



January 8, 2015

Mr. John Stith
Hardin County Schools
65 W.A. Jenkins Road
Elizabethtown, Kentucky 42701

Re: January School Board Meeting

Dear John:

Sherman Carter Barnhart (SCB) will be present at the board meeting on Thursday, January 21, 2015, at which time we will report on the construction progress at North Hardin High School, North Middle School Entry Sign, and JT Alton Middle School. We will also provide updates on projects currently in design and production and the status of Hardin County School projects that are currently nearing project closeout.

Cecilia Valley Elementary

Construction Documents will be forwarded to Hardin County Schools for Cecilia Valley Elementary for board of education review prior to the January 21st board meeting. SCB will be present at the board meeting seeking approval of these documents so that they can be forwarded to KDE for approval.

North Hardin High School – Phase 7

See attached Construction Report (1291 January Construction Update.pdf)

Hardin County Schools Early College and Career Center

See attached Closeout Update (1309 January Closeout Update.pdf)

Meadow View Elementary HVAC Renovation

All work at Meadow View Elementary is complete excluding the reseeding at the geothermal wellfield that will occur during the spring seeding window.

JT Alton Security Vestibule and Exterior Façade Repair

See attached Construction Report (1524 January Construction Update.pdf)

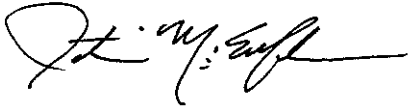
North Middle School Monument Sign

See attached Construction Report (1530 January Construction Update.pdf)

Radcliff Elementary School

See attached Closeout Update (Radcliff January Closeout Update)

Respectfully submitted,

A handwritten signature in black ink, appearing to read "J. McElfresh", with a stylized flourish extending to the right.

Justin McElfresh AIA, CID, LEED® AP
Project Architect



North Hardin High School – Phase 7



Construction Update January 8, 2015

Original Construction Cost:	\$13,380,000.00
Present Construction Cost:	\$13,477,715.00 (<i>Revised by Change Order No. 4</i>)

Original Completion Dates	
Substantial Completion:	July 1, 2016
Final Completion:	August 1, 2016

Anticipated Completion Dates (<i>Revised by Change Order No. 1</i>)	
Substantial Completion:	July 14, 2016
Final Completion:	August 14, 2016



Change Order Summary

<u>Change Order</u>	<u>Amount</u>	<u>Status</u>	<u>Rvsd. Contract Amount</u>
CO No. 001	\$11,196.00	Fully Executed	\$13,391,196.00
CO No. 002	\$5,534.00	KDE Approved	\$13,396,730.00
CO No. 003	\$57,407.00	BOE Approved	\$13,454,137.00
CO No. 004	\$23,578.00	BOE Approved	\$13,477,715.00

Potential Change Orders

Proposed change	Reason	Projected Price / Quote from contractor
RFCO#37: Temporary tie-in to new manhole	Found condition.	\$2,417.00 – Pending Review
Possible installation of new exterior wall panels around the perimeter of the large gym.	Found condition. Paint was peeling on interior wall of the gym. Discovered moisture from existing panels.	Estimated \$81,720.00 – From Swift Roofing; SCB still working on pricing.
Credit for steel not required at existing locker room area.	Existing structure can remain.	Estimated (\$8,000.00)
Credit for specified powder coated aluminum risers at home side grandstands	Anodized aluminum selected by Owner.	Estimated (\$5,000.00)
Credit for unused site utility allowance	Actual costs less than anticipated.	Estimated (\$4,000.00)
Credit for unused unsuitable soil allowance	Actual costs less than anticipated.	Estimated (\$40,000.00)



Summary

The next progress meeting is scheduled for January 28, 2015. SCB will be present at the January board meeting and will provide a construction update outlining construction progress.

Progress Report

Work Completed

Site

- Site concrete on the west and south side of the building additions are complete
- Asphalt base in the parking lot area has been installed
- Brick is complete with the exception of the cheek wall on the west side.

North Locker Room/Office Addition

- Ceiling framing has been installed
- Finish painting is ongoing
- Electrical and sprinkler rough-in is ongoing

Locker Room/Lobby/Wellness Center Addition

Locker Room, Lobby, and Wellness Center have been turned over to Owner for use.

