

NEW HIGHLAND ELEMENTARY SCHOOL

ENTRY VESTIBULE

110 W. A. JENKINS RD, ELIZABETHTOWN, KENTUCKY 42701

MAY 1ST, 2015

BG# 15-255

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ARCHITECTURAL

COVER

- A1.0 DEMOLITION PLAN, NEW WORK PLAN & INTERIOR ELEATIONS
- A1.1 DOOR / FRAME TYPES, DOOR DETAILS & DOOR SCHEDULE

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MURPHY · GRAVES · TRIMBLE, PLLC
ARCHITECTURE | PLANNING | INTERIORS

OWNER

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HAZARDOUS MATERIAL NOTES

- Occupational Safety Health Administration Regulations and Kentucky Occupational Safety Health Regulations 29 CFR 1910. 1200 (General Industry Regulations) and 29 CFR 1926.58 (Construction Industry Regulations) requires the building owner to identify work place hazards and hazardous materials prior to construction, renovation, or demolition. Murphy + Graves + Trimble PLLC assumes no liability, expresses or implies no or any warranty or guarantee, as to the completeness of the owners or its' consultants due diligence to identify work place hazards or hazardous materials that may be encountered during the Contractors Scope of Work.
- The National Emissions Standard for Hazardous Air Pollutants 40 CFR 61.140 Subpart M; and 401 KAR 58.025 requires an asbestos inspection prior to commencement of renovation or demolition activities. (Demolition is defined in this regulation as disturbance of any structural building component). OSHA regulations 29 CFR 1910. 1001 (j)(8) and 29 CFR 1926.1101 (k)(5)(ii)(A) requires that the building owner prove a material installed prior to 1989 to be non-asbestos containing prior to disturbance. Murphy + Graves+Trimble PLLC assumes no liability, expresses or implies no or any warranty or guarantee, as to the completeness of the owners or its' consultants due diligence to identify asbestos containing building materials that may be encountered during the Contractors Scope of Work. By execution of the contract documents the Contractor, its' employees and subcontractors agrees to hold harmless, defend, and indemnify the architect, its' principals, agents, consultants, for the Contractors', his employees, and subcontractors failure to comply with this section that results in contamination, Contractors negligence, worker exposure or notice of violation.

- OSHA Lead in Construction Regulation 29 CFR 1926.62, KOSH § 1926.62 requires that Contractors protect their employees from exposure to lead containing building materials and coatings during construction, renovation or demolition activities. It is the owners' responsibility to identify this hazard. Murphy + Graves+ Trimble PLLC is not responsible for either the owners due diligence or enforcement of the Contractors compliance with this regulation. By execution of the contract documents, the Contractor expresses warrants and guarantees it will perform its' work, including its' sub-contractors, in compliance with this regulation. Further, the Contractor, its' employees and subcontractors agrees to hold harmless, defend, and indemnify the architect, its' principals, agents, consultants, for the Contractors, his employees, and subcontractors failure to comply with this section that results in contamination, worker exposure, or notice of violation.
- The Contractor, its' employees and subcontractors are to stop work when suspect hazardous conditions or materials are encountered and are instructed to notify Murphy + Graves+ Trimble PLLC immediately at (859) 559-0504 and the owners Environmental Consultant regarding remedial and containment measures. The Contractor is not to proceed with any remedial or response actions without consulting with the owners Environmental Consultant. By execution of the contract documents the Contractor, its' employees and subcontractors agrees to hold harmless, defend, and indemnify the architect, its' principals, agents, consultants, for the Contractors', his employees, and subcontractors failure to comply with this section that results in contamination, Contractors negligence, worker exposure or notice of violation.

- The Contractor by executing the contract documents agrees that he has been informed of the work place hazards and hazardous materials involved in his Scope of Work and further agrees that it will comply with all applicable codes, safety regulations and environmental regulations. It is further agreed, that by execution of the contract documents the Contractor, its' employees and subcontractors agrees to hold harmless, defend, and indemnify the architect, its' principals, agents, consultants, for the Contractors, his employees, and subcontractors failure to comply with all applicable codes, safety regulations and environmental regulations and any subsequent litigation that may result.
- It is agreed that Murphy + Graves+ Trimble PLLC is not responsible for identification of hazardous conditions or hazardous materials, remedial or response actions relating to hazardous conditions or materials; and, it is agreed that it is the Contractors responsibility to protect its' employees, subcontractors employees and building occupants from exposure to hazards conditions or materials that may be encountered in the Contractors' Scope of Work. Therefore, it is further agreed that the responsibility for identification of any and all hazards in the Contractors Scope of Work is between the building owner and the Contractor.

By execution of the contract documents the Contractor agrees it shall bring no claims for negligence, breach of contract, indemnity, or any litigation relating to hazardous conditions or hazardous materials against Murphy + Graves + Trimble PLLC, it principals, agents, or consultants.

