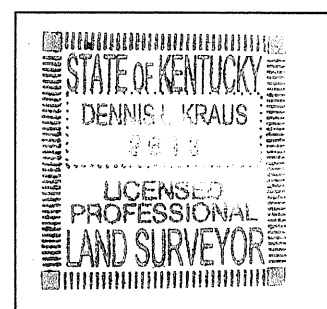
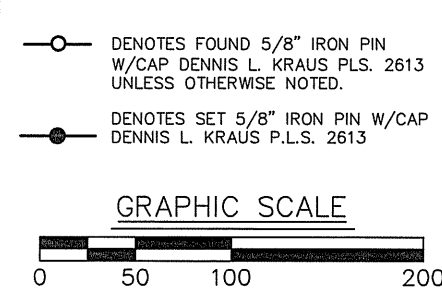


- NOTES:**
- 1) THIS PLAT IS SUBJECT TO EASEMENTS AND RESTRICTION OF RECORD.
  - 2) THIS PLAT IS SUBJECT TO BINDING ELEMENTS AND CONDITION OF APPROVAL IN DOCKET NO. 9-71-99 & 10-16-01 ON FILE IN THE OFFICE OF THE LOUISVILLE METRO PLANNING COMMISSION.
  - 3) BEARING DATUM USED FOR THIS PLAT IS BASED ON KENTUCKY STATE PLANE COORDINATE, NORTH ZONE. S 01°51'13" W
  - 4) THIS PROPERTY IS NOT LOCATED IN A 100-YEAR FLOOD HAZARD AREA AS DETERMINED FROM REVIEW OF F.I.R.M. FLOOD MAP NO. 21111C0008E & 21111C0009E DATED DECEMBER 5, 2006.
  - 5) NO FURTHER SUBDIVISIONS INTO A GREATER NUMBER OF LOTS THAN ALREADY APPROVED PER DOCKET 10-16-01 AND 9-71-99 WITHOUT REVIEW AND APPROVAL FROM THE PLANNING COMMISSION.
  - 6) PLANNED VILLAGE DEVELOPMENT (PVD) AND SPECIFIED SETBACKS ARE TO BE IN ACCORDANCE WITH THE APPROVED FINAL PLAN CONTAINED IN DOCKET NOS. 9-71-99 AND 10-16-01 ON FILE IN THE OFFICE OF THE LOUISVILLE METRO PLANNING COMMISSION.
  - 7) THIS IS AN URBAN CLASS SURVEY AND MEETS OR EXCEEDS THE MINIMUM STANDARDS AS DEFINED IN 201 KAR 18.15. THE UNADJUSTED CLOSURE WAS 0.14 FEET AND PRECISION RATIO WAS 1:12,336. THIS SURVEY WAS ADJUSTED BY THE COMPASS METHOD. FIELD WORK FOR THIS SURVEY WAS COMPLETED ON SEPTEMBER 9, 2014.
  - 8) ACCESS TO BROWNSBORO ROAD AS DESIGNATED BY KENTUCKY TRANSPORTATION CABINET AND LOUISVILLE METRO PUBLIC WORKS.
  - 9) REVISED TRACT 15 SHALL HAVE ONLY ONE ACCESS POINT ONTO BROWNSBORO ROAD ACROSS AT WORTHINGTON LANE.
  - 10) THIS SITE LIES WITHIN THE KARST TERRAIN AREA. ANY SUBSEQUENT DEVELOPMENT ON SITE IS SUBJECT TO CHAPTER 4 SECTION 9 OF THE LAND DEVELOPMENT CODE.
  - 11) NEW WALL SHALL BE 2 HOUR CMU CONSTRUCTION MINIMUM (UL DESIGN U901).



**LAND SURVEYOR'S CERTIFICATE**

I hereby certify that the survey for this plat was made under my supervision and that the angular and linear measurements shown thereon are correct to the best of my knowledge and belief. This survey and plat meets or exceeds the minimum standards of governing authorities.

