

# AIA<sup>®</sup> Document G731<sup>™</sup> – 2019

## Change Order, Construction Manager as Adviser Edition

**PROJECT: (name and address)**

Christian County High School

5185 Fort Campbell Blvd Hopkinsville,  
KY 42240**OWNER: (name and address)**Christian County Board of Education  
200 Glass Avenue  
Hopkinsville, KY 42240**CONTRACTOR: (name and address)**Atlas Enterprises  
5101 Commerce Crossing Drive  
Louisville, KY 40229**CONTRACT INFORMATION:**Contract For: BP 080-01 - Steel  
Drs, Frames, Wood Drs, Hdwe  
Date: September 08, 2023**ARCHITECT: (name and address)**Hafer PSC  
21 Southeast Third St, Ste 800  
Evansville, IN 47708**CHANGE ORDER INFORMATION:**

Change Order Number: 008

Date: February 9, 2024

**CONSTRUCTION MANAGER: (name and address)**Alliance Corporation  
116 E. College Street  
Glasgow, KY 42141**THE CONTRACT IS CHANGED AS FOLLOWS:**

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Door and hardware revisions per PR# 1.

The original Contract Sum was	\$	362,000.00
Net change by previously authorized Change Orders	\$	0.00
The Contract Sum prior to this Change Order was	\$	362,000.00
The Contract Sum will be increased by this Change Order in the amount of	\$	5,621.53
The new Contract Sum including this Change Order will be	\$	367,621.53

The Contract Time will be unchanged by Zero (0) days.

The Contractor's Work shall be substantially complete on

**NOTE:** This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

**NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONSTRUCTION MANAGER, CONTRACTOR, AND OWNER.**

Hafer PSC

**ARCHITECT (Firm name)****SIGNATURE**

Eric Rang, AIA, Senior Associate

**PRINTED NAME AND TITLE****DATE:**

Atlas Enterprises

**CONTRACTOR (Firm name)****SIGNATURE**

Michael Tunnell

**PRINTED NAME AND TITLE****DATE:**

Alliance Corporation

**CONSTRUCTION MANAGER (Firm name)****SIGNATURE**

Kevin Hitchel, Sr. Project Manager

**PRINTED NAME AND TITLE****DATE:**

Christian County Board of Education

**OWNER (Firm name)****SIGNATURE**

Christopher Bentzel, Superintendent

**PRINTED NAME AND TITLE****DATE:**



# PROPOSED CHANGE ORDER

**PROJECT** Christian County High School

**CONTRACTOR/SUPPLIER** Atlas

**BID PACKAGE** 080

DETAIL ITEM	AMOUNT	
LABOR	\$	904.35
MATERIALS	\$	3,983.94
PROFIT & OVERHEAD	\$	733.24
BOND INSURANCE		
<b>COST BREAKDOWN TOTAL</b>	\$	<b>5,621.53</b>

## DESCRIPTION

Door and Hardware Revisions per PR #1.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**PR #** 1 (ATTACH PR)

## CHANGE ORDER INITIATED BY:

  X   ARCHITECT/ENGINEER

       OWNER

       CONTRACTOR

       CM

       CODE OFFICIAL

       OTHER \_\_\_\_\_

PLEASE INCLUDE THIS FORM WITH EVERY  
CHANGE ORDER.

## PROPOSAL REQUEST

**Project:** Christian County High School  
5185 Ft. Campbell Blvd  
Hopkinsville, KY 42240

**PR No.:** 001

**Date:** October 13, 2023

**Owner:** Christian County Public Schools  
222 Glass Ave  
Hopkinsville, KY 42240

**Project Number:** 2106-204

**Contract for:**

**To:** Tim Geegan  
Alliance Corporation  
116 E. College Steet  
Glasgow, KY 42141

**RE:** **State Required Egress Door Modifications, Misc Door Changes and Minor structural clarifications.**

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents described herein.  
THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

### Description:

- 1) At Gymnasium B106, add opening B101.09 as shown on attached plans and details and add electrical items as indicated.
- 2) At Gymnasium B106, add opening B101.10 as shown on attached plans and details. Modify concrete portal to accommodate door and add electrical items as indicated.
- 3) At Entry C100C, delete overhead coiling fire-rated tornado door C100C. Add openings C100C.2 and C100C.3 s shown on attached plans and details. Modify concrete portal to accommodate doors. Construct brick wing walls as shown for magnetic hold opens.
- 4) At Corridor B100C, add opening B100D to frame W51 as shown on attached plans and details.
- 5) Change width of door D106 from 3'-0" to 3'-8".
- 6) Provide removable mullions in lieu of rods at exit devices at all pairs of doors in hardware sets #1, #2, #3, #4, #17, #36 & #37.
- 7) Provide removable mullions in lieu of rods at exit devices at doors A100J.2, C101.5 & C101.6 in hardware set #26.
- 8) At E1 & E3, modify openings E1 & E2 to be a pair of exterior doors as shown on attached plans and elevations and details. Modify frame W7 at these openings only to be W7.1.
- 9) See Details 2/PR-1S1, 1/PR-1S3, 1/PR-1S6, 1/PR-1S7, 1/PR-1S9, 1/PR-1S10 for clarification on footing requirements.

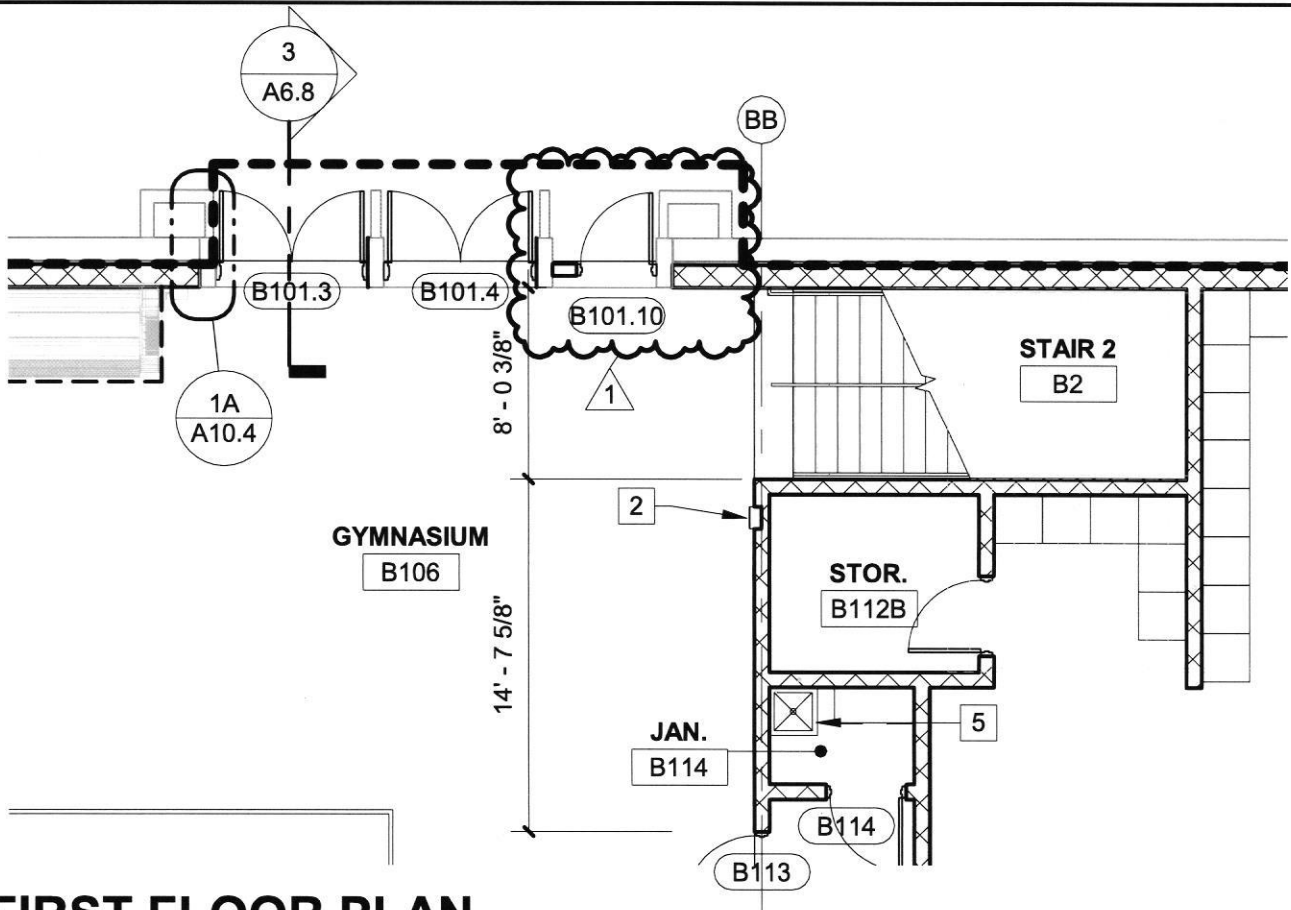
- 10) See 1/PR-1S5 for clarification on CMU wall height adjacent to CLs FF/F5
- 11) See 1/PR-1S8 for Area G lintel clarification.

Attachments: PR-1A1 to 1A9;  
PR-1S1 to 1S16;  
PR-1E1 to 1E15

By: Eric Rang

CC:



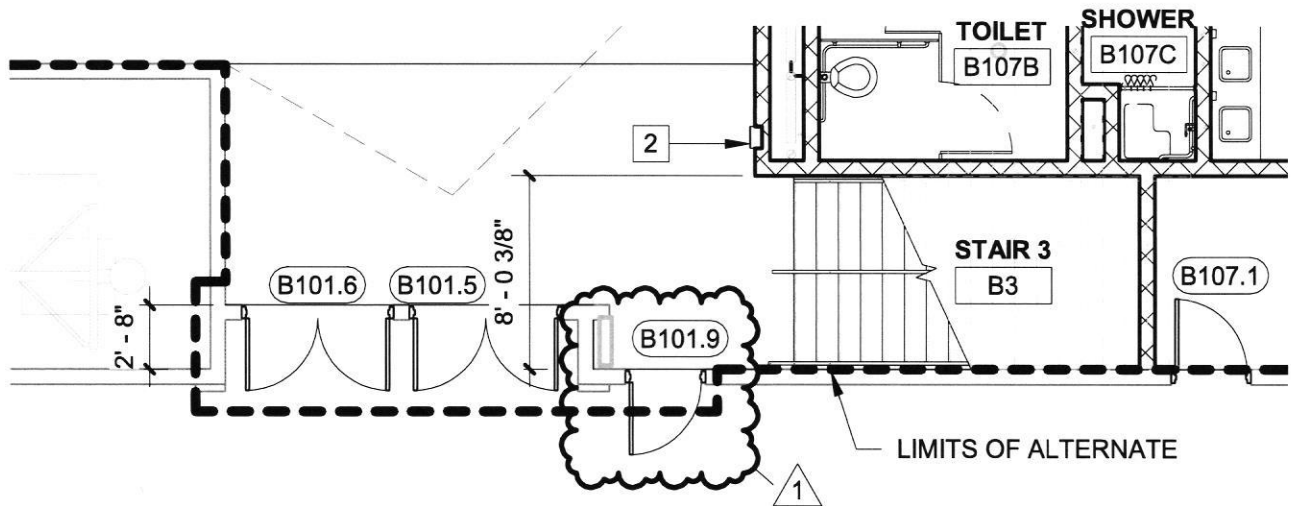


## FIRST FLOOR PLAN

ORIGINAL DETAIL 1 / A1.1B Alt

1

1/8" = 1'-0"



## FIRST FLOOR PLAN

ORIGINAL DETAIL 1 / A1.1B Alt

2

1/8" = 1'-0"

HOPKINSVILLE - CHRISTIAN  
COUNTY ACADEMY

KDE #: BG 22-104

5185 FT. CAMPBELL BLVD  
HOPKINSVILLE, KY 42240

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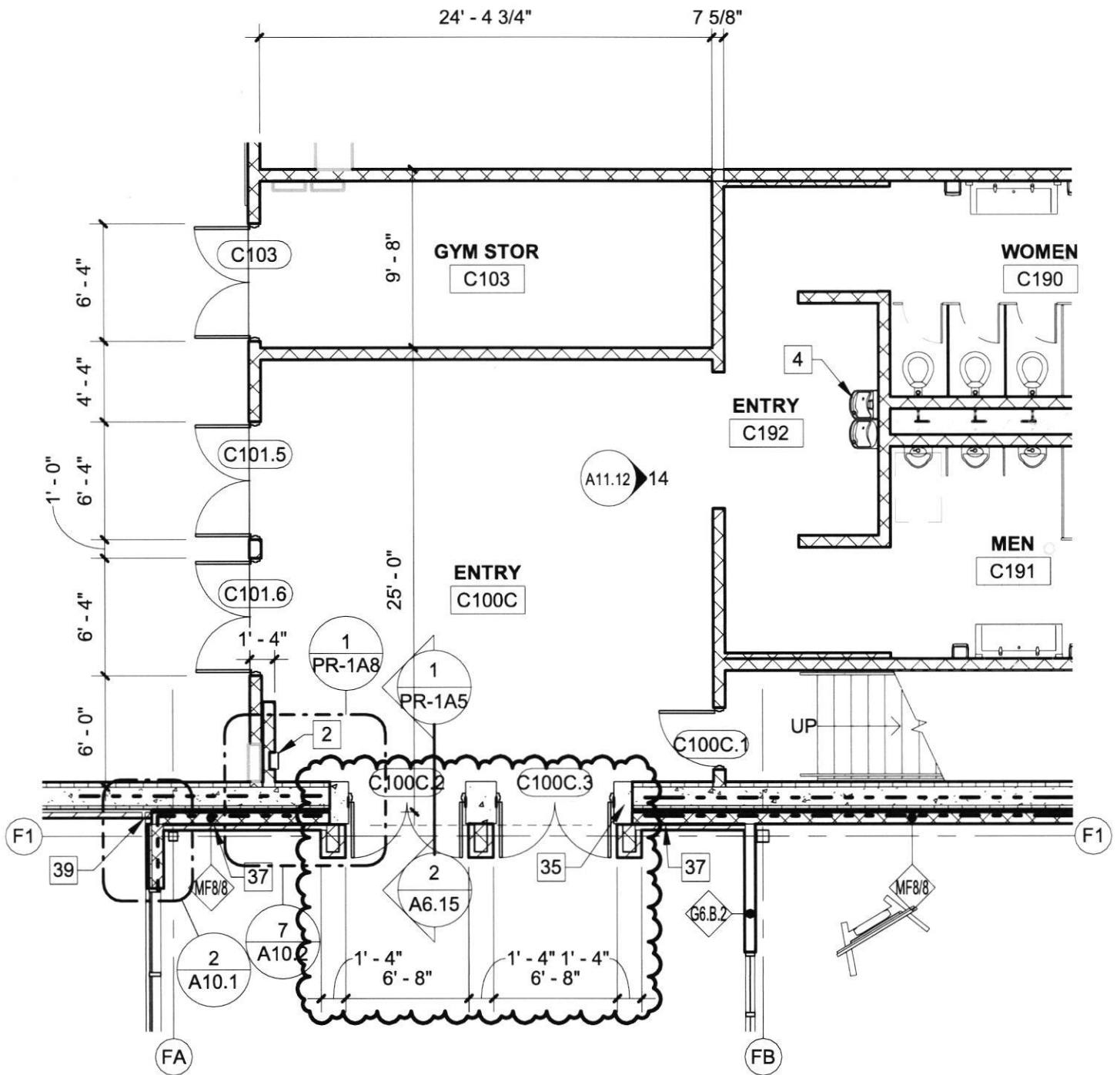
**2106-204**

DATE:

**10/05/2023**

TYPE OF DRAWING NO.