NOT FOR
CONSTRUCTION

SHEET TITLE:
CONSTRUCTION DOCUMENTS

JOB NAME:
NEW HIGHLAND ELEMENTARY SCHOOL
ENTRY VESTIBULE

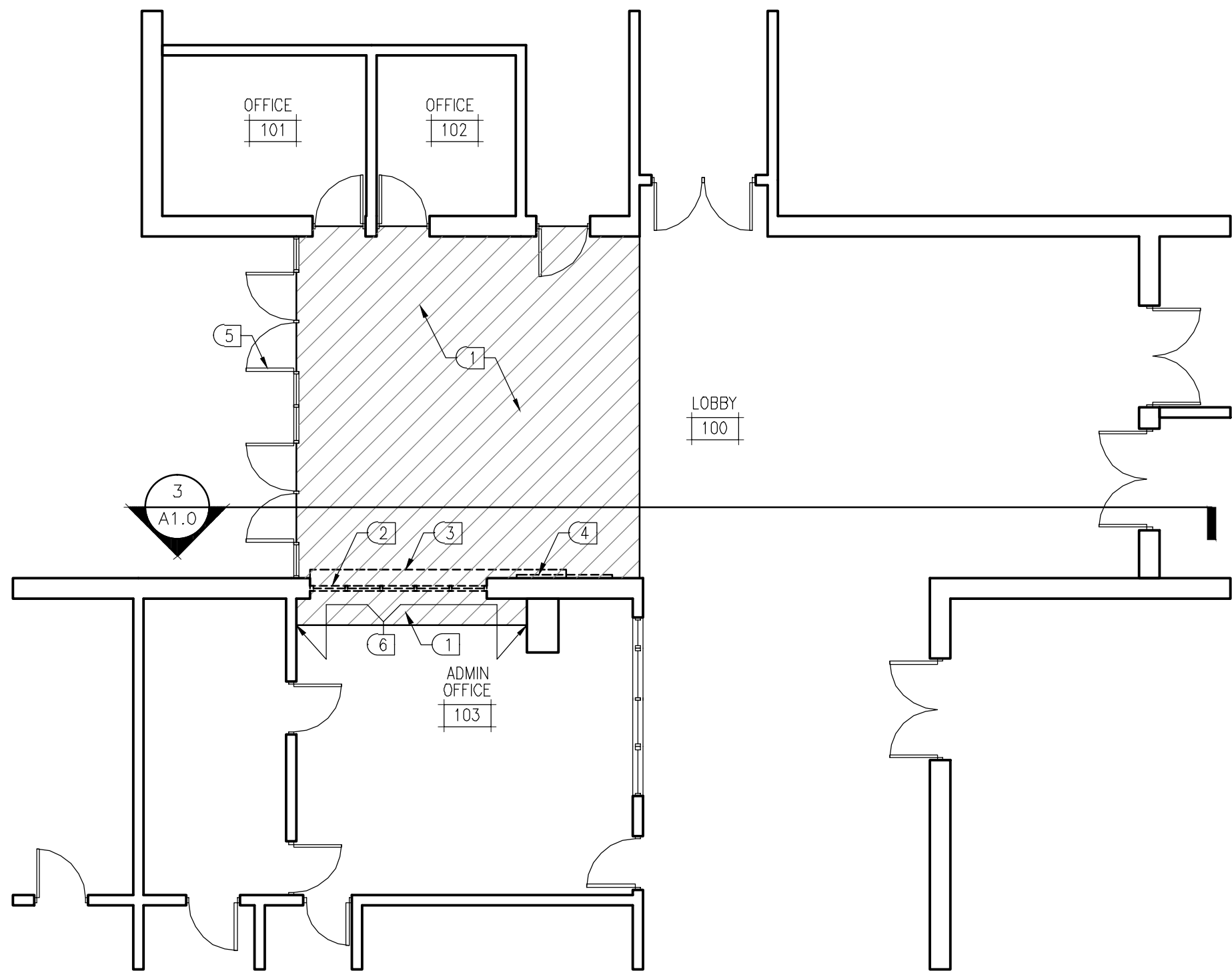
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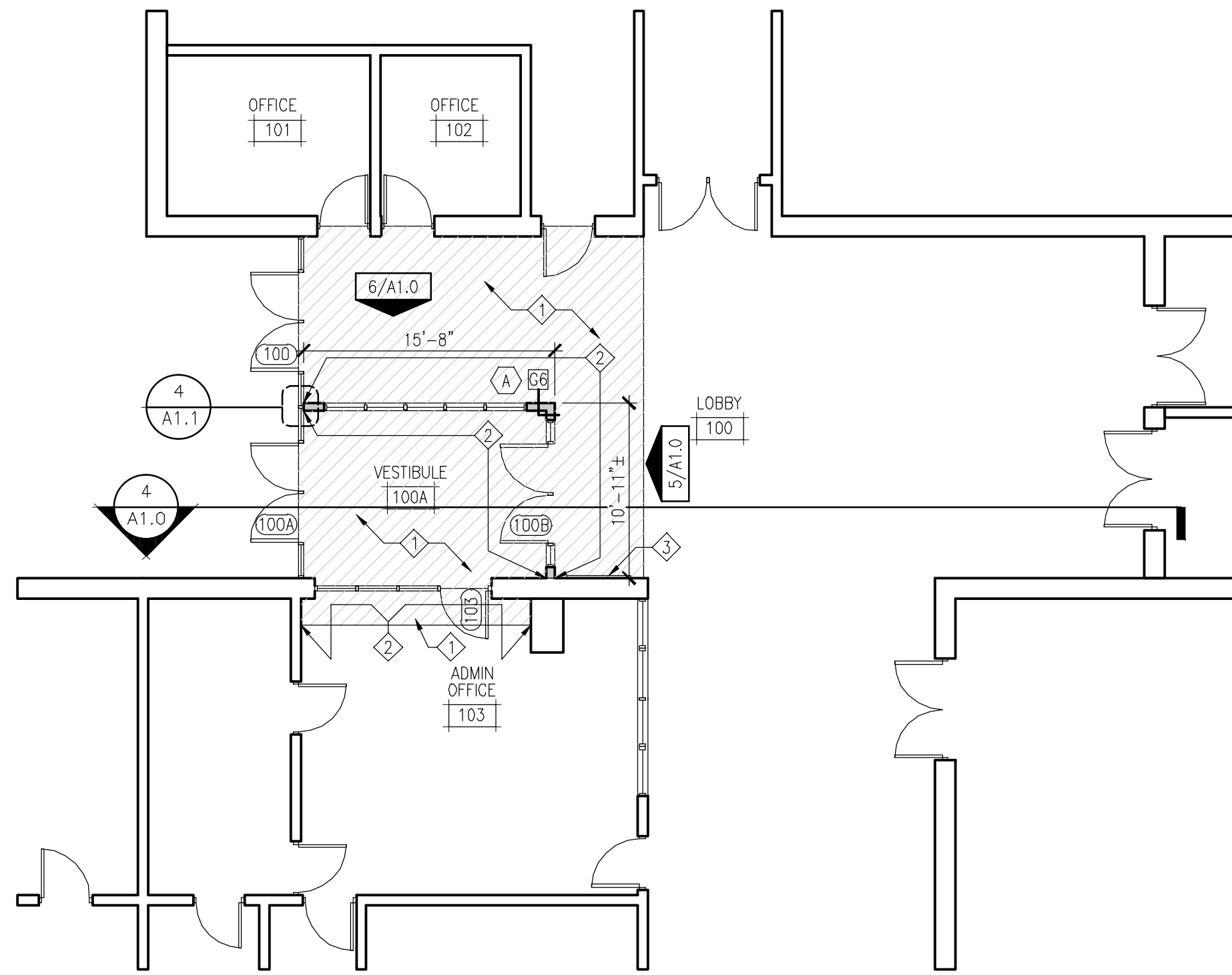
JOB NO. 1509
DATE: 05.21.15
PRODUCED BY:
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SHEET NUMBER:

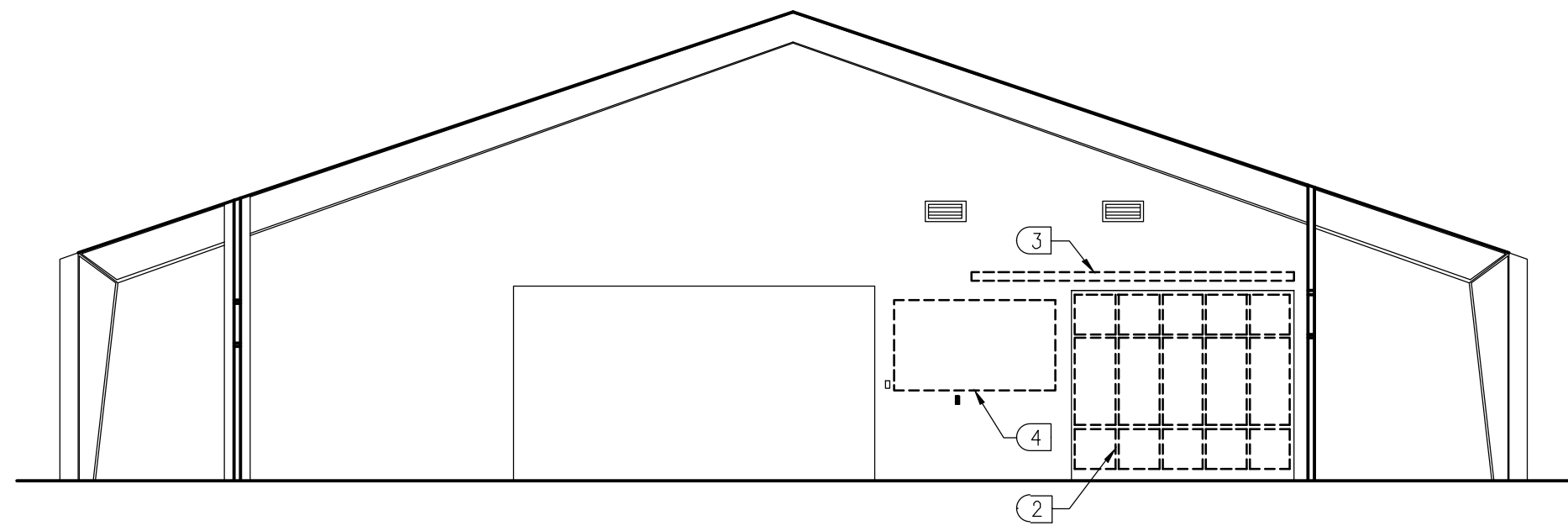
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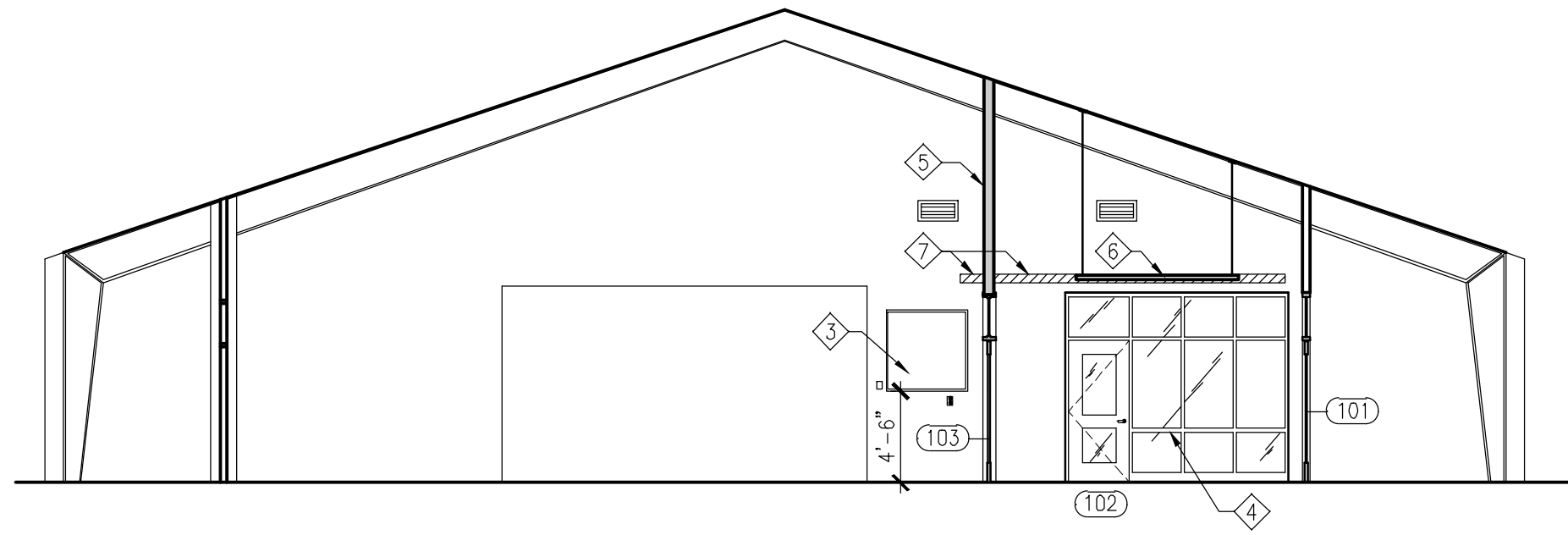
1 ENTRANCE VESTIBULE DEMOLITION PLAN
1/8"=1'-0"