Dennis L. Kraus 11/4/14  
Land Surveyor License No. 2613 Date

**SABAK, WILSON & LINGO, INC.**  
Engineers, Landscape Architects & Planners  
The Henry Clay, 608 S. Third Street  
Louisville, Kentucky 40202

**CERTIFICATE OF APPROVAL**  
Approved this 7<sup>th</sup> day of Nov., 2014  
Invalid if not recorded before this date: 11/7/15  
By: [Signature]  
Louisville Metro  
Planning Commission

Approval subject to attached certificates.  
Special requirement(s): NA  
Docket No. 4MINORPLAT103

**MINOR SUBDIVISION PLAT**  
ZONING: PVD  
FORM DISTRICT: NO FORM DISTRICT IN EFFECT  
PURPOSE: TO SHIFT LINES BETWEEN TRACTS 14 & 15.  
OWNER: THE YOUNG MEN'S CHRISTIAN ASSOCIATION OF GREATER LOUISVILLE  
545 S. 2ND STREET  
LOUISVILLE, KENTUCKY 40202  
D.B. 9804, PG. 289  
TAX BLOCK 3793, TAX LOTS 18 & 19

LOCATION: 11000 Brownsboro Road  
Prospect, Kentucky 40059  
DATE: 10/31/14 SCALE: 1"=100' JOB NO.: 2907MP