**PR-1A1**



# 1 **FIRST FLOOR PLAN - AREA C**

ORIGINAL DETAIL C / A1.1C

1/8" = 1'-0"

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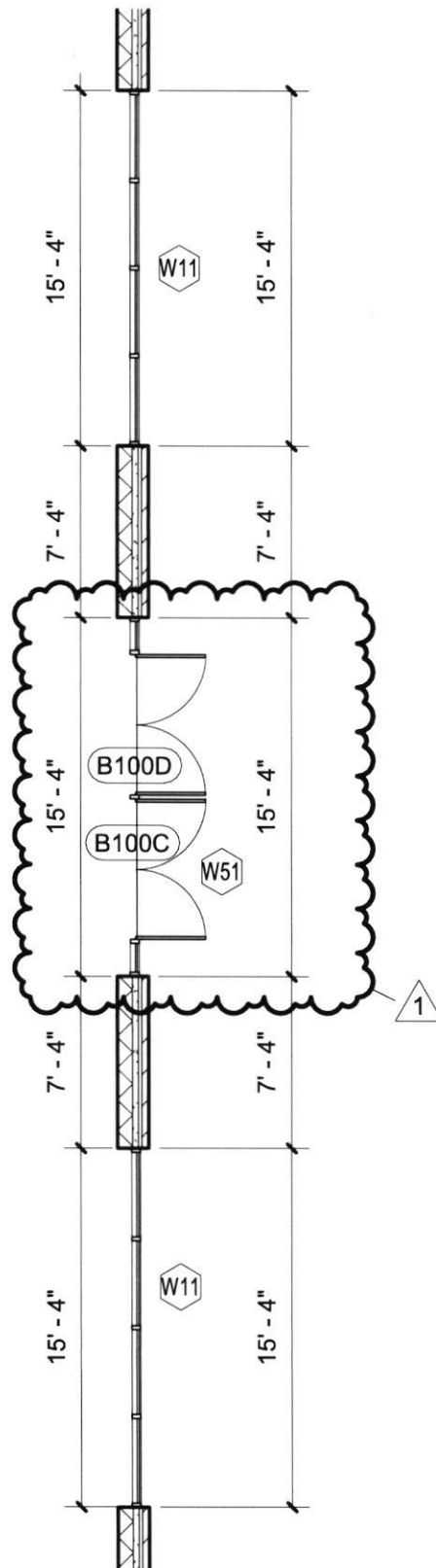
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**PR-1A2**

CORRIDOR  
B100C



4 A4.8

1

# FIRST FLOOR PLAN - AREA E

ORIGINAL DETAIL E / A1.1E

1/8" = 1'-0"

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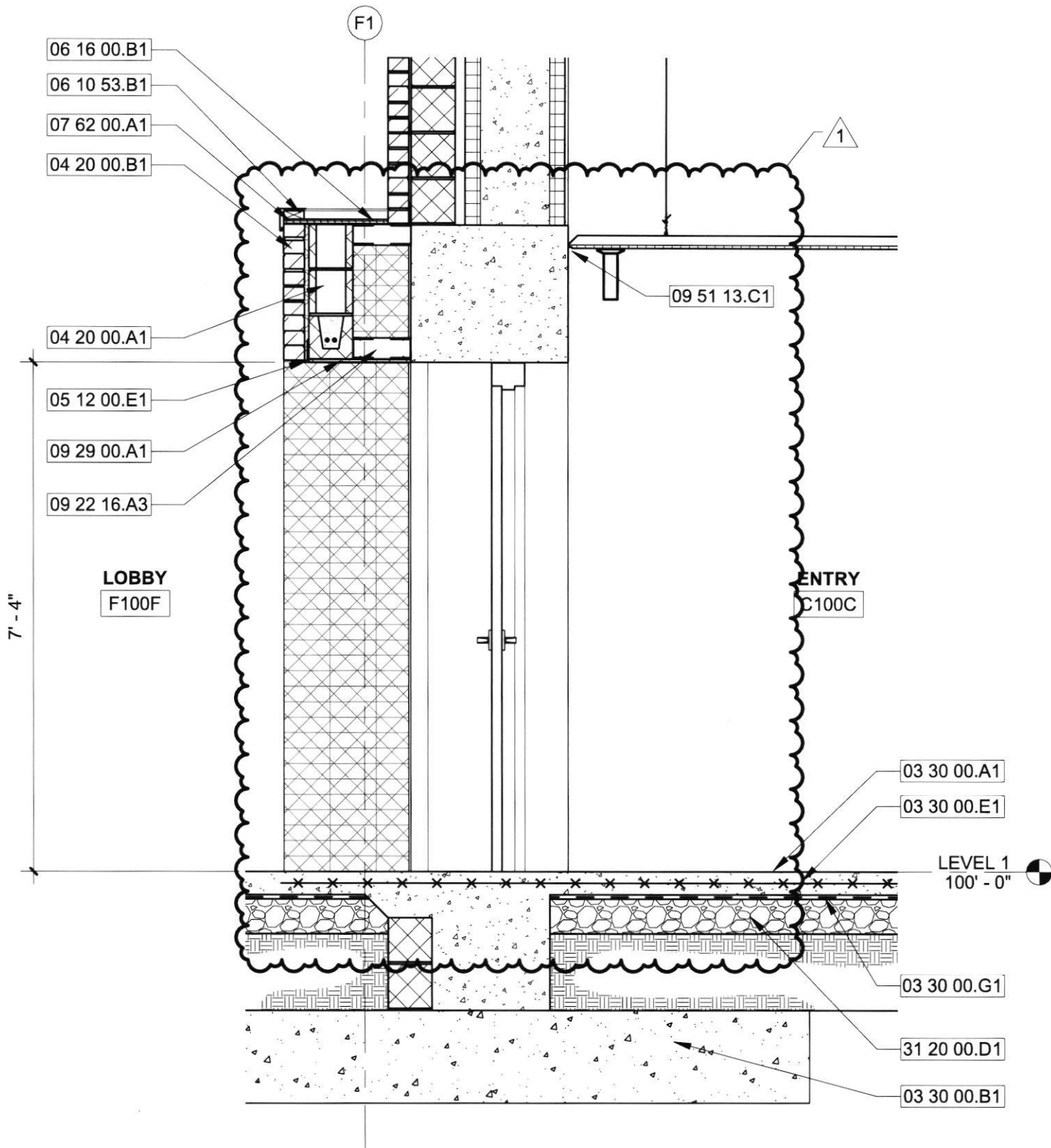
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**PR-1A3**



PR-1A4



1

# WALL SECTION

1/2" = 1'-0"

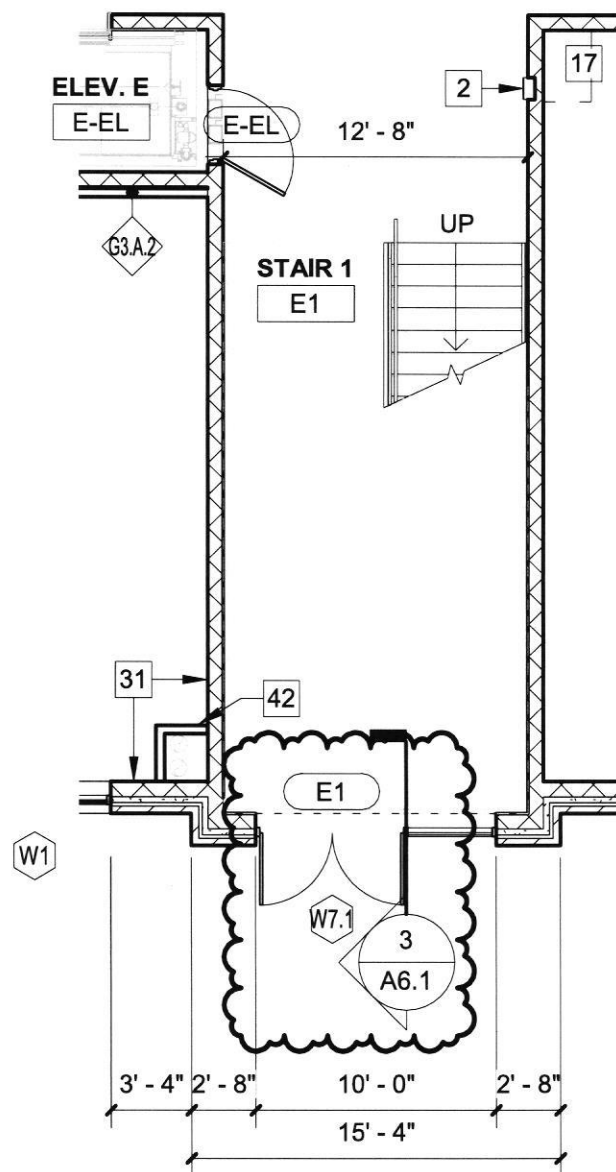
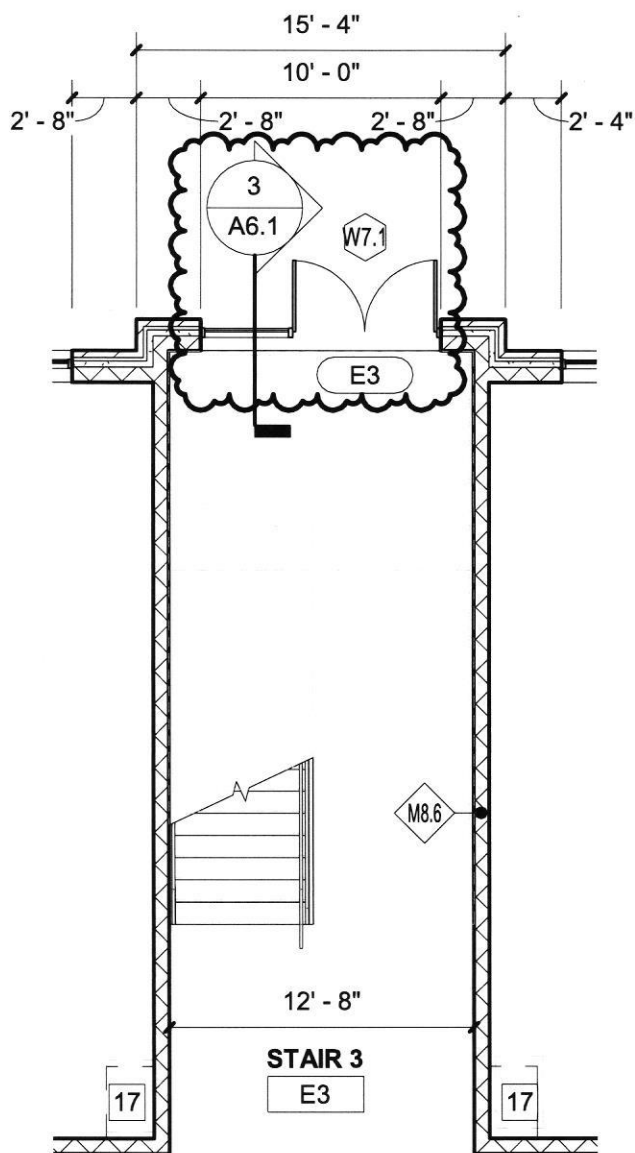
ORIGINAL DETAIL 2 / A6.15

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TYPE OF DRAWING NO. <b>PR-1A5</b>	