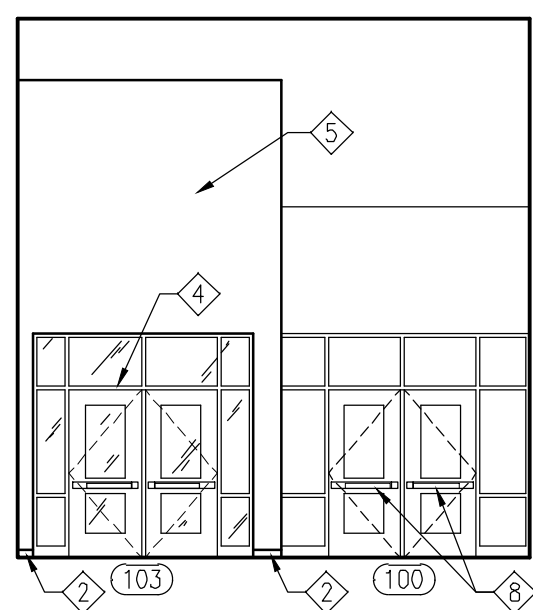
2 ENTRANCE VESTIBULE NEW WORK PLAN
1/8"=1'-0"



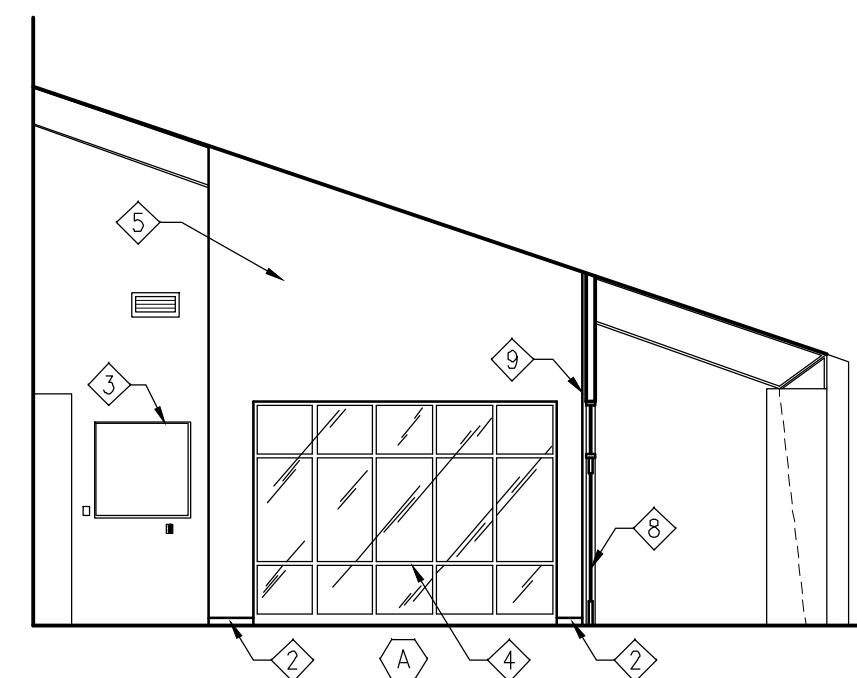
3 ENTRANCE VESTIBULE DEMOLITION ELEVATION
1/8"=1'-0"