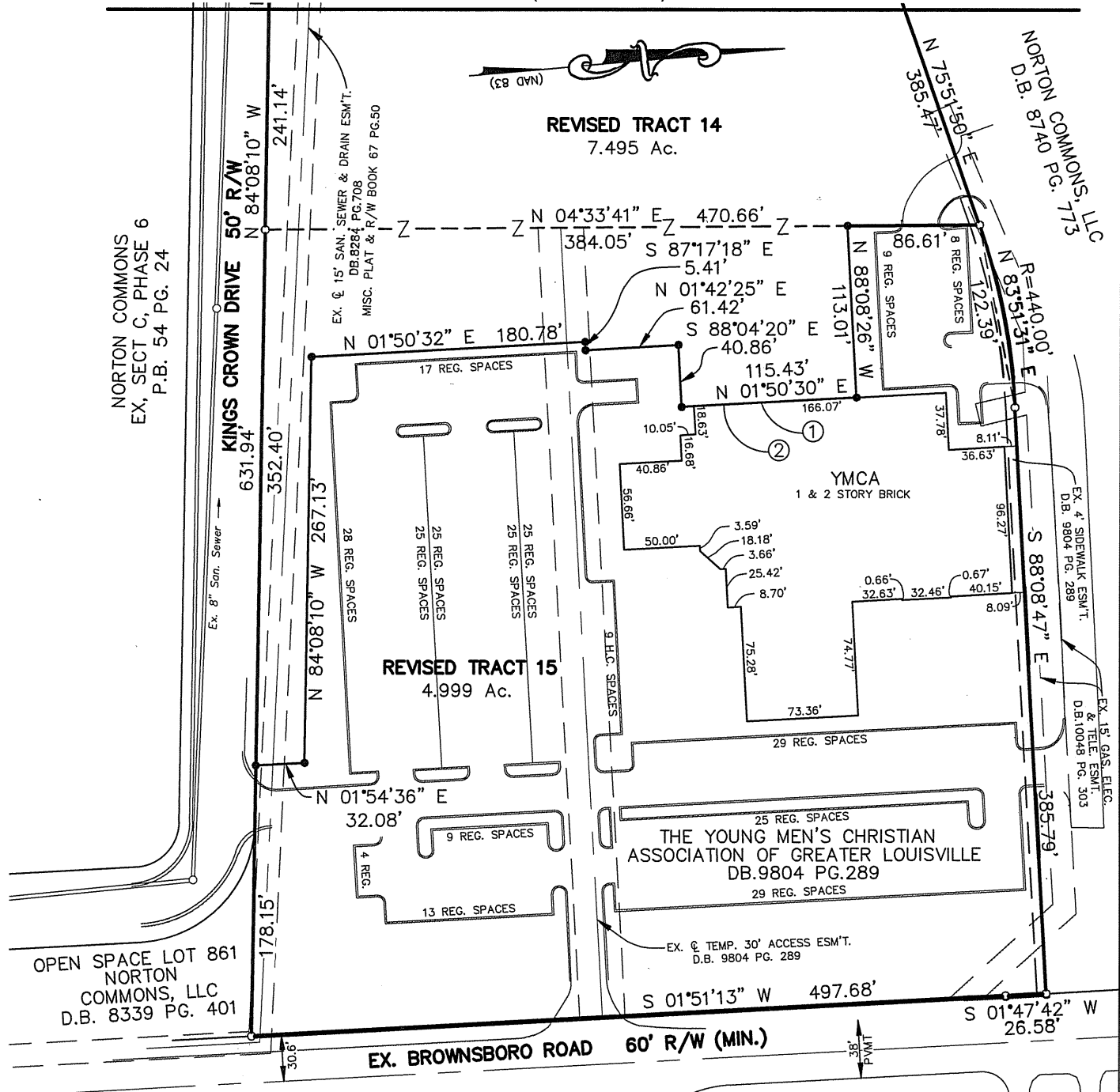
METROPOLITAN SEWER DISTRICT REVIEW

This plat has been reviewed for storm drainage and sanitary sewer related considerations and Metropolitan Sewer District has no objection to this plat. However, this review does not constitute any form of construction approval for work on this site

<u><i>P. B...</i></u>	<u>11/5/14</u>
Storm Drainage Review	Date
<u>MSD S/S Avail.</u>	
Sanitary Drainage Review	Date

TRANSPORTATION APPROVAL	
MINOR PLAT	
BY: <u><i>Julie Payton</i></u>	
DATE: <u>11/5/14</u>	

INSPECTIONS, PERMITS & LICENSES APPROVAL	
MINOR PLAT	
BY: <u><i>[Signature]</i></u>	
DATE: <u>11.5.14</u>	



OPEN SPACE LOT 861  
NORTON  
COMMONS, LLC  
D.B. 8339 PG. 401

EX. BROWNSBORO ROAD 60' R/W (MIN.)

WORTHINGTON  
LANE

- ① EXISTING FACE OF BRICK BUILDING IS ON PROPOSED PROPERTY LINE ALONG THIS LINE ONLY.
- ② NEW WALL SHALL BE 2 HOUR CMU CONSTRUCTION MINIMUM (UL DESIGN U901).

#### CERTIFICATE OF APPROVAL

Approved this 7<sup>th</sup> day of Nov., 2014

Invalid if not recorded before this date: 11/7/15

By: [Signature]  
Louisville Metro  
Planning Commission

Approval subject to attached certificates.

Special requirement(s): NA

Docket No. KMINORPLAT1103

#### MINOR SUBDIVISION PLAT

ZONING: PVD

FORM DISTRICT: NO FORM DISTRICT IN EFFECT

PURPOSE: TO SHIFT LINES BETWEEN  
TRACTS 14 & 15.

OWNER: THE YOUNG MEN'S CHRISTIAN ASSOCIATION  
OF GREATER LOUISVILLE  
545 S. 2ND STREET  
LOUISVILLE, KENTUCKY 40202  
D.B. 9804, PG. 289  
TAX BLOCK 3793, TAX LOTS 18 & 19

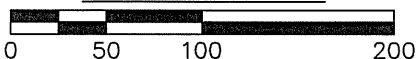
LOCATION: 11000 Brownsboro Road  
Prospect, Kentucky 40059

DATE: 10/31/14 SCALE: 1"=100' JOB NO.: 2907MP

○ DENOTES FOUND 5/8" IRON PIN  
W/CAP DENNIS L. KRAUS PLS. 2613  
UNLESS OTHERWISE NOTED.

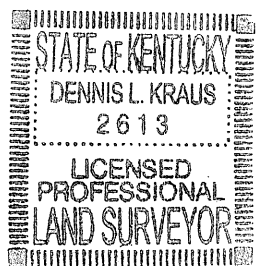
● DENOTES SET 5/8" IRON PIN W/CAP  
DENNIS L. KRAUS PLS. 2613

#### GRAPHIC SCALE



#### LAND SURVEYOR'S CERTIFICATE

I hereby certify that the survey for this plat was made under my supervision and that the angular and linear measurements shown thereon are correct to the best of my knowledge and belief. This survey and plat meets or exceeds the minimum standards of governing authorities.