- Metal roofing above new entry lobby is ongoing.
- Sheet metal flashing is ongoing
- Soffits are complete
- Walls are painted
- Doors and hardware are complete
- Toilet accessories are complete
- Storefronts and entrances are installed
- Translucent panels at clerestory are 90% complete
- VET is ongoing
- Rubber flooring at the Wellness Center is complete
- Sprinkler rough-in is complete
- Electrical and data is ongoing

Existing Locker Room Renovation

- Interior demolition is complete
- Below slab rough-in is ongoing

Work Anticipated

- Complete site concrete at building additions.
- Base course of asphalt paving is to be installed by December 15, 2015.
- Continue roof ballast and areas where roof membrane is installed, and start metal flashing.



- Complete gypsum ceilings and soffits.
- Complete ceramic tile.
- Continue doors and hardware.
- Complete glass and storefront at new lobby entry.
- Continue painting.
- Lay-in ceiling panels to be completed.
- Continue vinyl tile floors.
- Demolition of existing locker rooms is to start after new locker rooms are in use.
- Start MEP finishes.
- Turnover of entire addition is expected by January 4, 2016.



Progress Photos



Photo 1: Metal roofing work is ongoing at the new entry lobby.



Photo 2: Landscaping and sod have been installed at the west side of the building and the parking lot.



Photo 3: Interior demolition is complete within the existing locker room area (adjacent to Main Gymnasium). Below slab rough-in work is ongoing.



Photo 4: Work is ongoing at the new concession stand. Beyond, the new Wellness Center has been turned over to the Owner for occupancy.



Photo 5: New Entry Lobby looking toward the Cafeteria. New clerestories allow natural light deeper into the space.



Photo 6: New Ticket Booth and Public Restrooms beyond. New welcoming entry for after school activities and student entry/exit has been turned over to Owner for use.



Photo 7: Interior painting and finishes are ongoing at the Auxiliary Gym Locker Rooms and Office area at the north side of the Wellness Center/Auxiliary Gym.



Photo 8: Exterior Concrete work continues at the north side of the building additions.



Hardin County Early College and Career Center

Project Closeout Update

January 8, 2015

Building Leaks

Completion Date: Work at Roof – 11/25/15; Interior Corrections (drywall, painting, ceilings) – 12/31/15
Action Required By: Morel

SCB reviewed the completion of the Interior Corrections on Thursday, January 7th with Morel Construction. Additional work is required as indicated on the punchlist distributed on Friday, January 8th.

Additionally, a leak occurred at the north end of the hallway that needs to be reviewed with Morel Construction. SCB will also be reviewing the corrective flashing work at the back entrance canopy.

Entry Sign

Completion Date: 11/25/15
Action Required By: Morel

Entry sign has been completed. Morel Construction has requested payment for the completed sign. SCB is withholding \$500 for seeding around the sign that will be completed during the spring seeding window.

11/12/14 Warranty Issues from Staff

11. Automotive Suite Fan Control Touch Pad (Room 214)

Completion Date: 12/31/15
Action Required By: STW/Morel

Complete

27. Additional Venting at Gas Storage (Rooms 240A and 240B)

Completion Date: 12/31/15
Action Required By: SCB/Morel

SCB is currently reviewing code compliance and OSHA requirements for the doors to determine how best to add additional venting to the welding gas storage rooms. A recommendation for adding vents will be forthcoming.



Dan Robbins List

1. **Door E240B was damaged by Knights Mechanical during change order work.**

Completion Date: 11/12/15

Action Required By: Morel

Complete

3. **Shop Roll-up doors (Rooms 214 and 240) – Buttons do not work properly (must be held in)**

Completion Date: 12/31/15

Action Required By: Morel

Complete

7. **Air Compressor (Room 214B)**

Completion Date: 12/31/15

Action Required By: SCB/STW

STW is currently reviewing start up report provided by Morel Construction. SCB has reviewed the O&M Manuals for information regarding the air compressor, but air compressor information was not provided. STW is currently requesting more information from the manufacturer and contractor to aid in determining the value of the air compressor. STW's evaluation and report will be forthcoming.