4 ENTRANCE VESTIBULE NEW WORK ELEVATION
1/8"=1'-0"



5 ENTRANCE VESTIBULE ELEVATION
1/8"=1'-0"



6 ENTRANCE VESTIBULE NEW WORK ELEVATION
1/8"=1'-0"

GENERAL NOTES

- GN1. CONTRACTOR IS RESPONSIBLE TO PATCH AND/ OR REPAIR, HOLES, JOINTS, CRACKS, OPENINGS, ETC. IN EXISTING CONSTRUCTION TO BE EXPOSED. RESULTING FROM DEMOLITION AND/ OR INSTALLATION OF NEW CONSTRUCTION WITH APPROPRIATE AND/ OR SIM. MATERIAL THAT MATCHES THE COLOR (PDT) AND TEXTURE OF THE ADJACENT MATERIALS. ALL PATCHED SURFACES TO RESULT IN A INSTALLATION OF NEW FINISHES TO MATCH ADJACENT SURFACES OF NEW SCHEDULED FINISHES.
- GN2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING FOR EXISTING STRUCTURE DURING DEMOLITION REQUIRED TO COMPLETE WORK.
- GN3. THE INTENT OF THE DEMOLITION PLANS AND DEMOLITION NOTES IS TO PROVIDE A GENERAL OUTLINE FOR THE CONTRACTOR OF ITEMS TO BE REMOVED AND/OR TURNED OVER TO THE OWNER AND TO ALLOW FOR THE NEW CONSTRUCTION AS OUTLINED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL OF ITEMS SHOWN OR NOT SHOWN ON THE DEMOLITION PLANS TO ALLOW FOR NEW CONSTRUCTION.
- GN4. REMOVE ALL SCREWS, NAME PLATES, ETC... FROM FACES OF ALL DOORS.
- GN5. ALL ACCESSORIES RELATED TO ITEMS TO DEMOLISHED (I.E. ANCHOR SUPPORTS, TRIM PIECES, ETC.) SHALL ALSO BE REMOVED.
- GN6. REMOVE ALL NON-SYSTEMS WALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO SCREWS, NAILS, COAT HOOKS, PENCIL SHARPENERS & CLOCKS
- GN7. ALL AREAS LEFT EXPOSED AS A RESULT OF DEMOLITION ARE TO BE PATCHED AND REPAIRED TO RESULT IN A FINISH SMOOTH SURFACE PROPERLY PREPARED FOR INSTALLATION OF NEW FINISHES.
- GN8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THIS PLAN AND COORDINATE NEW WORK ACCORDINGLY.
- GN9. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND PERIPHERAL DEMOLITION REQUIRED TO COMPLETE THE WORK.
- GN10. FLOOR FINISH TRANSITIONS OCCUR AT MID-POINT OF DOOR FRAME U.N.O ON FINISH PLANS
- GN11. ALL DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CMU.
- GN12. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GN13. ALL WD AND WD BLOCKING, INCLUDING FRT BLKG, SHALL BE PRESSURE-TREATED WHERE BLOCKING IS IN CONTACT W/ MASONRY OR CONCRETE.
- GN14. PROVIDE DRYWALL CORNER BEADS TYP. @ ALL EXPOSED CORNERS.
- GN15. ALL FURNITURE REPRESENTED BY A DASHED LINE IS OWNER PROVIDED.

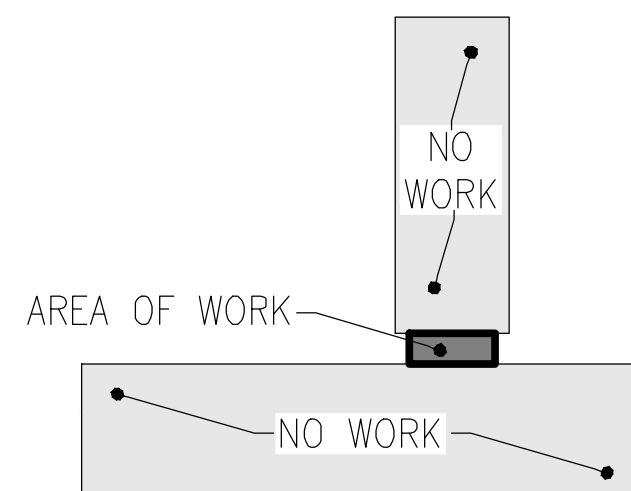
DEMOLITION PLAN KEYNOTES

1. HATCHED AREA INDICATES EXISTING VCT FLOORING AND ADHESIVE TO BE REMOVED. PREP EXISTING SLAB FOR INSTALLATION OF NEW FLOORING AS REQUIRED, INCLUDING, BUT NOT LIMITED TO REPAIRING, LEVELING, ETC...
2. EXISTING HOLLOW METAL FRAME AND GLAZING TO BE REMOVED COMPLETELY. EXISTING OPENING TO BE REUSED, PROTECT EXISTING FINISHES AS REQ'D.
3. EXISTING LINEAR WALL MOUNTED LIGHT FIXTURE TO BE REMOVED. SEE ELECTRICAL.
4. EXISTING TACK BOARD AND ADHESIVE TO BE REMOVED.
5. EXISTING DOOR HARDWARE TO BE REMOVED. COORDINATE WITH NEW EXIT ONLY HARDWARE TO BE INSTALLED
6. EXISTING RUBBER BASE AND ADHESIVE TO BE REMOVED.
7. EXISTING CMU WALL TO BE REMOVED. REMOVE CMU TO A MIN OF 2" BELOW TOP OF EXISTING SLAB AND INFILL WITH CONCRETE AS REQUIRED TO RECEIVE NEW FLOOR FINISH.

NEW WORK PLAN KEYNOTES

1. NEW VCT FLOORING OVER EXISTING SLAB. COORDINATE COLOR AND PATTERN WITH OWNER. PROVIDE NEW VINYL TRANSITION STRIPS UNDER CENTER OF DOORS ADJACENT TO THIS AREA.
2. NEW RUBBER BASE TO MATCH EXISTING
3. NEW 4'-0" X 4'-0" TACKBOARD WITH ALUMINUM TRIM. MOUNTED 4'-6" ± A.F.F.
4. NEW HOLLOW METAL FRAME TO BE PAINTED. COORDINATE COLOR WITH OWNER
5. 6" METAL STUD FRAMING WITH 5/8" GYP. BD. EA. SIDE. INSTALL TIGHT TO EXISTING CEILING. COORDINATE PAINT COLOR WITH OWNER. SEE WALL TYPE G6
6. NEW SUSPENDED LIGHT FIXTURE - SEE ELECTRICAL
7. FILL ALL HOLES ALONG ABANDONED LIGHT FIXTURE LOCATION WITH MATERIAL MATCHING EXISTING BRICK COLOR. PROVIDE BLANK COVER(S) OVER ABANDONED LIGHT FIXTURE JUNCTION BOX(ES). COORDINATE COLOR WITH OWNER.
8. PROVIDE NEW EXIT ONLY HARDWARE AT EXISTING DOORS.
9. BRAKE METAL TRIM OVER NEW GYP. BD. WALL, AT INTERSECTION WITH EXISTING HOLLOW METAL FRAME AND WALL ABOVE. SEE 4/A1.1

BUILDING KEY PLAN (N.T.S.)