1 **FIRST FLOOR PLAN**  
1/8" = 1'-0" ORIGINAL DETAIL E / A1.1E

2 **FIRST FLOOR PLAN**  
1/8" = 1'-0" ORIGINAL DETAIL E / A1.1E

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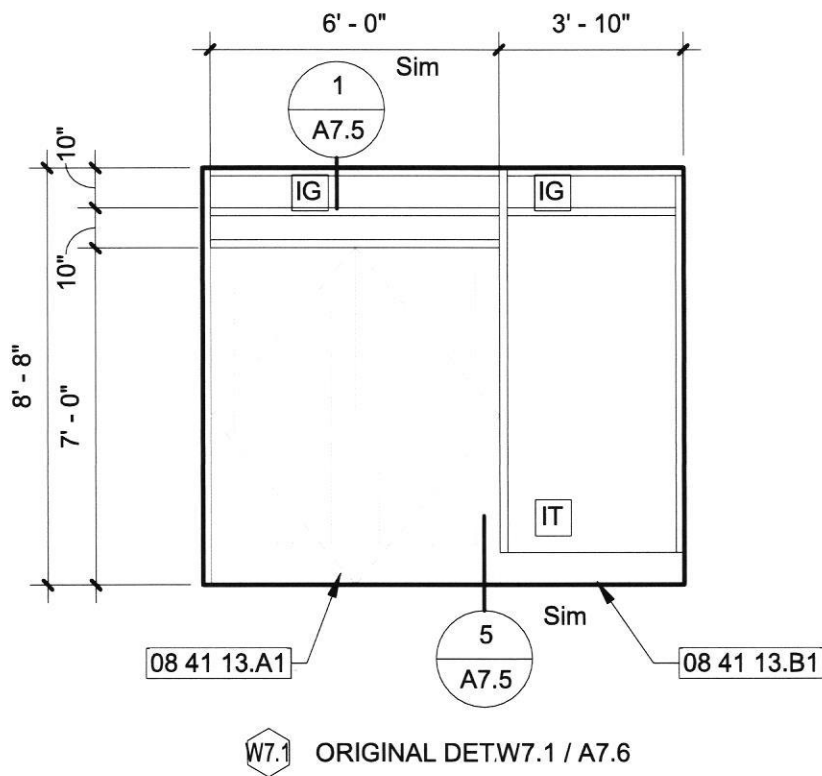
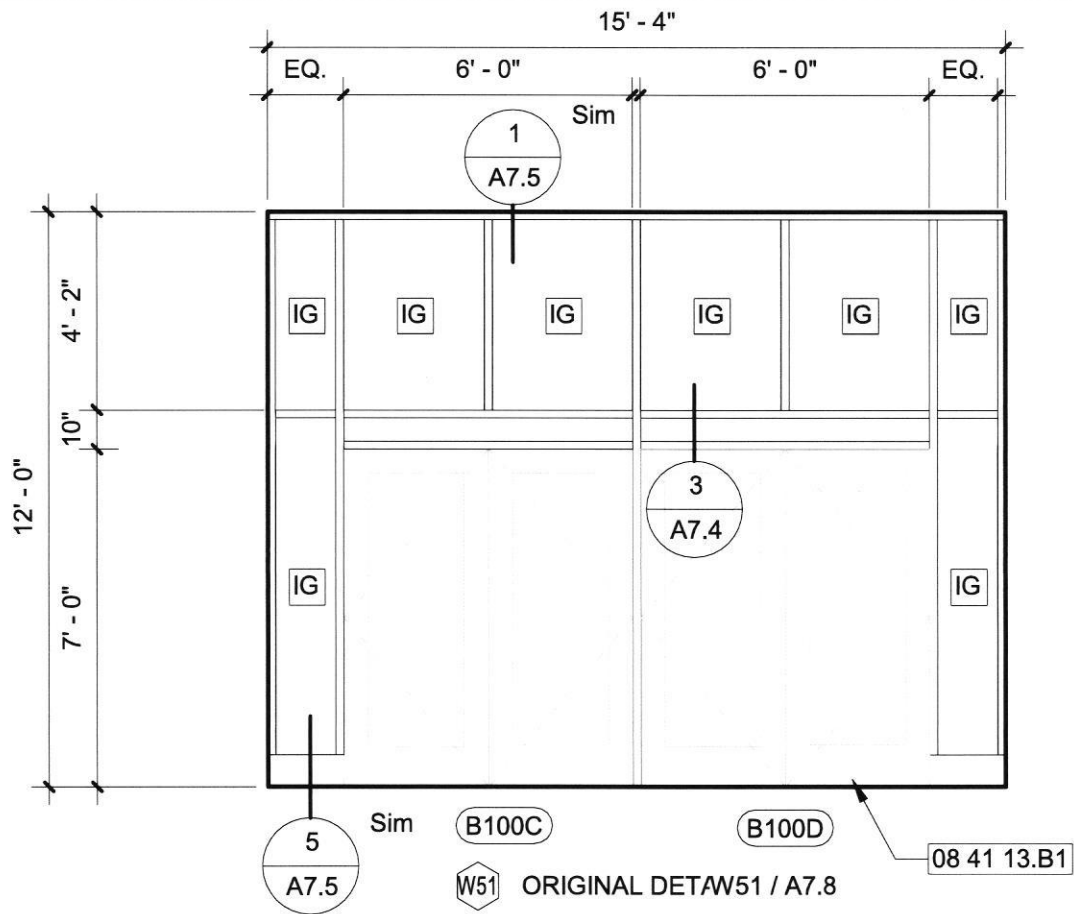
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**PR-1A6**





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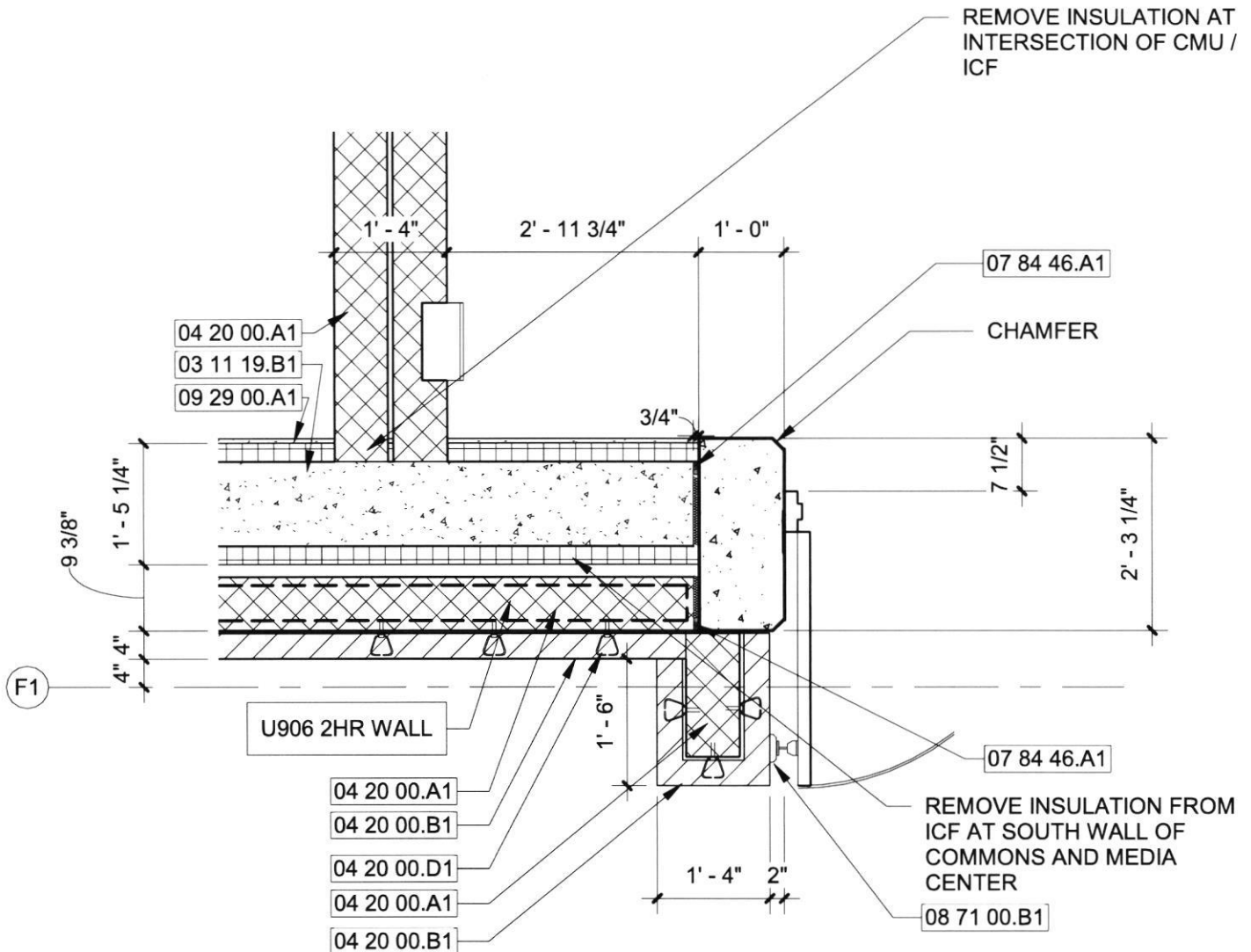
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**PR-1A7**



## PLAN DETAIL

ORIGINAL DETAIL 7 / A10.2

1

1/2" = 1'-0"

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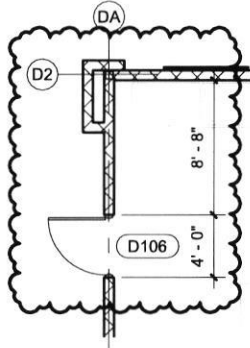
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**PR-1A8**

# DOOR SCHEDULE - PR1

Door Number	Door Data							Frame Data					Hardware Set	Comments	Door Number
	Fire Rating	Type	Material	Width	Height	Thickness	Glass	Type	Material	Head	Jamb	Depth			
B100D	--	AG	AL	PR 3' - 0"	7' - 0"	1 3/4"	1" INSUL.	W51	AL	AL4	AL4	4 1/2"	#4 - EXTERIOR (P, ALUM) EX	PR1	B100D
B101.9	90 MIN.	F	HM	3' - 0"	7' - 0"	1 3/4"	--	F2		HM2	HM2	5 3/4"	#17 - PAIR (90) EX, SEE NOTE	PR1	B101.9
B101.10	90 MIN.	F	HM	3' - 0"	8' - 0"	1 3/4"	--	F2		HM3	HM3	5 3/4"	#17 - PAIR (90) EX, SEE NOTE	PR1	B101.10
C100C.2	90 MIN.	F	HM	PR 3' - 0"	7' - 0"	1 3/4"		F2		HM3	HM3	5 3/4"	#37 - PAIR (ICC, 90)	PR1, ICC500	C100C.2
C100C.3	90 MIN.	F	HM	PR 3' - 0"	7' - 0"	1 3/4"		F2		HM3	HM3	5 3/4"	#37 - PAIR (ICC, 90)	PR1, ICC500	C100C.3
D106	--	F	WD	3' - 8"	7' - 0"	1 3/4"	--	F2	HM	HM2	HM2	5 3/4"	#20 - CLASSROOM (S) 50+	PR1	D106
E1	--	AG	AL	PR 3' - 0"	7' - 0"	1 3/4"	1" INSUL.	W7.1	AL	SEE PLAN	SEE PLAN	4 1/2"	#4 - EXTERIOR (P, ALUM) EX	PR1	E1
E3	--	AG	AL	PR 3' - 0"	7' - 0"	1 3/4"	1" INSUL.	W7.1	AL	SEE PLAN	SEE PLAN	4 1/2"	#4 - EXTERIOR (P, ALUM) EX	PR1	E3

NOTE - DOOR B100.9 - PROVIDE HARDWARE SET SIMILAR TO #17, MODIFIED FOR SINGLE DOOR AND PROVIDE MAGNETIC HOLD OPEN.  
- DOOR B100.10- PROVIDE HARDWARE SET SIMILAR TO #17, MODIFIED FOR SINGLE DOOR. NO MAGNETIC HOLD OPEN, AND CLOSER TO NOT HAVE HOLD OPEN.



**FIRST FLOOR PLAN - AREA D**

1  
1/8" = 1'-0"

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DATE: **10/05/2023**

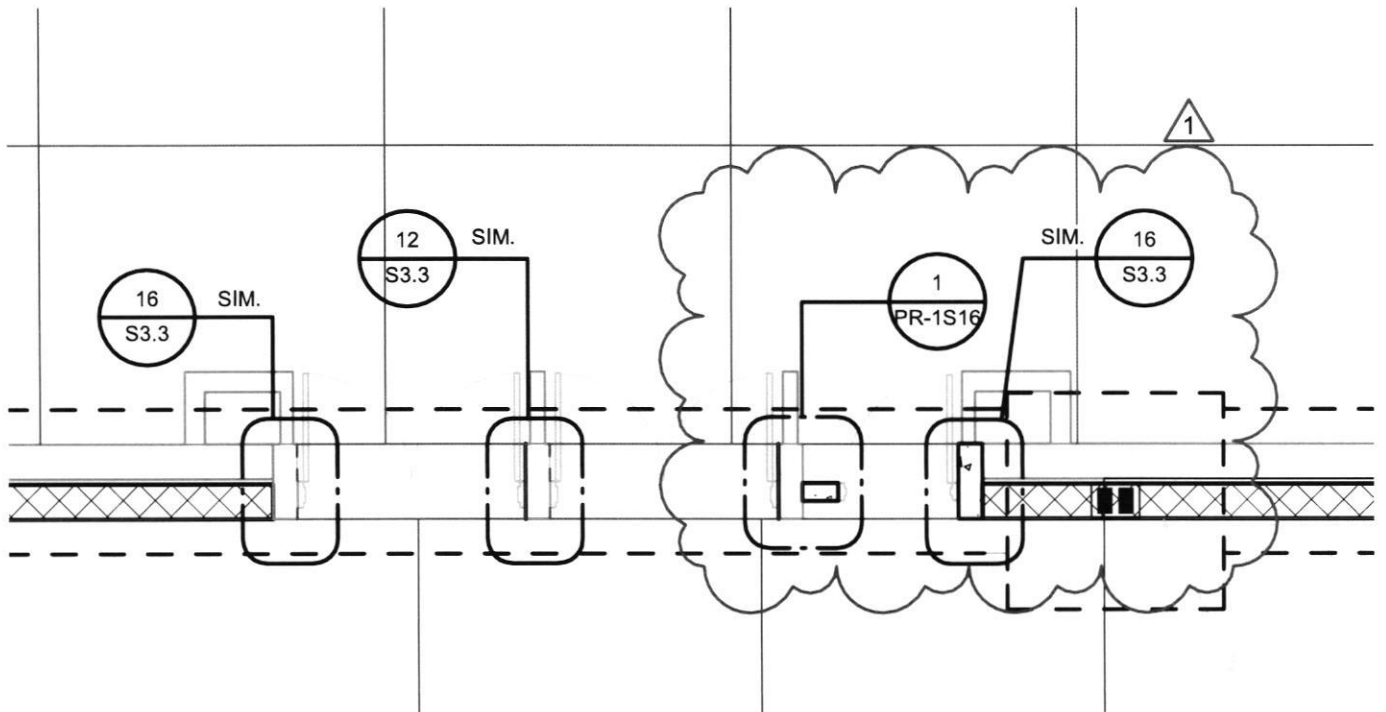
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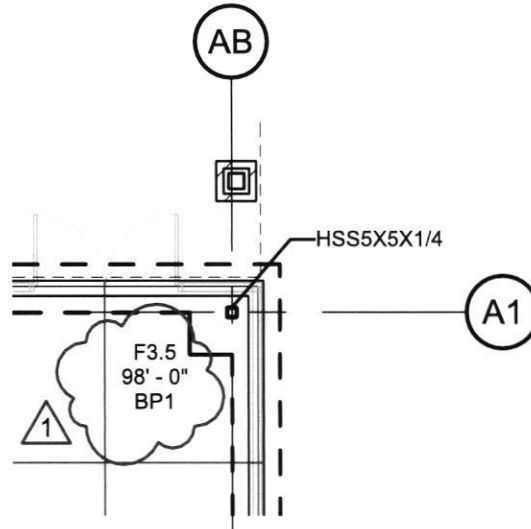
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COUNTY ACADEMY**  
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REFERENCE SHEETS S1.1A, S1.1B, & S1.1B ALT