[Signature]  
Land Surveyor License No. 2613

11/4/14  
Date

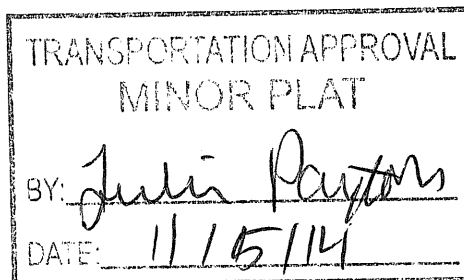
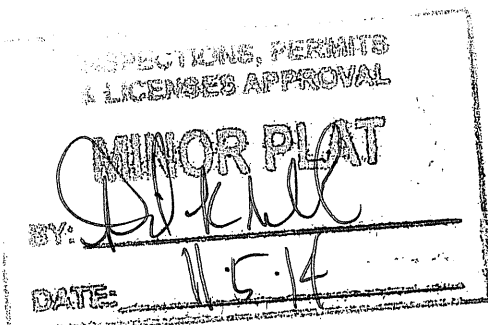
SABAK, WILSON & LINGO, INC.

Engineers, Landscape Architects & Planners  
The Henry Clay, 608 S. Third Street  
Louisville, Kentucky 40202

**METROPOLITAN SEWER DISTRICT REVIEW**

This plat has been reviewed for storm drainage and sanitary sewer related considerations and Metropolitan Sewer District has no objection to this plat. However, this review does not constitute any form of construction approval for work on this site

<u>P. Barry</u>	<u>11/5/14</u>
Storm Drainage Review	Date
<u>MSD S/Savari</u>	<u>                    </u>
Sanitary Drainage Review	Date



**ZONING CERTIFICATE**

I hereby certify all of the lots of this minor subdivision and any existing buildings and improvements thereon and/or any buildings and improvements included in a building permit either applied for or approved thereon, are in compliance with all of the provisions of the Zoning District Regulations. Any such lots or improvements not in compliance with the Zoning District Regulations have been granted all necessary variances by the Board of Zoning Adjustment as described in Docket       N/A       or documentation of the existence of the buildings or improvements prior to the adoption of the Zoning District Regulations has been accepted by the Planning Commission staff as valid evidence of their non-conforming status.

R. Stephen Tarver, PRESIDENT  
OWNER: The Young Men's Christian  
Association of Greater Louisville

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

This is to certify that the undersigned is the owner of the land shown on this plat and hereby acknowledges the same to be the plat of The Young Men's Christian Association of Greater Louisville, Tax Block 3793, Lots 18 & 19, Deed Book 9804, Pg. 289 and does hereby dedicate to public use       N/A       shown thereon.

R. Stephen Tarver, PRESIDENT  
OWNER: The Young Men's Christian  
Association of Greater Louisville

545 South Second Street

Louisville, KY 402202  
ADDRESS

PRESIDENT / CEO  
TITLE

**CERTIFICATE OF ACKNOWLEDGEMENT**

State of Kentucky                    )  
  )SS  
County of Jefferson            )

I, Lisa Dunlap, a notary public in and for the County aforesaid, do certify that the foregoing plat of The Young Men's Christian Association of Greater Louisville, Tax Block 3793, Lots 18 & 19, Deed Book 9804, Pg. 289 was this day presented to me by, R. Stephen Tarver known to me, who executed the Certificate in my presence and acknowledged it to be his free act and deed.

Witness my hand and seal this 9<sup>th</sup> day of October, 2014.  
My commission expires on the 27<sup>th</sup> day of January, 2015.

Lisa Dunlap  
Notary Public

**MINOR SUBDIVISION PLAT**

OWNER:           The Young Men's Christian Association  
                          of Greater Louisville  
                          545 South Second Street  
                          Louisville, KY 40202

Sabak, Wilson & Lingo, Inc.  
Engineers, Landscape Architects & Planners  
608 S. Third Street  
Louisville, Kentucky 40202

TAX BLOCK: 3793 TAX LOT: 18 & 19  
DEED BOOK: 9804   PAGE: 289

LOCATION:   11000 Brownsboro Road  
                  LOUISVILLE, KENTUCKY

DATE:   09/23/2014   JOB NO.: 2907MP