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DEMOLITION PLAN, NEW WORK PLAN &
INTERIOR ELEVATIONS

NEW HIGHLAND ELEMENTARY SCHOOL
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JOB NAME:

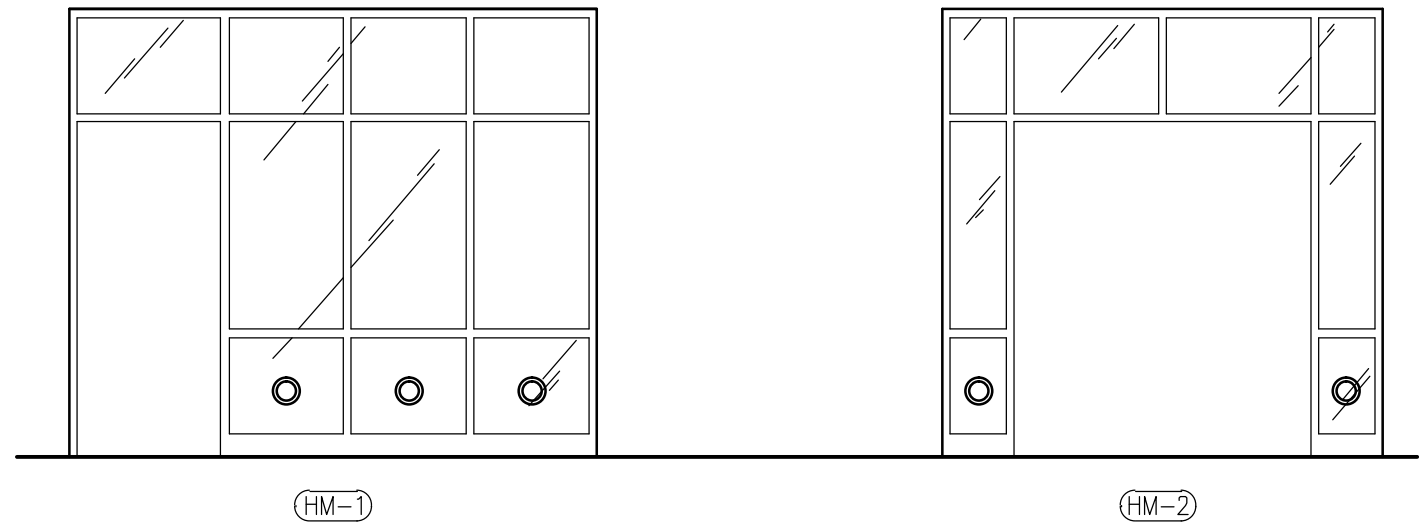
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PRODUCED BY: MWS

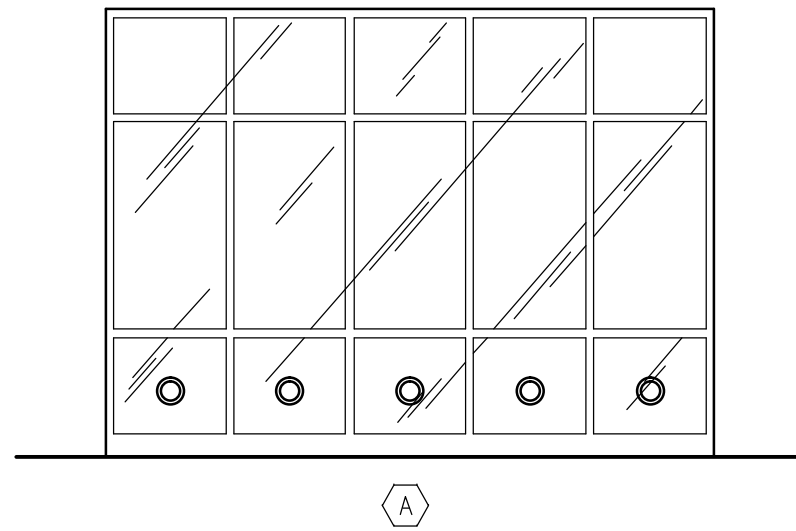
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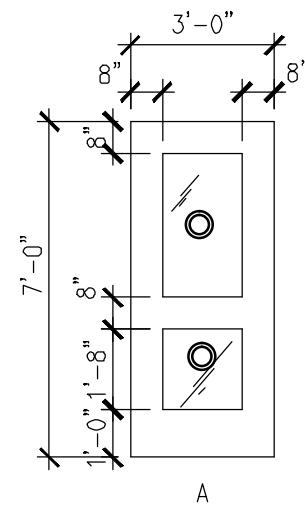
A1.0



HOLLOW METAL DOOR FRAMES
1/4"=1'-0"



HOLLOW METAL WIDNOW FRAME
1/4"=1'-0"

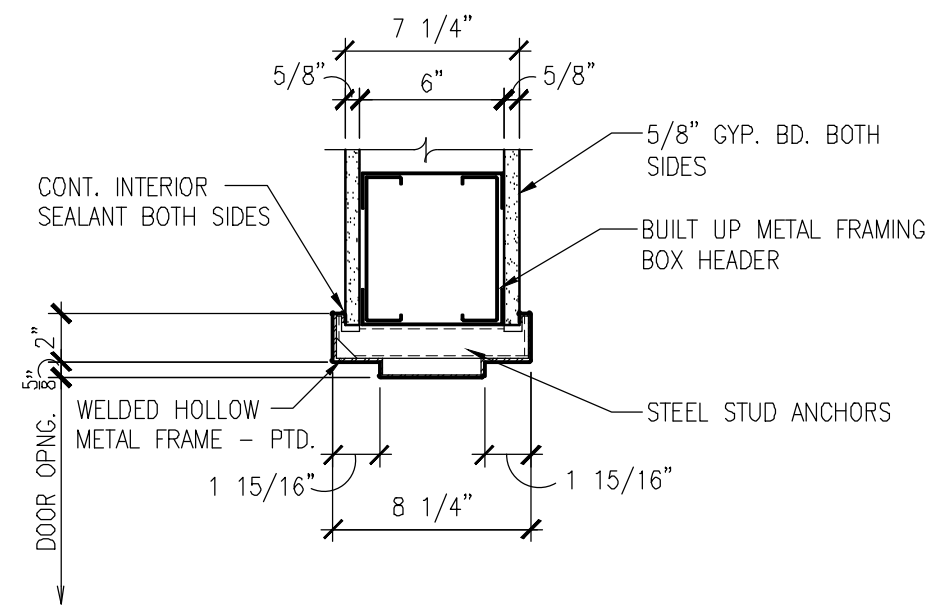


DOOR TYPES
1/4"=1'-0"