**1** FOUNDATION PLAN - AREA A  
SCALE: 3/16" = 1'-0"



PLAN NORTH



**2** FOUNDATION PLAN - AREA A  
SCALE: 1/8" = 1'-0"

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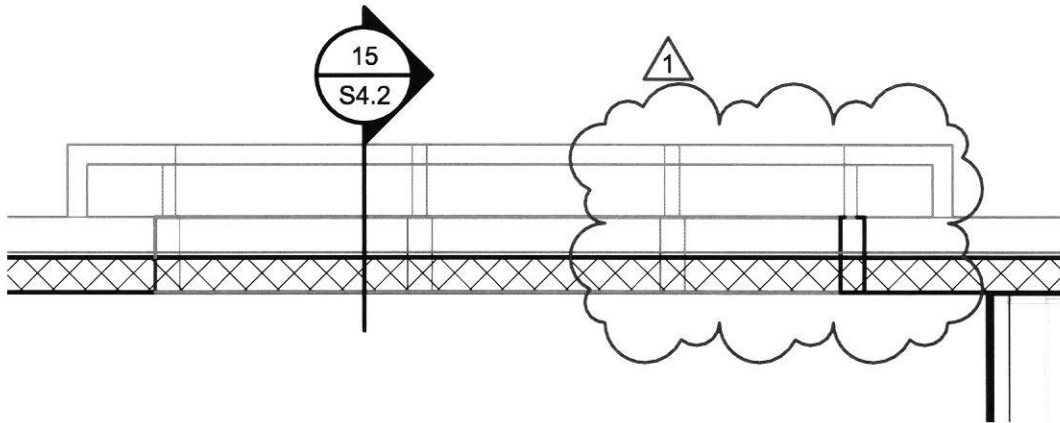
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**PR-1S1**



① LEVEL 2 FRAMING PLAN - AREA A  
SCALE: 3/16" = 1'-0"

PLAN NORTH



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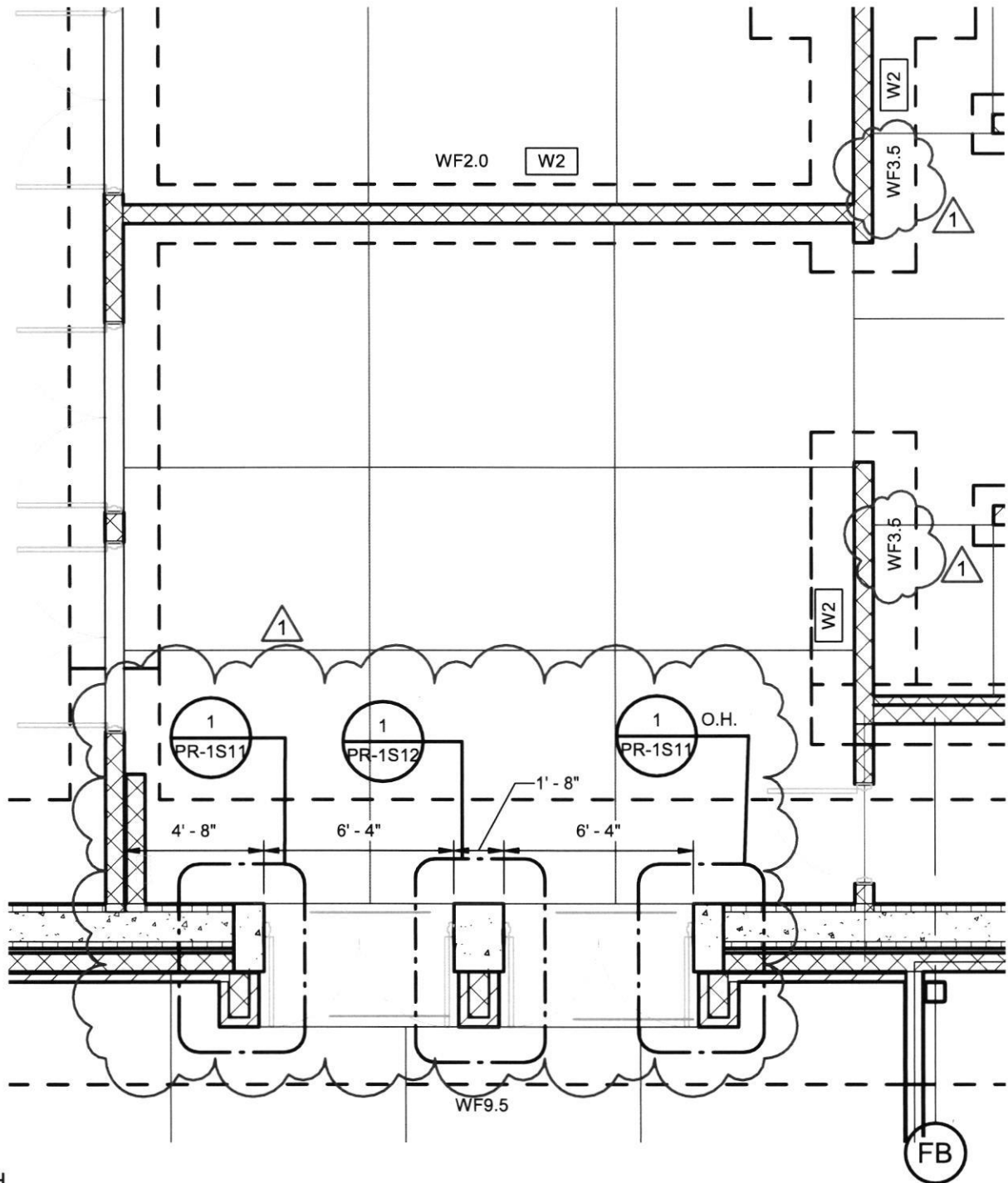
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TYPE OF DRAWING NO.

**PR-1S2**

REFERENCE SHEET S1.1C



PLAN NORTH



1

# FOUNDATION PLAN - AREA C

SCALE: 3/16" = 1'-0"

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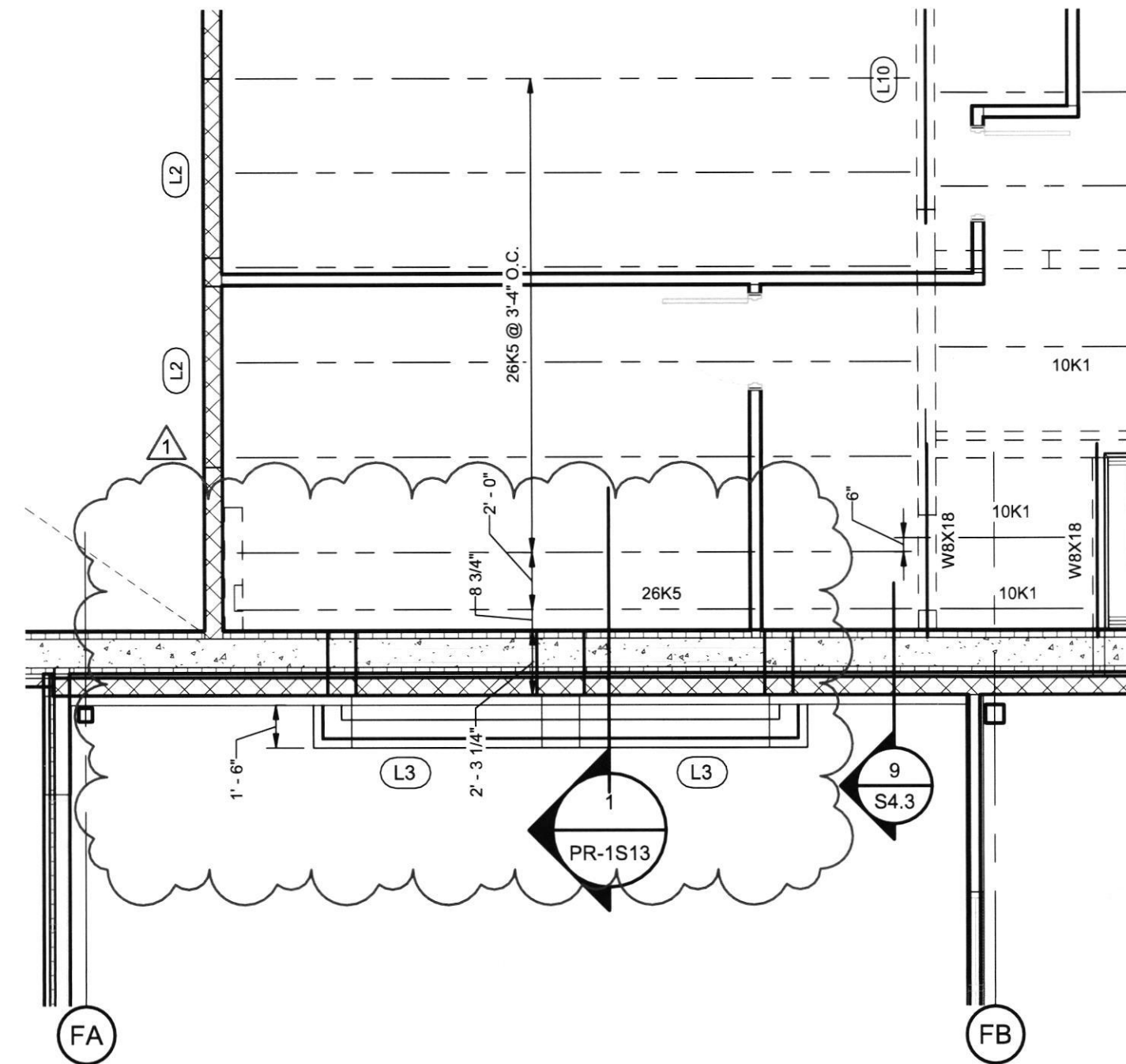
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**PR-1S3**





PLAN NORTH



**1 LEVEL 2 FRAMING PLAN - AREA C**  
SCALE: 3/16" = 1'-0"

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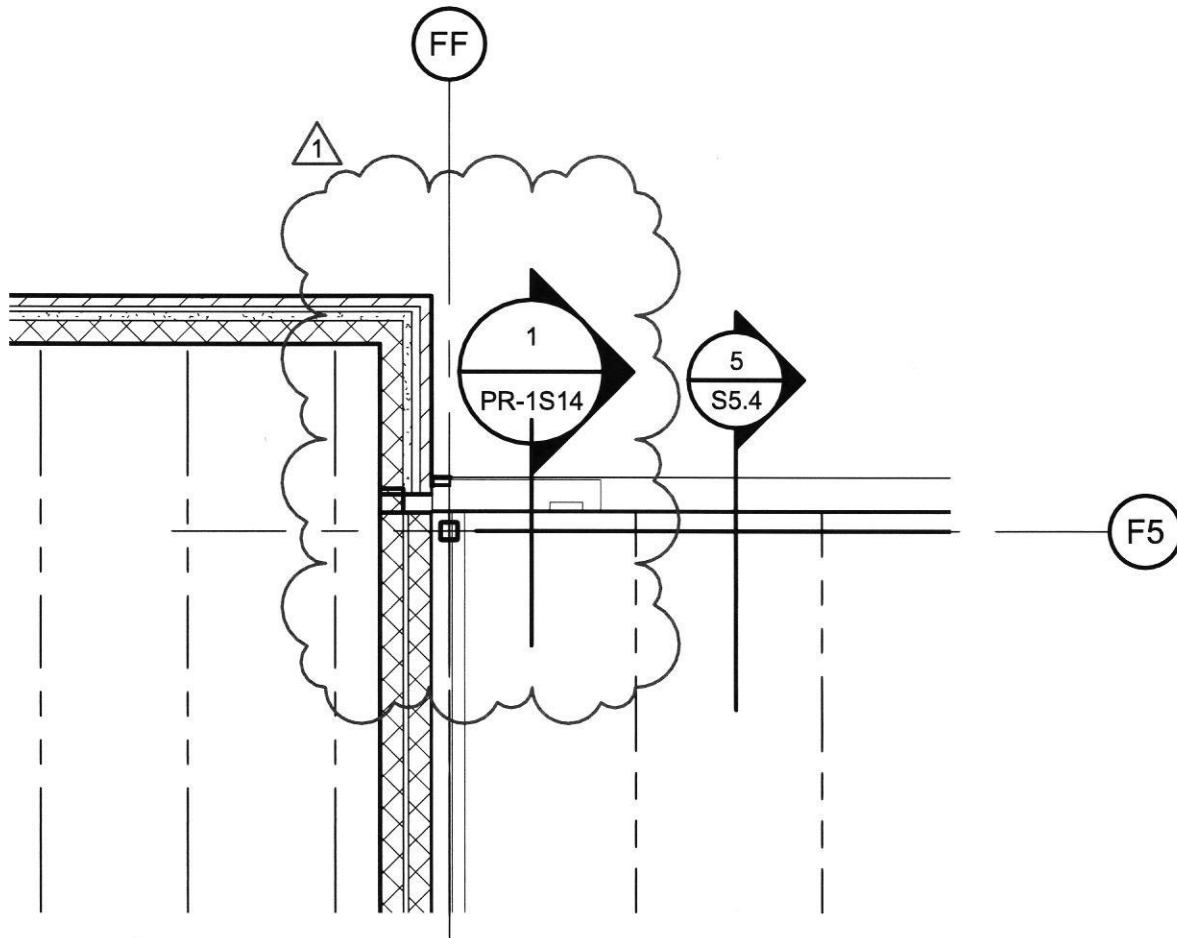
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**PR-1S4**