General Warranty Issues

Johnston Hall Lighting Controls

Completion Date: Reports/Findings – 11/6/15; Resolution – 11/25/15

Action Required By: STW

Complete

Site Erosion

Completion Date: 12/31/15

Action Required By: SCB/AEI

AEI has prepared a report with recommended corrections. Weather has prevented corrective action on this item.

Site Asphalt

Completion Date: 12/31/15

AEI has prepared a report with recommended corrections. Weather has prevented corrective action on this item.

Concrete Bench

Completion Date: 12/31/15

Action Required By: SCB



SCB has agreed to provide a sealer at the concrete bench at no additional cost to the Owner. This work is being completed by Morel Construction as part of the interior correction work.

Sewer Gas Smell

Completion Date: 11/25/15

Action Required By: Owner – David Wyatt

Complete

Metal Panel Gaskets

Completion Date: 12/31/15

Action Required By: Morel/Tecta America

Tecta America originally committed to replacing the gaskets and doing what was necessary to ensure that the gaskets were installed properly. Tecta America now insists that the gaskets were installed correctly and that the issue is a manufacturing issue.

SCB has contacted Norrenbrock Companies (distributor/supplier) regarding this issue. Nate Norrenbrock has assured SCB that the gaskets will be replaced with or without the help of Tecta America.



JT Alton MS Security Vestibule and Exterior Repairs

Construction Update

January 8, 2016

Original Construction Cost: \$65,454.00
Present Construction Cost: \$65,454.00

Original Completion Date: October 1, 2015
Revised Completion Date: January 31, 2015

Summary

Exterior painting is complete.

Interior demolition is complete. New masonry wall and storefront at the interior side of the new security vestibule have been installed. Interior finishes are ongoing.

Progress Photos



Photo 1: New masonry walls and storefront at the interior side of the new security vestibule.



Photo 2: New entrance into the security office from the security vestibule.



Photo 3: Existing flooring and wall base have been removed in the security office. Interior finishes are ongoing.



North Middle School Entry Sign

Construction Update

January 8, 2015

Summary

Sign is complete less cleaning of the brick. Underground electrical rough-in is complete for lighting. Installation of lighting is expected to be completed this week. Cleanup, finish grading, and seeding remain outstanding. All work is being completed as weather permits.





Radcliff Elementary

Project Closeout Update

January 8, 2016

SCB is currently scheduling a meeting with Morel Construction to review all work required and establish a schedule for completion of the work per the request of Hardin County Schools. This schedule will be forwarded to Hardin County Schools by the end of January.

Floor Tile Moisture Mitigation

Sherman Carter Barnhart has secured a commitment from Morel Construction to remove and replace the existing floor tile in the three (3) worst classroom areas on the first floor at Radcliff Elementary at no additional cost to the Owner. The process would be to remove the existing VCT, install epoxy coating/mitigation system, and install new VCT. Morel will use CDI (who previously conducted the moisture testing) as the subcontractor to correct the flooring.

Other Areas for Consideration

Per discussions with John Stith, Gary Milby, and David Wyatt, only 5 working days are included in Christmas break this year. Therefore, removal and replacement of furniture, etc. will not be possible during the break and the corrective work will have to be scheduled for next summer. SCB has been instructed to visit Radcliff Elementary with Morel Construction again and develop a schedule for correction/remediation that would begin as soon as school is out. Hardin County School has requested that this schedule is forwarded to them by December.

In addition, SCB has been directed to pursue replacement of tile in the lobby and rear hallway which will need to be negotiated with Morel Construction.

Exterior

Sherman Carter Barnhart has received pricing from Phillips Brothers to add a yard drain and redirect grades away from the building by regrading the area at the back of the building. The drain will also be used to collect an existing condensate line that currently contributes to the moisture under the existing slab. SCB has reviewed the pricing and determined that it is high. Drawings will be forwarded to David Wyatt to review with another local site contractor and get additional pricing.

Warranty

SCB has also contacted Nawkaw (brick stain manufacturer) regarding repair of the brick stain at the west elevation. Nawkaw representatives have visited the site and agree that warranty work is justified. SCB is presently trying to schedule the warranty work with Nawkaw.

Additionally, moisture readings taken by David Wyatt have indicated high levels of moisture in areas of masonry infill completed during the renovations. SCB has recommended that a portion of the brick be removed to determine if the bituminous damp-proofing was installed as detailed and designed.