DISCOVERY OF AN ARCHAEOLOGICAL SITE OR OBJECT OF ANTIQUITY, THE DISCOVERY SHOULD BE REPORTED TO EDA, THE KENTUCKY HERITAGE COUNCIL AND TO THE KENTUCKY OFFICE OF STATE ARCHAEOLOGY IN THE ANTHROPOLOGY DEPARTMENT AT THE UNIVERSITY OF KENTUCKY IN ACCORDANCE WITH KRS 164.730. IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING PROJECT ACTIVITIES, ALL WORK SHOULD BE IMMEDIATELY STOPPED IN THE AREA AND THE AREA CORDONED OFF AND IN ACCORDANCE WITH KRS 72.020 THE COUNTY CORONER AND LOCAL LAW ENFORCEMENT MUST BE CONTACTED IMMEDIATELY. UPON CONFIRMATION THAT THE HUMAN REMAINS ARE NOT OF FORENSIC INTEREST, THE UNANTICIPATED DISCOVERY MUST BE REPORTED TO EDA AND THE KENTUCKY HERITAGE COUNCIL.

ABBREVIATIONS LEGEND

- | | |
|-------------------------------------|----------------------|
| TC - TOP OF CURB | TL - TOP OF LANDING |
| BC - BOTTOM OF CURB | TR - TOP OF RISER |
| FF - FINISHED FLOOR ELEVATION | BR - BOTTOM OF RISER |
| TW - TOP OF WALL AT FINISH GRADE | |
| BW - BOTTOM OF WALL AT FINISH GRADE | |



10. old layette avenue leangdon, kentucky 40502 p.859.254.4018

PROPOSAL REQUEST #19
ESTILL COUNTY AREA TECHNOLOGY CENTER - BP2
FOR:
ESTILL COUNTY BOARD OF EDUCATION
IRVINE, KENTUCKY

M.E. & P. Engineer
CMTA, Inc.
2429 Members Way
Lexington, KY 40504
p.859.253.0892

Structural Engineer
Structural Design Group, Inc.
220 Great Circle Rd., Suite 106
Nashville, TN 37228
p.615.255.5537

Construction Manager
Codell Construction Co.
P.O. Box 17
Winchester, Kentucky 40392
p.859.744.2222

BG# 18-361
EDA# 04-79-07385

Project No: 1768
Drawn By: JTD, MBM
Rev'd By: LMR, DS

SHEET RELEASE
1 10/17/19 ADDENDA 2
2 12/01/20 PR #19
3
4
5
6
7
8

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PHASE 2 - CONSTRUCTION
DOCUMENTS

SD2.1

PROPOSAL REQUEST #19
DATE ISSUED:
SEPTEMBER 20, 2019

Standafer Builders, Inc.

1178 West Main Street
P.O. Box 247
West Liberty, KY 41472

Phone: 606-743-4435
Fax: 606-743-7401

**PROPOSED
CHANGE ORDER**

No. 2

TITLE: PR 19: resurface-curb/gutter

DATE: 12/09/2020

PROJECT: Paving @ ATC

TO: Attn:
RossTarrant Architects
101 Old Lafayette Avenue
Lexington, KY 40502
Phone:859-254-4018

SUBMITTED:
COMPLETED:
REQUIRED:

DESCRIPTION

As described on PR 19

Num Item	Description	Ref	Qty Unit	Unit Price	Amount
1	Curb & gutter		745.000 Ft.	28.00	20,860.00
2	1.5" resurface asphalt		2,047.000 sq yd	8.60	17,604.20
3	Curb patch		165.000 sq yd	34.00	5,610.00
4	Milling		2,047.000 sq yd	6.00	12,282.00
5	Engineering/staking		1.000 Each	1,200.00	1,200.00
6	Paint arrows		8.000 Each	20.00	160.00
7	Crosswalk sections		22.000 Each	18.00	396.00
8	Profit & overhead		37,252.200	0.15	5,587.83
Item Total:					\$63,700.03
Total:					\$0.00
Total:					\$63,700.03

APPROVAL

By: 