**1** ROOF FRAMING PLAN - AREA F  
SCALE: 3/16" = 1'-0"

PLAN NORTH



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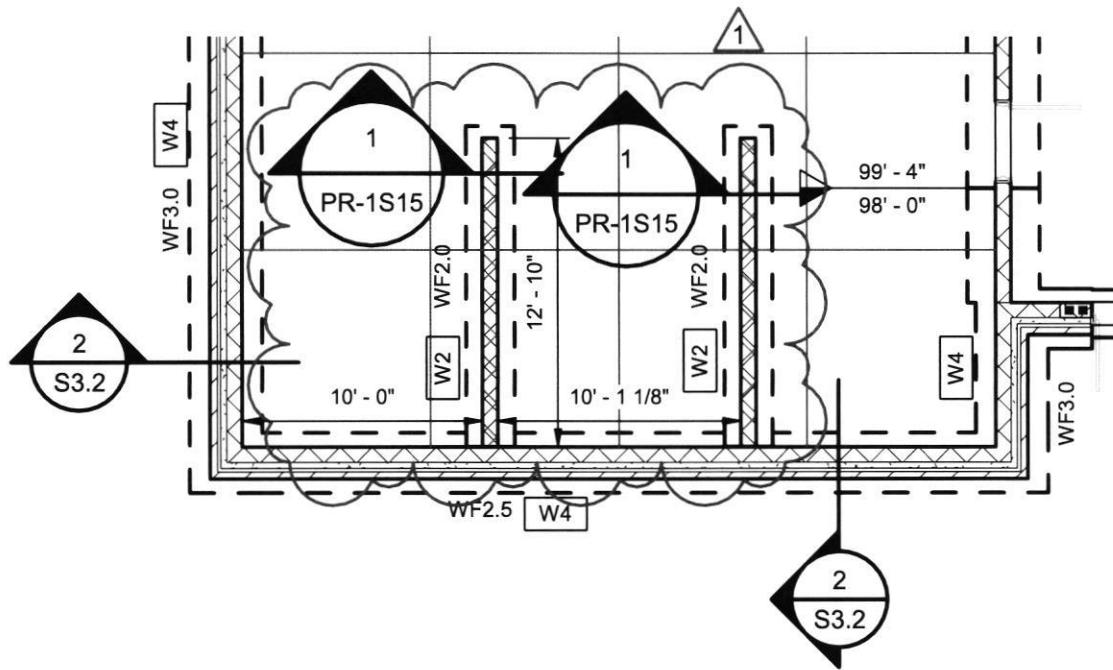
**2106-204**

DATE:

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TYPE OF DRAWING NO.

**PR-1S5**



**1 FOUNDATION PLAN - AREA G**  
SCALE: 1/8" = 1'-0"

PLAN NORTH



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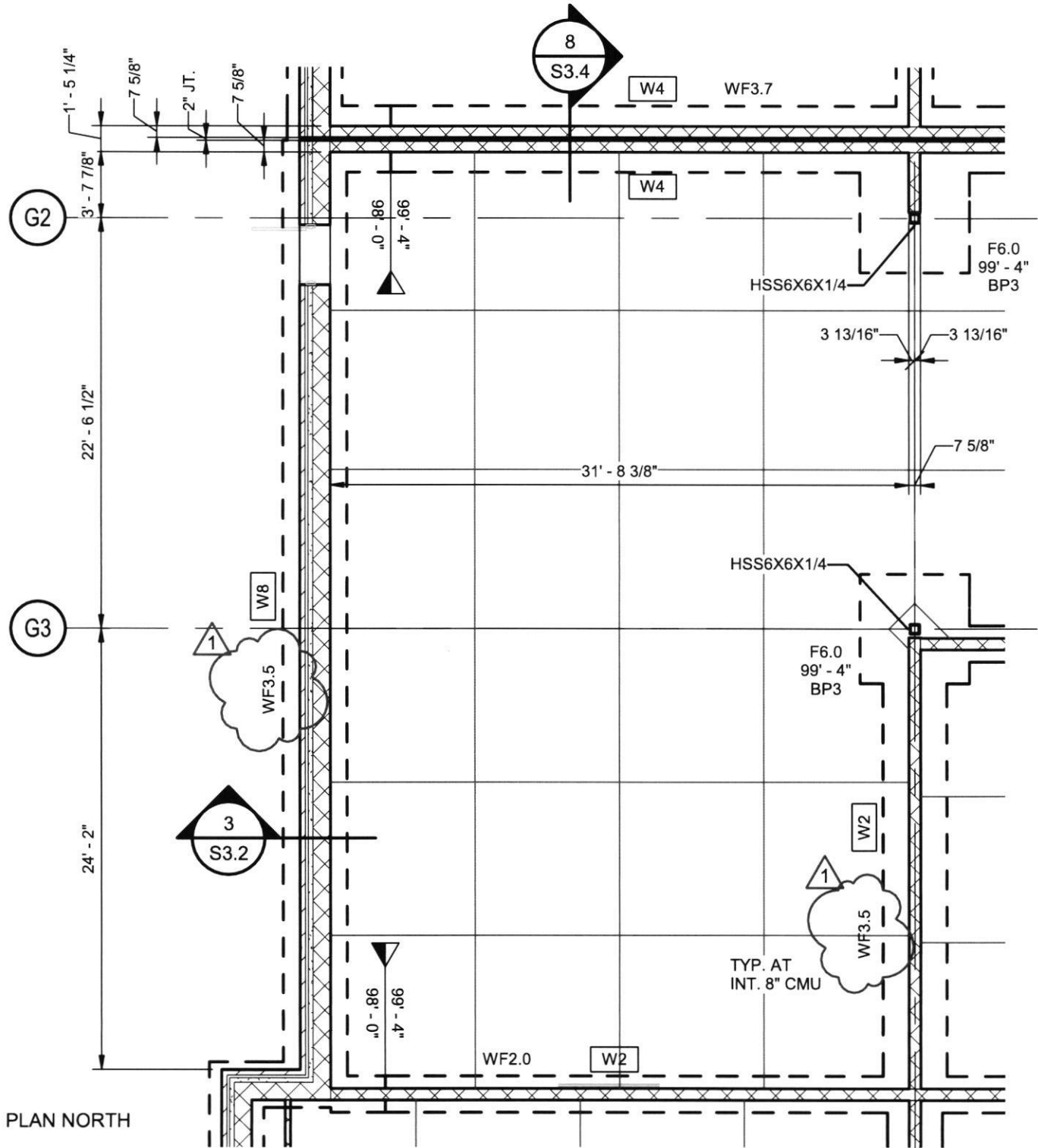
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**PR-1S6**

REFERENCE SHEET S1.1G



1 FOUNDATION PLAN - AREA G  
SCALE: 1/8" = 1'-0"

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PR-1S7

<b>PR-1S8</b> TYPE OF DRAWING NO.		architects • designers • engineers <b>HAFER</b> T: 812.422.4187 F: 812.421.6776 www.hafersdesign.com		HOPKINSVILLE - CHRISTIAN COUNTY ACADEMY KDE # : BG 22-104 5185 FT. CAMPBELL BLVD HOPKINSVILLE, KY 42240	
ARCHITECTS PROJECT NO. <b>2106-204</b> DATE: <b>10/13/23</b>		21 SE Third Street, Suite 800 Evansville, IN 47708			

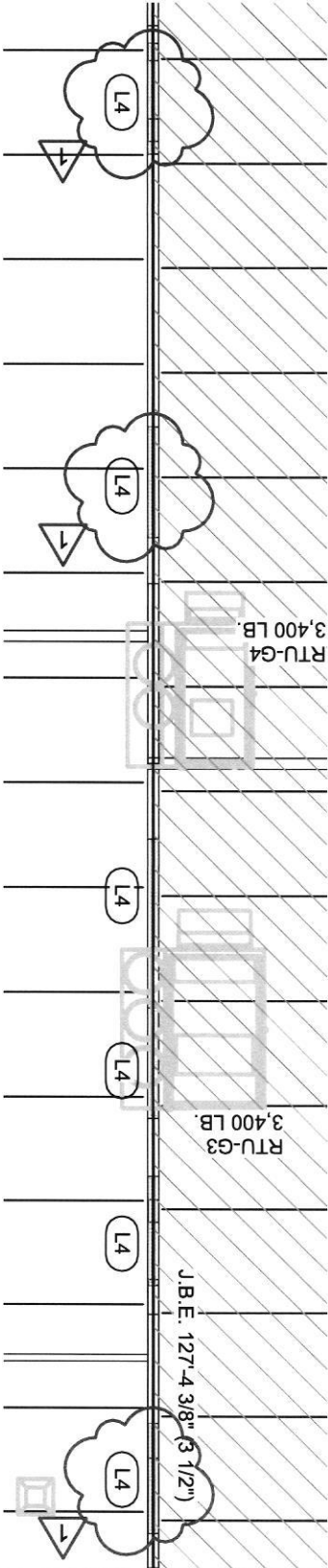


PLAN NORTH

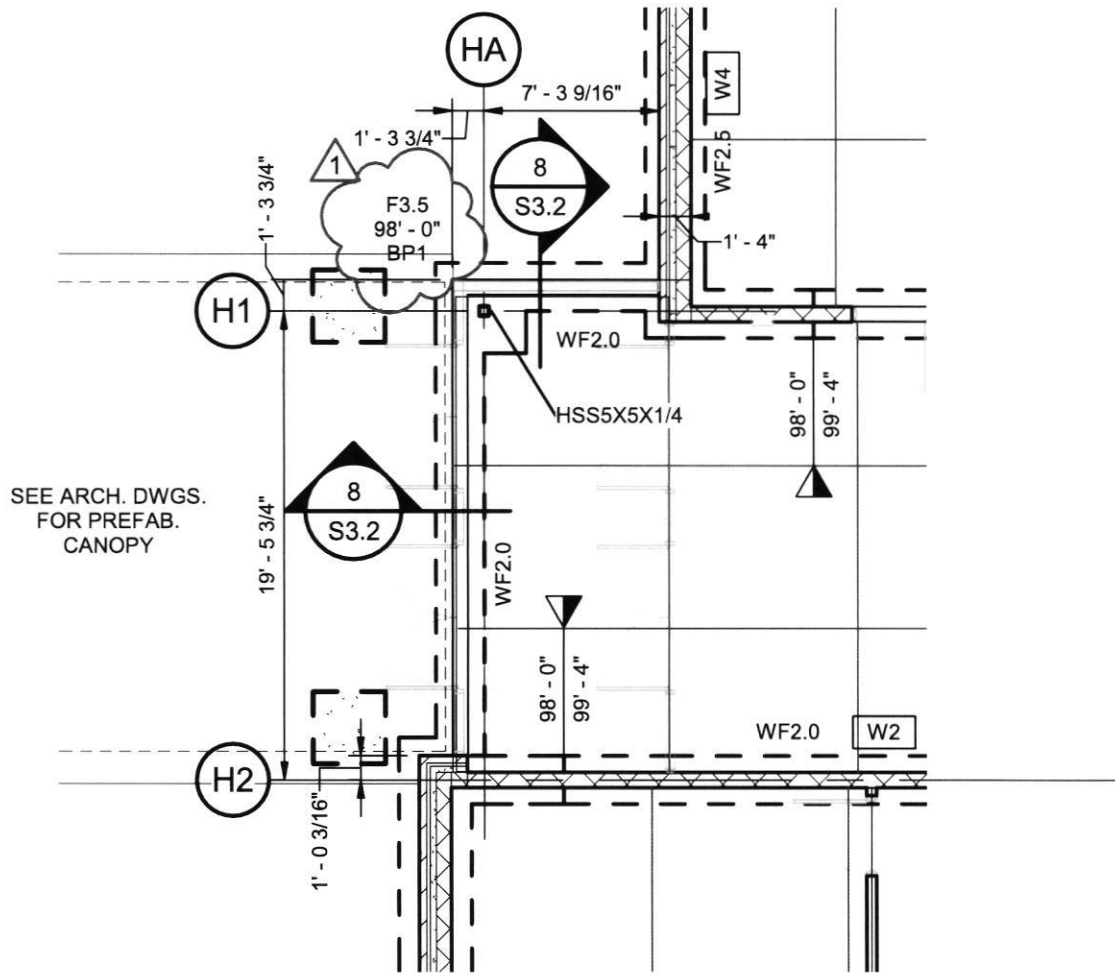


ROOF FRAMING PLAN - AREA G

SCALE: 3/32" = 1'-0"