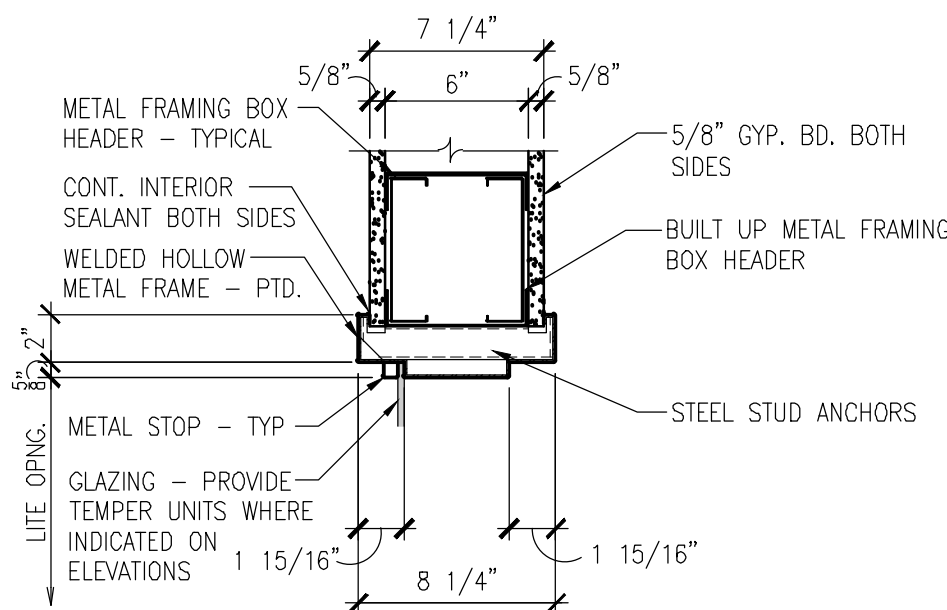
| DOOR AND FRAME SCHEDULE | | | | | | | | | | | | |
|-------------------------|----------|-------------|-------|-------|---------------|--------|-------|-------|-------------|-------------|-------------------|---------|
| NO. | DOOR | | | | | | FRAME | | | | LOCATION | REMARKS |
| | NO. LVS. | SIZE | MATL. | TYPE | GLAZING | RATING | MATL. | TYPE | HEAD DETAIL | JAMB DETAIL | | |
| 100 | 2 | EXISTING | ??? | EXIST | EXIST | — | EXIST | EXIST | EXIST | EXIST | LOBBY 100 | 1 |
| 100A | 2 | EXISTING | ??? | EXIST | EXIST | — | EXIST | EXIST | EXIST | EXIST | VESTIBULE 100A | |
| 100B | 2 | 3'-0"x7'-0" | WD | A | 1/4" TEMPERED | — | HM | HM-2 | 1/A1.1 | 5/A1.1 | VESTIBULE 100A | 2 |
| 103 | 1 | 3'-0"x7'-0" | WD | A | 1/4" TEMPERED | — | HM | HM-1 | 1/A1.1 | 5/A1.1 | ADMIN. OFFICE 103 | |

REMARKS
1. PROVIDE EXIT HARDWARE ONLY, AT PUSH SIDE OF EXISTING DOOR
2. PROVIDE EXIT HARDWARE ONLY, AT PUSH SIDE OF DOOR

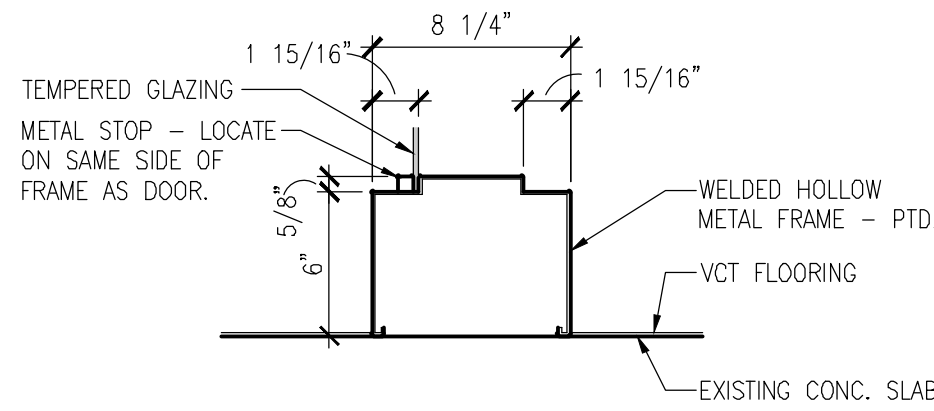
GENERAL DOOR SCHEDULE NOTES:
DN1 REFER TO THIS SHEET FOR TYPICAL THRESHOLD CONDITIONS.
DN2 ALL HOLLOW METAL FRAMES TO BE PAINTED. COORDINATE COLOR WITH OWNER