Larry Lewis

Date: 1-19-21

By: _____

Date: _____

Proposal																																																	
Rising Sun Developing, Inc. 2555 Palumbo Drive, Ste 110 Lexington, KY 40509 859-543-0205 Ph 859-543-0230 Fax																																																	
<i>Proposal To:</i> Codell Construction Estill ATC Irvine, KY PR#19																																																	
Description: <i>site changes</i>																																																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 45%;"></th> <th style="width: 10%;">QTY</th> <th style="width: 10%;">Unit</th> <th style="width: 20%;">UNIT\$ Price</th> <th style="width: 15%;"></th> </tr> </thead> <tbody> <tr> <td>demo concrete</td> <td>3.00</td> <td>yds.</td> <td>\$18.00</td> <td>\$994.24</td> </tr> <tr> <td>demo asphalt</td> <td>9.00</td> <td>yds.</td> <td>\$15.00</td> <td>\$135.00</td> </tr> <tr> <td>trench drain</td> <td>20.00</td> <td>lf.</td> <td>\$255.00</td> <td>\$5,100.00</td> </tr> <tr> <td>curb demo</td> <td>781.00</td> <td>lf.</td> <td>\$6.00</td> <td>4,686.00</td> </tr> <tr> <td>8" pe</td> <td>93.00</td> <td>lf.</td> <td>\$22.00</td> <td>2,046.00</td> </tr> <tr> <td>landscape repair</td> <td></td> <td></td> <td></td> <td>4,412.00</td> </tr> <tr> <td>Overhead and Profit</td> <td>15%</td> <td></td> <td></td> <td>2,605.99</td> </tr> <tr> <td>Total Bid</td> <td colspan="3" style="text-align: right; color: red;">Add</td> <td>19,979.23</td> </tr> </tbody> </table>						QTY	Unit	UNIT\$ Price		demo concrete	3.00	yds.	\$18.00	\$994.24	demo asphalt	9.00	yds.	\$15.00	\$135.00	trench drain	20.00	lf.	\$255.00	\$5,100.00	curb demo	781.00	lf.	\$6.00	4,686.00	8" pe	93.00	lf.	\$22.00	2,046.00	landscape repair				4,412.00	Overhead and Profit	15%			2,605.99	Total Bid	Add			19,979.23
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Total Bid	Add			19,979.23																																													

damproofing not included in scope
 add 7 days to schedule



Change Order Proposal Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 2/2/2021

SUBJECT: (PR 19) Bus Loop Pavement Curbs CHANGE ORDER PROPOSAL ID: COP 20r02

TYPE: Change Order Proposal TRANSMITTAL ID: 00782

PURPOSE: Reviewed VIA: Info Exchange

TOTAL AMOUNT: \$83,679.26

TOTAL DAYS: 7

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: The Design Team has reviewed and finds this proposed pricing acceptable.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	2/2/2021	Copy of Estill ATC - PR 19 (FINAL).pdf				

COPIES:

Peter Fisher (RossTarrant Architects)
Michael Mays (RossTarrant Architects)



Proposal Request Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 12/2/2020

SUBJECT: PR 21 - Staff Lot Sidewalk Connection PROPOSAL REQUEST ID: PR 21

TYPE: Proposal Request TRANSMITTAL ID: 00714

PURPOSE: For Contractor's Pricing VIA: Info Exchange

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: Contractor to provide all material, labor and equipment costs for work reflected in the PR Drawings.

1. Provide and install new concrete sidewalk as shown on SD1.1.

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents describes therein.