REFERENCE SHEET S2.2G



1 FOUNDATION PLAN - AREA H  
SCALE: 1/8" = 1'-0"

PLAN NORTH



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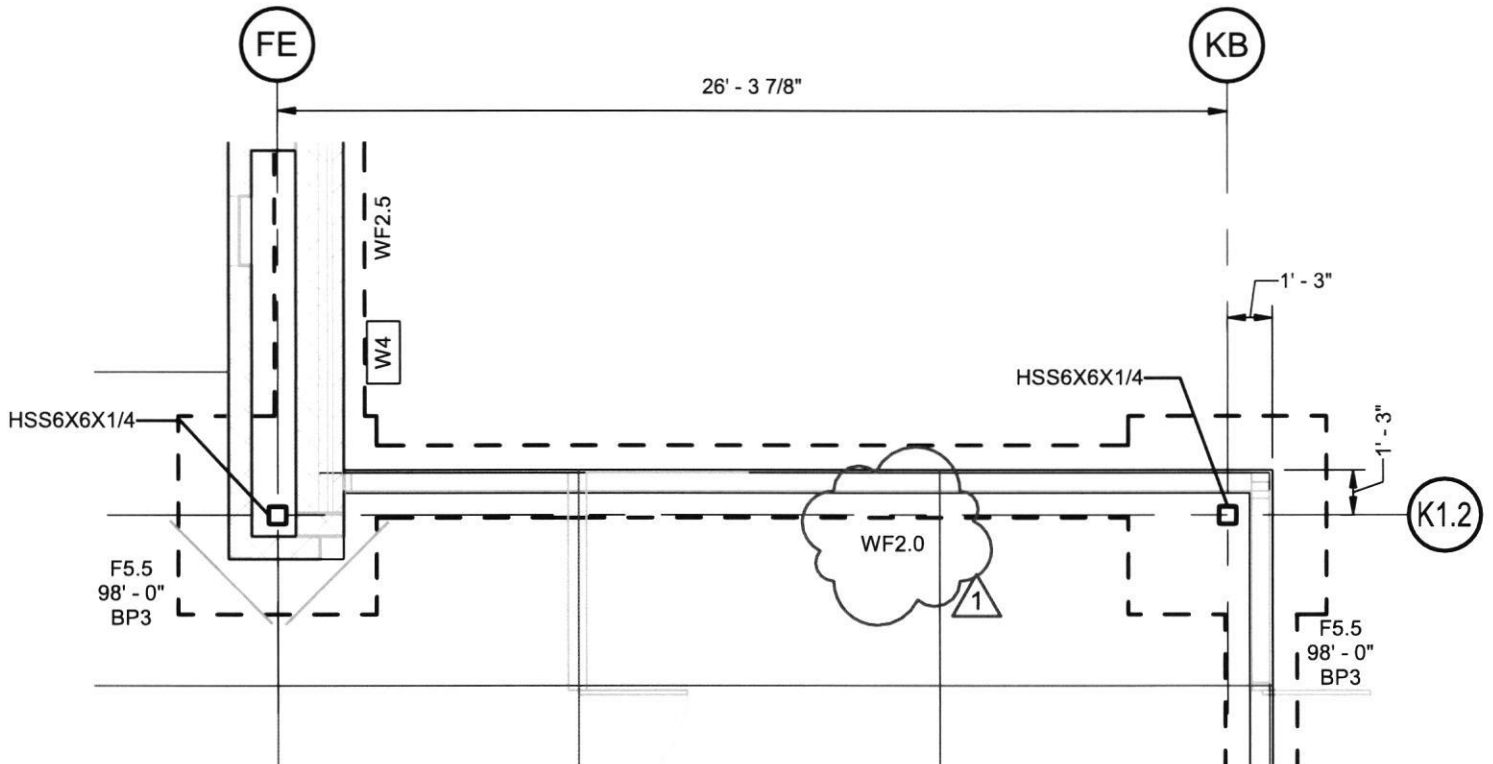
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**2106-204** **10/13/23**

TYPE OF DRAWING NO.

**PR-1S9**



REFERENCE SHEET S1.1K



PLAN NORTH



**1** FOUNDATION PLAN - AREA K  
SCALE: 3/16" = 1'-0"

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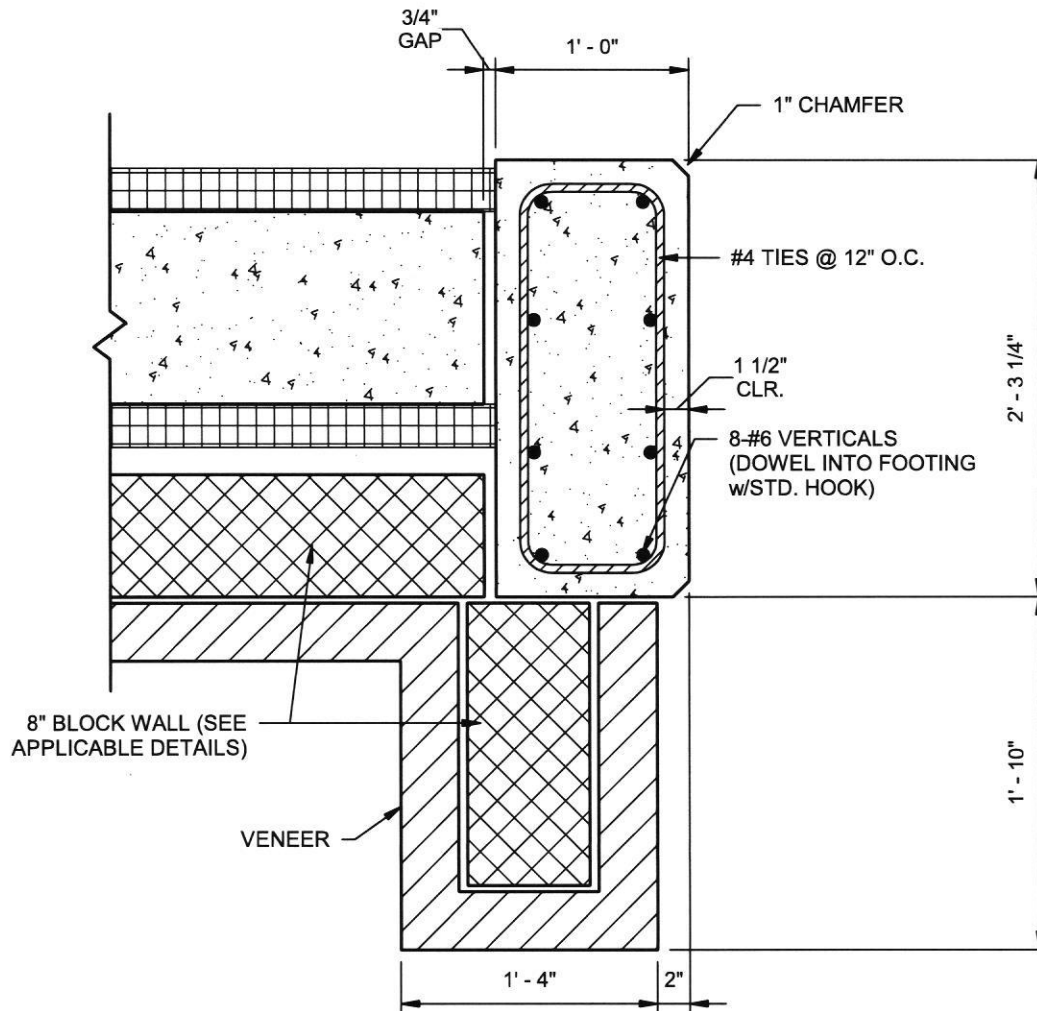
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TYPE OF DRAWING NO.

**PR-1S10**

REFERENCE DETAIL 14/S3.3



**1 CONCRETE COLUMN AT SHELTER**  
SCALE: 1" = 1'-0"

HOPKINSVILLE - CHRISTIAN  
COUNTY ACADEMY

KDE # : BG 22-104

5185 FT. CAMPBELL BLVD  
HOPKINSVILLE, KY 42240

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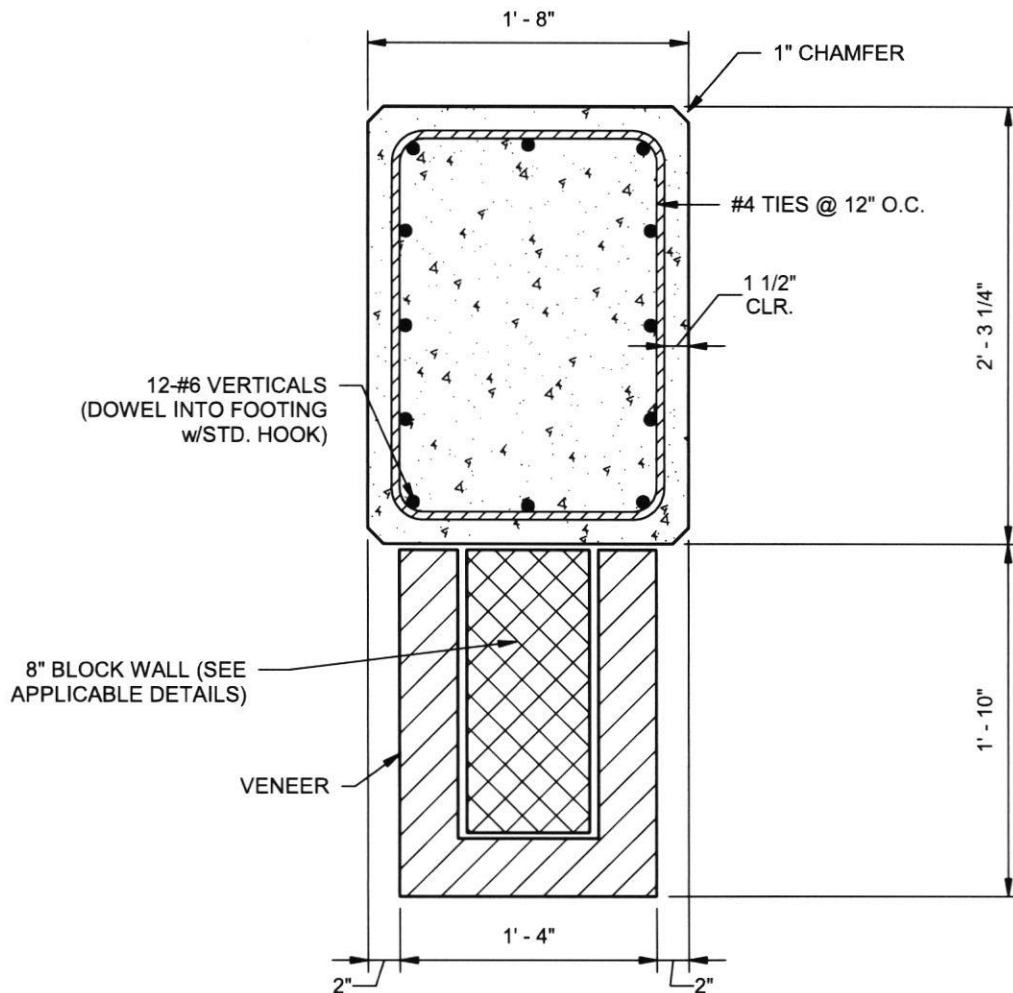
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**10/13/23**

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**PR-1S11**



# 1 CONCRETE COLUMN AT SHELTER

SCALE: 1" = 1'-0"

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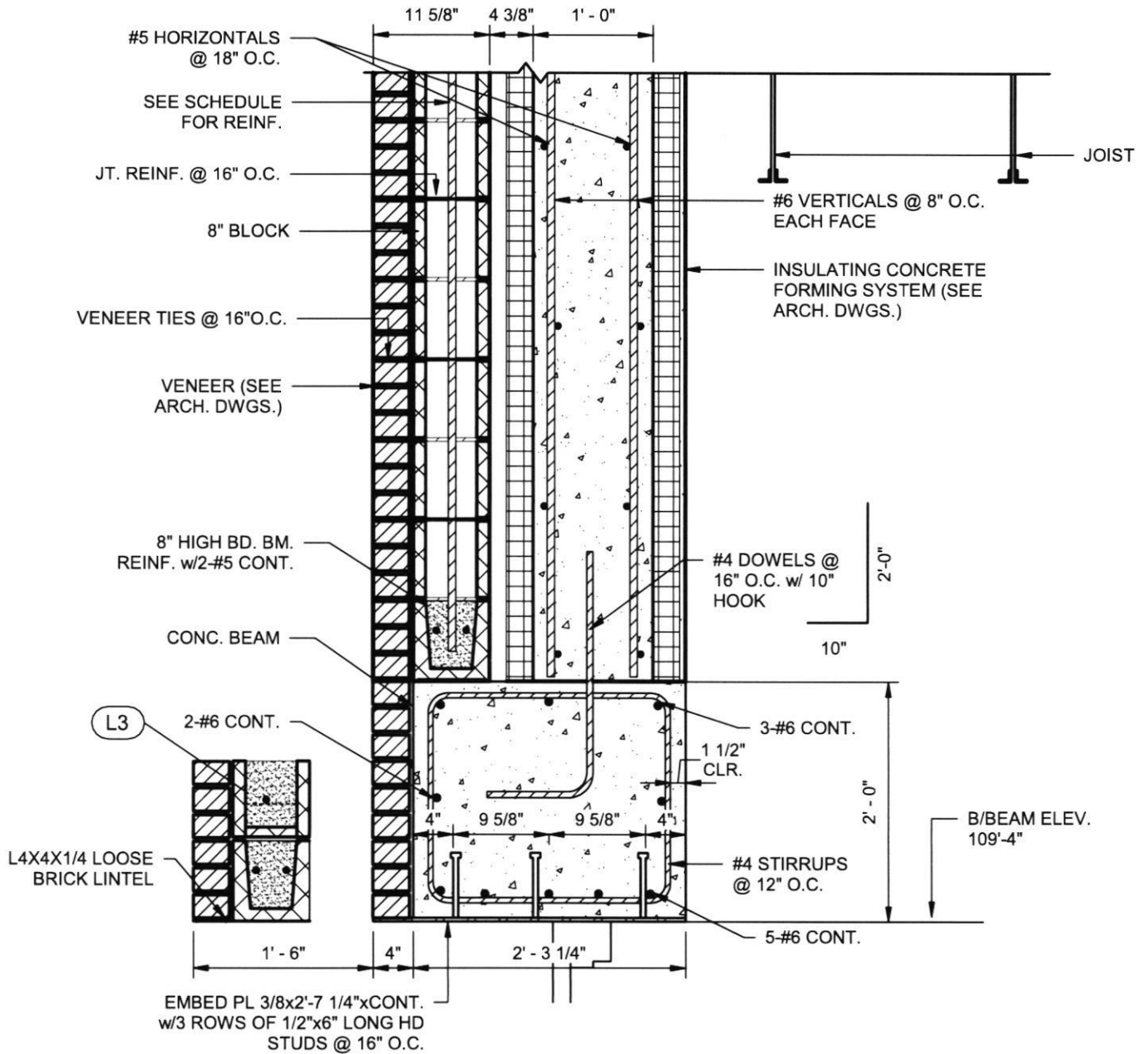
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TYPE OF DRAWING NO.