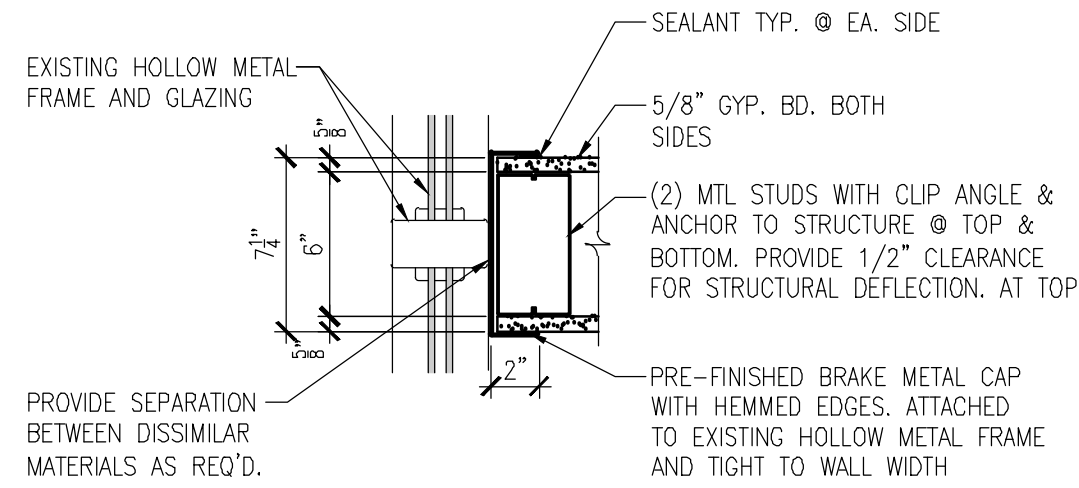
1 INTERIOR HM DOOR HEAD
1-1/2"=1'-0"



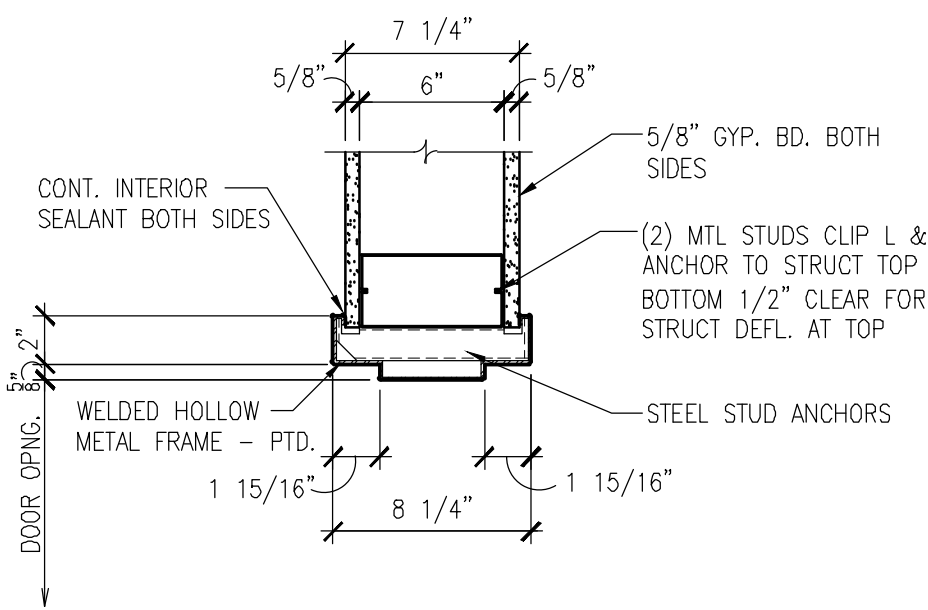
2 INTERIOR HM LITE HEAD
1-1/2"=1'-0"



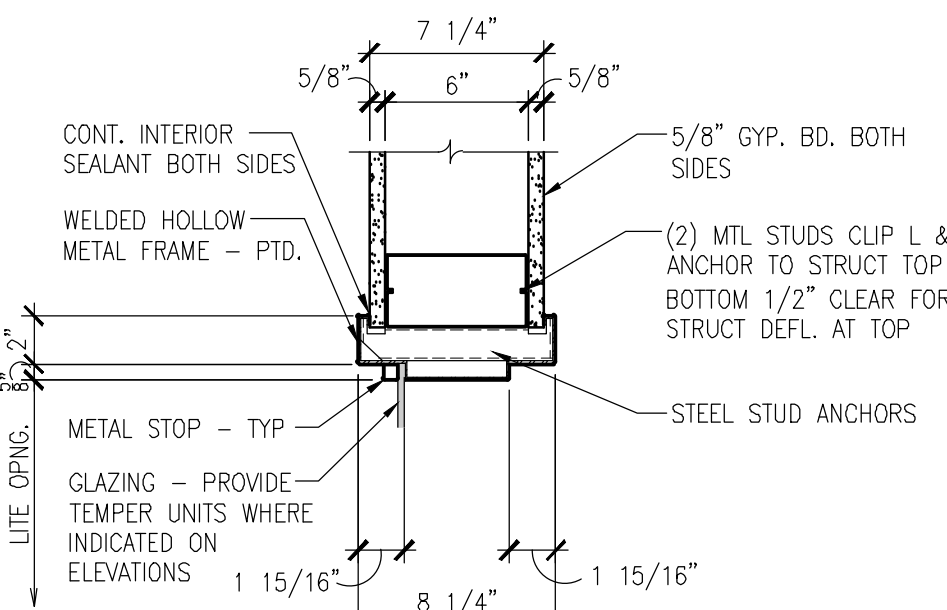
3 INTERIOR HM LITE BASE
1-1/2"=1'-0"



4 WALL TO HOLLOW METAL FRAME DETAIL
1-1/2"=1'-0"



5 INTERIOR HM DOOR JAMB
1-1/2"=1'-0"



6 INTERIOR HM LITE JAMB
1-1/2"=1'-0"

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DOOR / FRAME TYPES, DOOR DETAILS
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A1.1