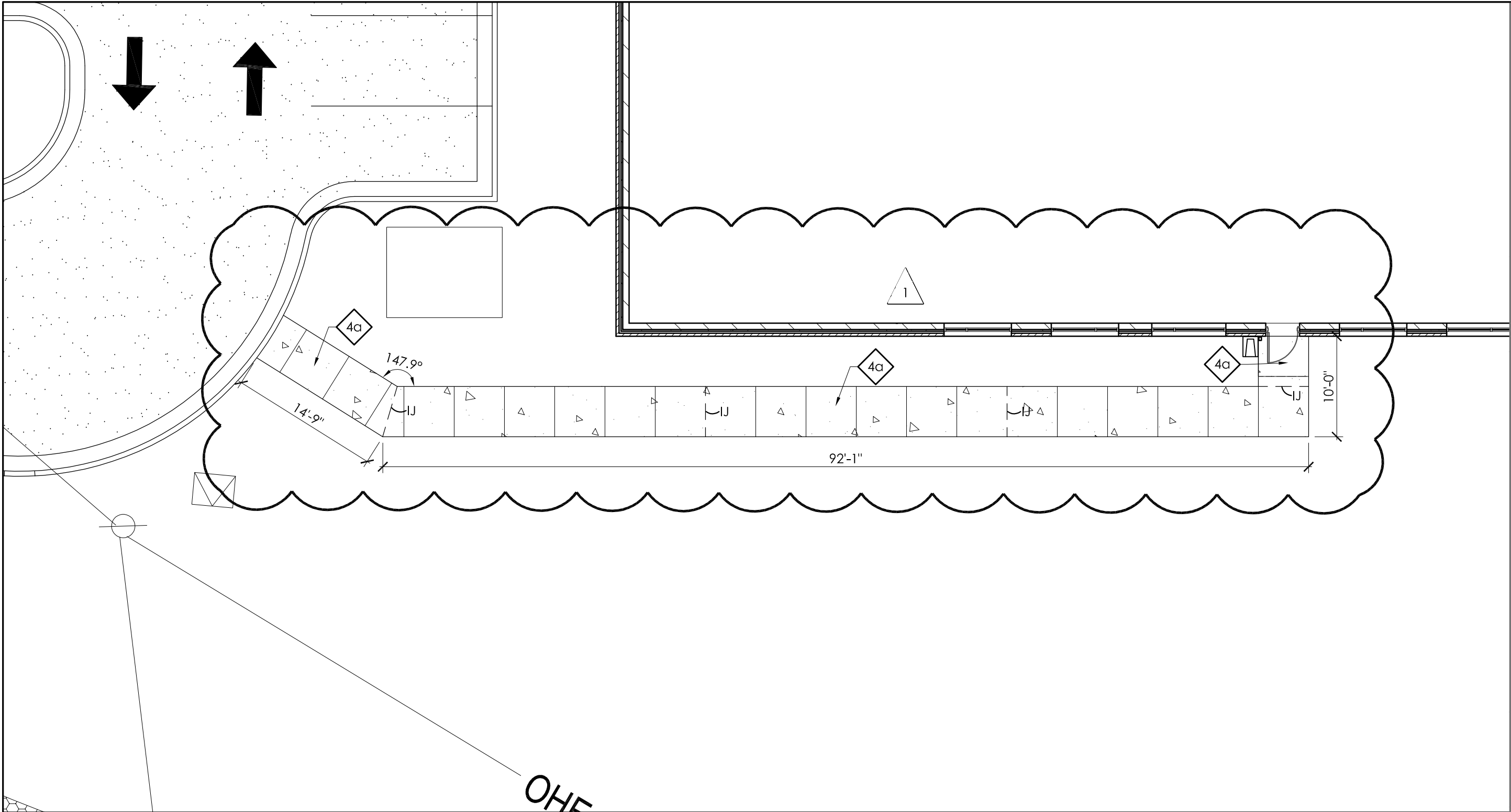
This is not a change order nor a direction to proceed with the work described herein.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	12/1/2020	PR-21.1-Sidewalk Addition.pdf				

COPIES:

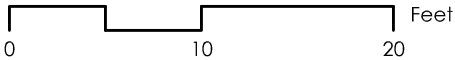
Peter Fisher (RossTarrant Architects)



SIDEWALK ADDITION AS SHOWN. REFER TO SD1.1, SD3.4 FOR ADDITIONAL INFORMATION.