PR-1S12

REFERENCE DETAIL 8/S4.3



1 CONCRETE PORTAL  
SCALE: 3/4" = 1'-0"

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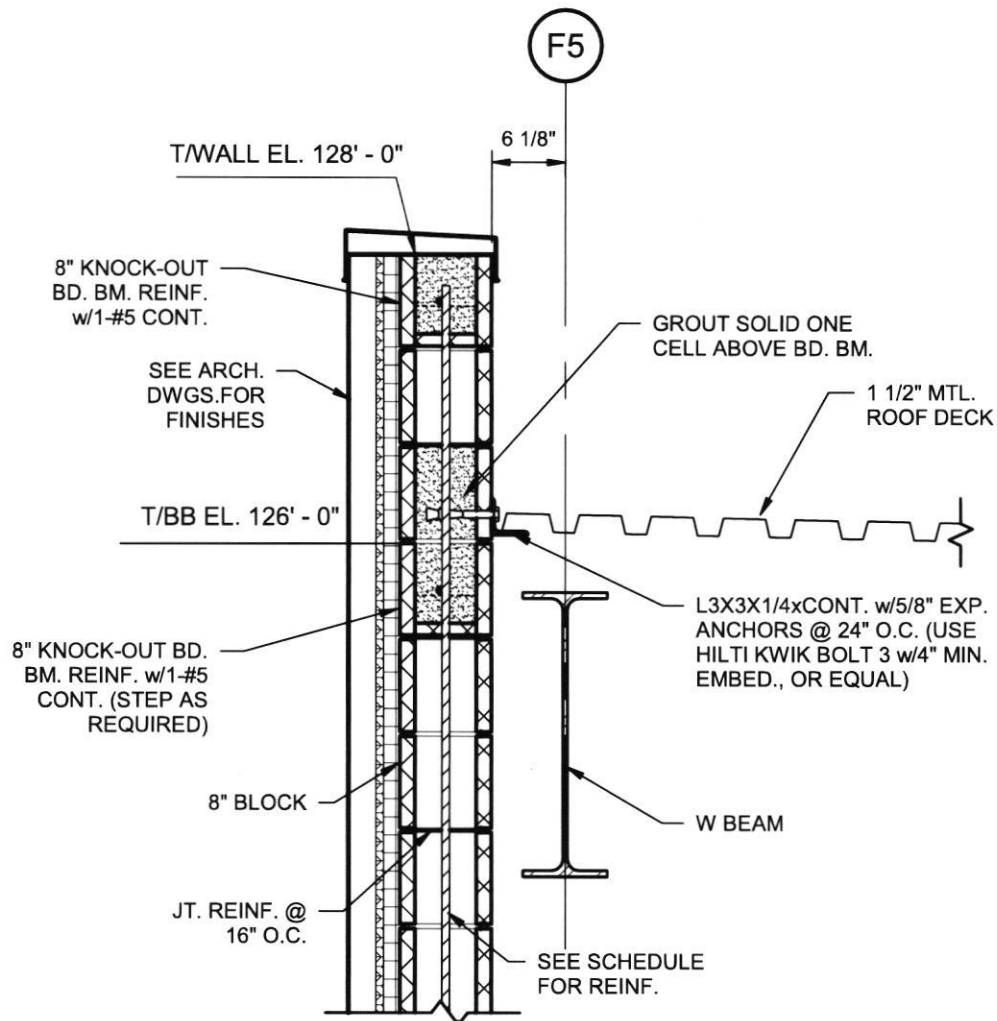
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PR-1S13



# 1 DECK CONNECTION TO WALL

SCALE: 3/4" = 1'-0"

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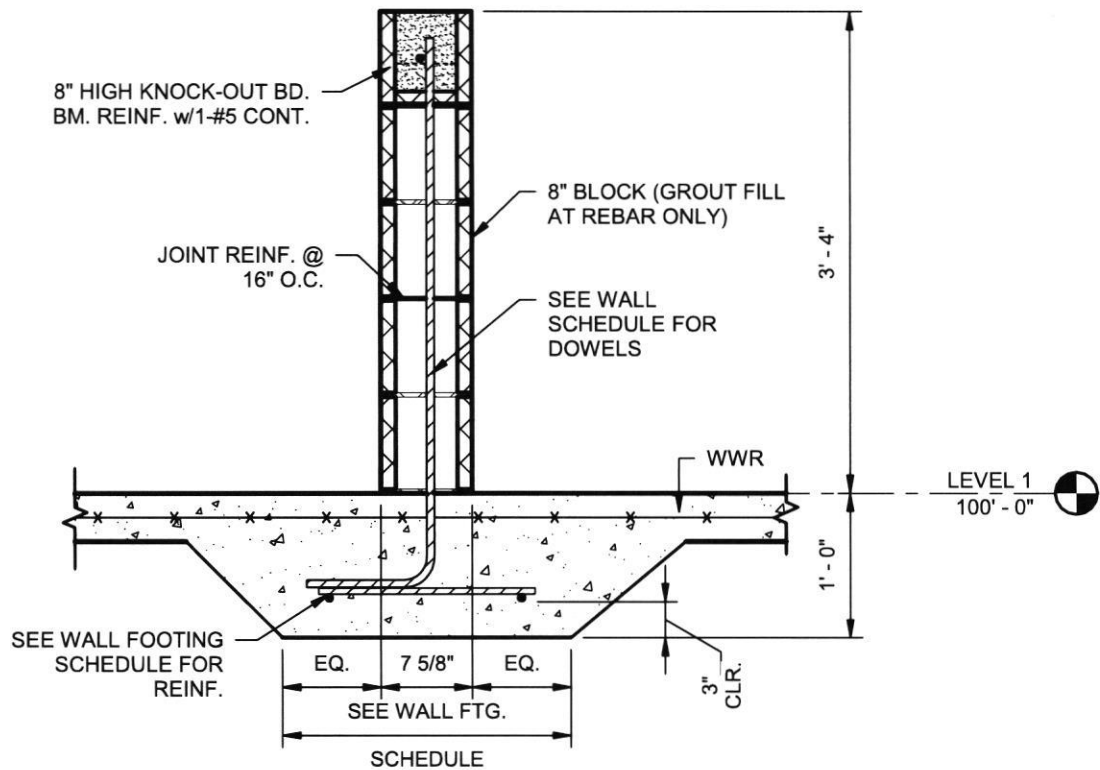
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PR-1S14

**NOTE:**  
 AT CONTRACTOR'S OPTION, HOOKED  
 DOWELS MAY BE REPLACED w/STRAIGHT  
 DOWELS SECURED TO THICKENED SLAB  
 w/HILTI HIT-HY 200 ADHESIVE w/6" EMBED.



# 1 THICKENED SLAB AT CMU

SCALE: 3/4" = 1'-0"

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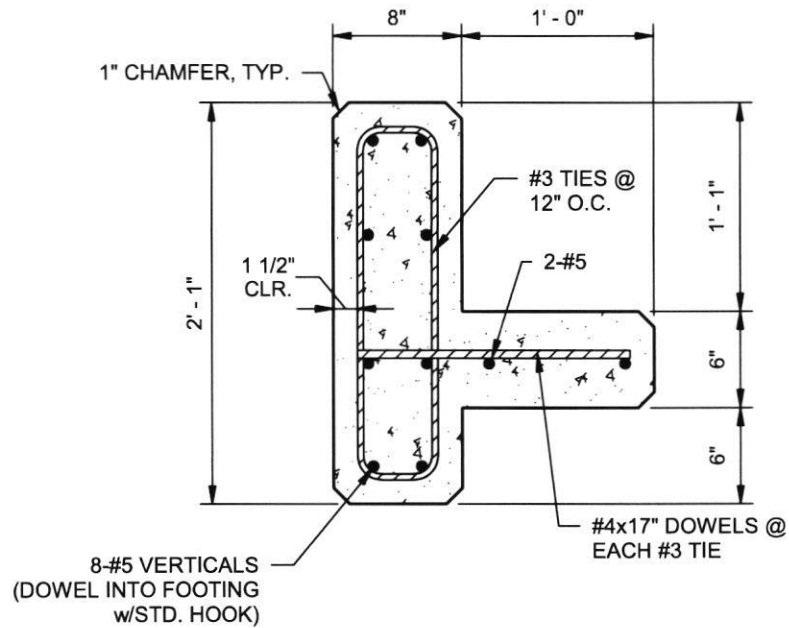
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# 1 CONCRETE COLUMN

SCALE: 1" = 1'-0"

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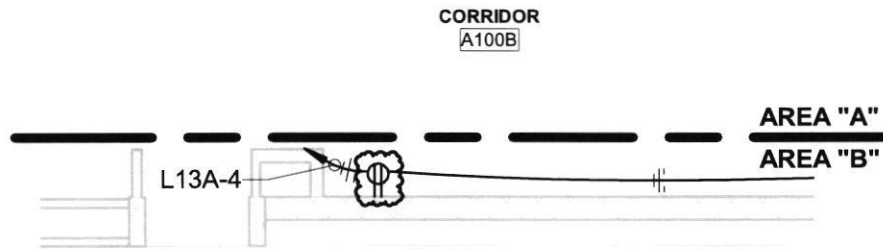
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**PR-1S16**

TEMPERATURE CONTROL SYSTEM LTG CTRL RELAY PANEL SCHEDULE			
Panel ID: LIGHTING CONTROL RELAY PANEL "TCRP11C"			
Location: AREA "C" ELEC ROOM B190			
Surface/Flush: SURFACE MOUNT			
Ctrl Pwr Circuit: PANEL "EH11C" CIRCUIT NO. 12			
Description of Loads: (BUILDING INTERIOR COMMON AREAS LTG)			
Relay #	Circuit	Description	Ltg Ctrl Requirements
1	H11C-6	ZONE "z" - 2ND FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
2	H11C-12	ZONE "y" - 1ST FLR AREA "C" RESTROOM	
3	H11C-12	ZONE "x" - 1ST FLR AREA "C" RESTROOM	
4	H11C-10	ZONE "w" - 1ST FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
5	H11C-20	ZONE "t" - 1ST FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
6	H11C-7	ZONE "s" - 1ST FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
7	H11C-11	ZONE "r" - 1ST FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
8	H11C-14	ZONE "q" - 1ST FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
9	H11C-16	ZONE "p" - 1ST FLR AREA "C" CORRIDOR	(SEE NOTES 1 & 2)
10	EH11C-10	ZONE "a" - EXTERIOR LIGHTING	(SEE NOTE 3)
11	EH11C-10	ZONE "b" - EXTERIOR LIGHTING	(SEE NOTE 4)
12	H11C-22	EXTERIOR LTG - CANOPY (D-O-E-O)	(SEE NOTE 4)
13	EH11C-16	EXTERIOR LTG - CANOPY (D-T-D)	(SEE NOTE 3)
14	EH11C-19	ZONE "c" - EXTERIOR LIGHTING	(SEE NOTE 3)
15	EH11C-19	ZONE "d" - EXTERIOR LIGHTING	(SEE NOTE 4)
16	—	SPARE	
17	—	SPARE	
18	—	SPARE	
<p><b>NOTES:</b></p> <p>1. LIGHTING ZONE SHALL BE CONTROLLED AS FOLLOWS: LIGHTING SHALL BE TURNED "ON" AND HELD "ON" DURING NORMAL BUSINESS TIME PERIODS. DURING AFTER NORMAL BUSINESS HOURS TIME PERIODS, THE LIGHTING SHALL BE CONTROLLED VIA OCCUPANCY SENSORS WITHIN THE ASSOCIATED ZONE SPACE. ON DETECTION OF OCCUPANCY, THE LIGHTING FIXTURES IN THE ASSOCIATED ZONE SHALL BE TURNED "ON" FOR A TIME PERIOD OF 15 MINUTES. AFTER 15 MINUTES OF LACK-OF-DETECTION-OF-OCCUPANCY, THE LIGHTING FIXTURES SHALL BE TURNED "OFF".</p> <p>2. CONTRACTOR SHALL COORDINATE THE NORMAL BUSINESS HOURS WITH THE OWNER AND THE OWNER'S TENANT PRIOR TO START OF PROGRAMMING.</p> <p>3. DUSK-TO-DAWN CONTROL VIA PHOTOCELL. PROVIDE OCCUPANCY SENSOR ON BUILDING EXTERIOR (NORTH SIDE) AWAY FROM ALL SOURCES OF DIRECT ILLUMINATION.</p> <p>4. DUSK "ON" - EARLY "OFF" CONTROL VIA PHOTOCELL SENSOR AND TIMECLOCK. PROVIDE PHOTOCELL CONTROL DEVICE ON BUILDING EXTERIOR (NORTH SIDE) AWAY FROM ALL SOURCES OF DIRECT ILLUMINATION.</p>			