SIDEWALK ADDITON

SCALE : 1" = 20'



DATE	12/01/2020
PROJECT	1768
DRAWN	JKB
CHECKED	
SHEET REF	SD1.1, SD3.4
REVISIONS	

SKETCH NUMBER

PR-21.1

PROPOSAL
REQUEST #21

PROPOSAL REQUEST #21
ESTILL COUNTY AREA TECHNOLOGY CENTER
FOR:
ESTILL COUNTY BOARD OF EDUCATION
IRVINE, KENTUCKY



ESTILL COUNTY AREA CAREER AND TECHNICAL CENTER CHANGE ORDER REVIEW

To: ROSS-TARRANT ARCHITECTS **From:** Jeremy L. Faulkner
INC

Attn: ROSS-TARRANT ARCHITECTS INC **CC:** Kenny G. Davis Jr.

Re: 0021 **Date:** 12/2/2020

Attachments:

- Estill ATC - PR 21.pdf
- Estill ATC - PR 21 Price.pdf
- CMA-KDE-000704 Change Order Review Form.doc
- RSD PR# 21 Rev.01.pdf

I have reviewed and approved the attached pricing. Your approval and signature is required in order to process this change order. Please review the pricing and sign below if it is acceptable.

0021

Contractor	BP#	Pricing
		\$0.00
STANDAFER BUILDERS, ASPHALT PAVING DIVISION	002	(\$882.00)
RISING SUN DEVELOPING, INC.	003	\$7,193.04
	018	\$0.00

Total Amount: \$6,311.04 4 days

ROSS-TARRANT ARCHITECTS INC

Date

Codell Construction Company,
Jeremy L. Faulkner
jfaulkner@codellconstruction.com

Standafer Builders, Inc.

1178 West Main Street
P.O. Box 247
West Liberty, KY 41472

Phone: 606-743-4435
Fax: 606-743-7401

**PROPOSED
CHANGE ORDER****No. 4****TITLE:** PR-21: Credit Asphalt Pavement**DATE:** 02/01/2021**PROJECT:** Paving @ ATC

TO: Attn:
RossTarrant Architects
101 Old Lafayette Avenue
Lexington, KY 40502
Phone:859-254-4018

SUBMITTED:
COMPLETED:
REQUIRED:

Num Item	Description	Ref	Qty	Unit	Unit Price	Amount
1	Credit Asphalt Pavement		18.000	sq.yard	-49.00	-882.00
Item Total:						(\$882.00)
Total:						\$0.00
Total:						(\$882.00)

APPROVAL**By:**  _____**Date:** 2/1/2021 _____**By:** _____**Date:** _____

Proposal																													
Rising Sun Developing, Inc. 2555 Palumbo Drive, Ste 110 Lexington, KY 40509 859-543-0205 Ph 859-543-0230 Fax																													
<i>Proposal To:</i> Codell Construction Estill ATC Irvine, KY PR#21																													
Description: <i>site changes</i>																													
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Total Bid			Add	7,193.04																									

damproofing not included in scope
 add 4 days to schedule



Change Order Proposal Transmittal

RossTarrant Architects | 101 Old Lafayette Ave Lexington KY 40502 United States

PROJECT: Estill County Technical Center 1768 DATE SENT: 2/2/2021

SUBJECT: (PR 21) Staff Lot Sidewalk Connection CHANGE ORDER PROPOSAL ID: COP 22r02

TYPE: Change Order Proposal TRANSMITTAL ID: 00784

PURPOSE: Reviewed VIA: Info Exchange

TOTAL AMOUNT: \$6,311.04

TOTAL DAYS: 4

FROM

NAME	COMPANY	EMAIL	PHONE
Jonathan Ruiz	RossTarrant Architects	jruiz@rosstarrant.com	859-254-4018

TO

NAME	COMPANY	EMAIL	PHONE
Jeremy Faulkner	Codell Construction Company	jfaulkner@codellconstruction.com	859.744.2222

REMARKS: The Design Team has reviewed and finds the proposed pricing acceptable.

DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NUMBER	SCALE	SIZE	NOTES
1	2/2/2021	Estill ATC - PR 21 (FINAL) .pdf				

COPIES:

Peter Fisher (RossTarrant Architects)
Michael Mays (RossTarrant Architects)