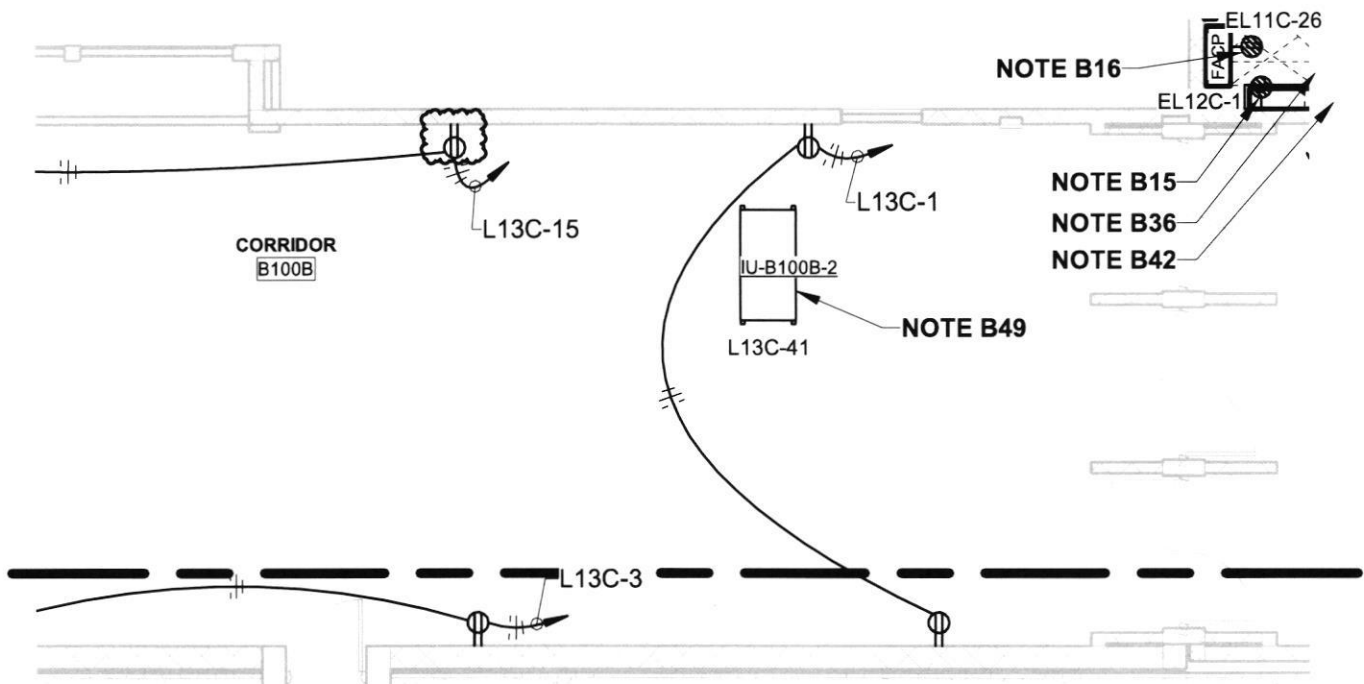
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<div style="text-align: center;">  <p>architects • designers • engineers</p> </div>		
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# POWER PLAN - FIRST FLOOR - AREA "B"

ORIGINAL DETAIL 2 / E2.1B

1/8" = 1'-0"



# POWER PLAN - FIRST FLOOR - AREA "B"

ORIGINAL DETAIL 2 / E2.1B

1/8" = 1'-0"

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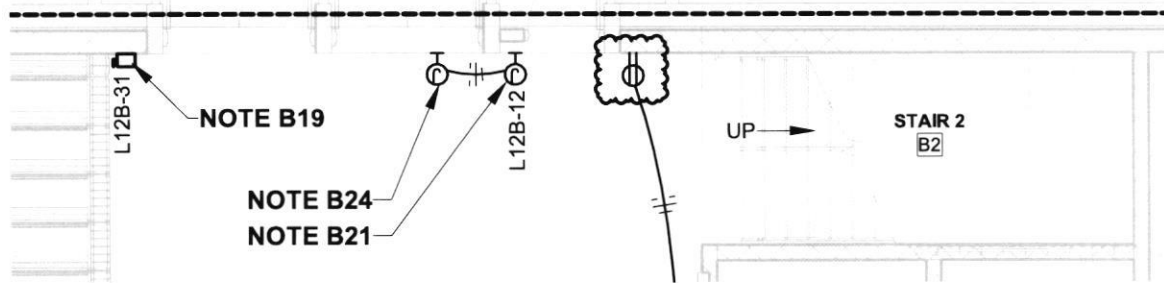
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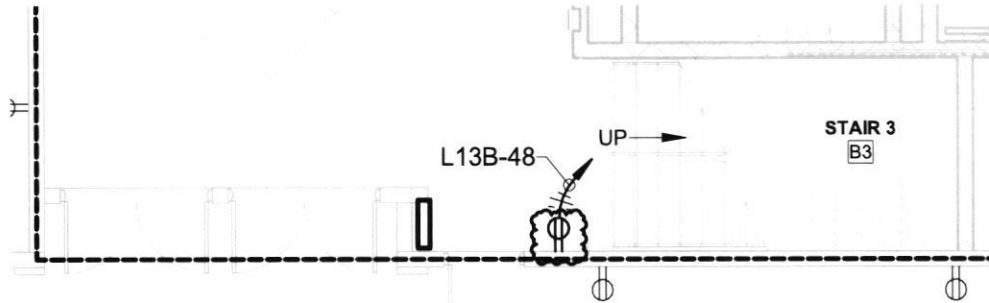
**PR-1E2**



## POWER PLAN - FIRST FLOOR - AREA "B" ALT

ORIGINAL DETAIL 1 / E2.1B-Alt

1/8" = 1'-0"



## POWER PLAN - FIRST FLOOR - AREA "B" ALT

ORIGINAL DETAIL 1 / E2.1B-Alt

1/8" = 1'-0"

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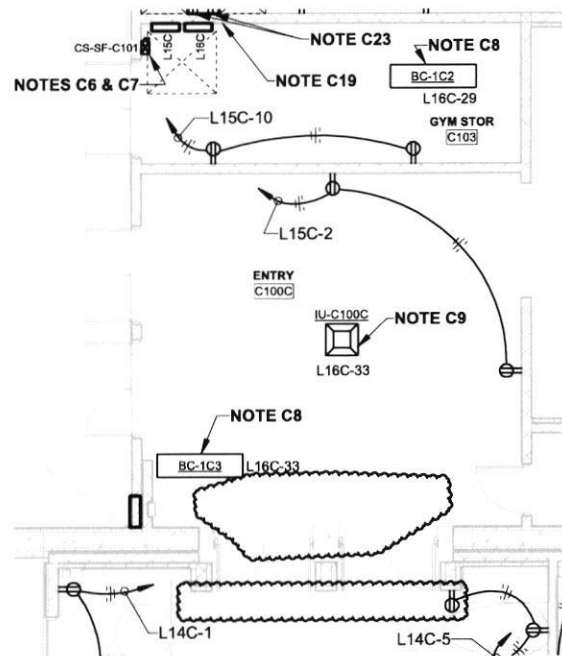
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**PR-1E3**



## POWER PLAN - FIRST FLOOR AREA "C"

ORIGINAL DETAIL 2 / E2.1C

1/8" = 1'-0"

### NOTES (FIRST FLOOR POWER PLAN - AREA "C") [CONT]:

C9. PROVIDE 30A/2 FUSIBLE SAFETY DISCONNECT SWITCH NEAR HVAC UNIT WITHIN THE ACCESSIBLE CEILING CAVITY SPACE. PROVIDE POWER CIRCUIT TO HVAC UNIT (THROUGH DISCONNECT SWITCH) PER THE MANUFACTURER'S REQUIREMENTS. PROVIDE POWER CIRCUIT FROM PANEL AND BRANCH CIRCUIT NO. AS INDICATED USING 2#12, 1#12G IN 3/4"C. PROVIDE FUSING PER THE EQUIPMENT MANUFACTURER'S REQUIREMENTS. COORDINATE REQUIRED INSTALLATION LOCATION IN FIELD WITH THE HVAC UNIT REQUIREMENTS AND ALL OTHER INSTALLATION WITHIN THE AREA.

C10. SEE FIRST FLOOR SYSTEMS & TECHNOLOGY PLAN - AREA "C", SHEET E3.1C, FOR ADDITIONAL REQUIREMENTS.

C11. RECEPTACLE FOR POWER TO AUDIO/VIDEO CONTROL CABINET. COORDINATE THE REQUIRED INSTALLATION LOCATION AND MOUNTING HEIGHT WITH THE INSTALLATION REQUIREMENTS OF THE AUDIO/VIDEO CONTROL CABINET. SEE TYPICAL INSTRUCTOR'S A/V ACCESS CABINET LOCATION ELECTRICAL REQUIREMENT DETAIL, SHEET E1.9, FOR ADDITIONAL REQUIREMENTS.

C12. COORDINATE THE REQUIRED INSTALLATION LOCATIONS AND MOUNTING HEIGHT OF ALL INSTALLATION ALONG THIS WALL WITH THE ARCHITECT PRIOR TO START OF ROUGH-IN.

C13. NOTE NOT USED.

C14. PROVIDE #10AWG CONDUCTORS FOR ALL "PHASE", "NEUTRAL" AND EQUIPMENT GROUND CONDUCTORS FOR ENTIRE LENGTH OF BRANCH CIRCUIT.

C15. PROVIDE POWER CIRCUIT TO THE ISOLATED GROUND TYPE DUPLEX RECEPTACLE WITHIN THE FLOOR BOX FROM PANEL "L15C" CIRCUIT NO. 29 USING 2#12, 1#12G, 1#12(IG) CONDUCTORS WITHIN A DEDICATED 3/4" CONDUIT FROM PANEL TO THE FLOOR BOX.

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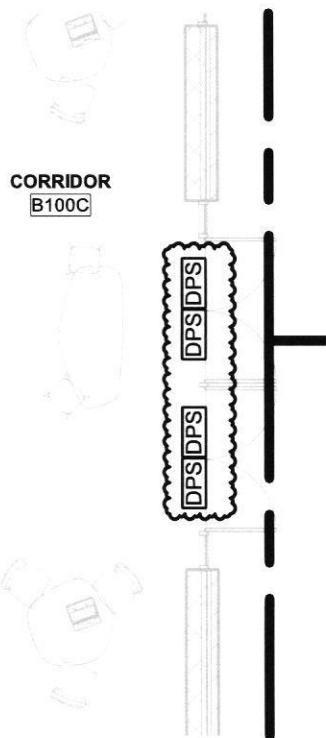
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# SYSTEMS & TECHNOLOGY - FIRST FLOOR - AREA "B"

ORIGINAL DETAIL 2 / E3.1B

1/8" = 1'-0"

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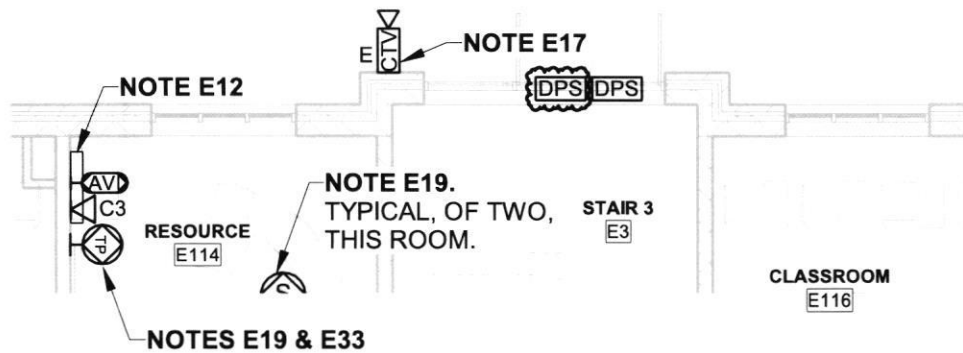
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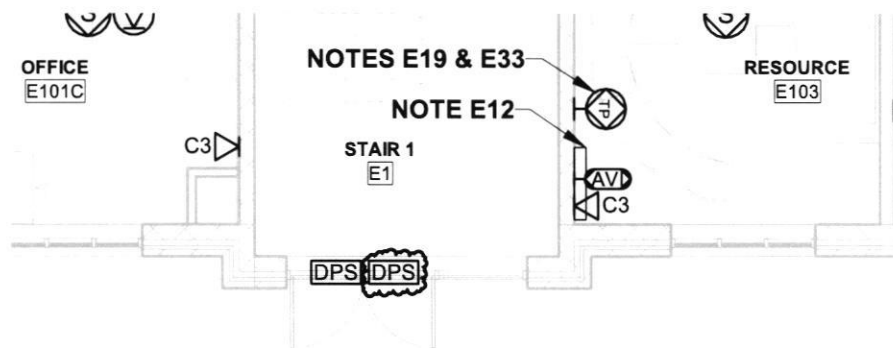
**PR-1E5**



## SYSTEMS & TECHNOLOGY - FIRST FLOOR - AREA "E"

ORIGINAL DETAIL 2 / E3.1E

1/8" = 1'-0"



## SYSTEMS & TECHNOLOGY - FIRST FLOOR - AREA "E"

ORIGINAL DETAIL 2 / E3.1E

1/8" = 1'-0"

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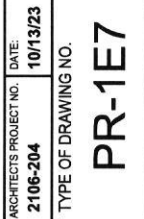
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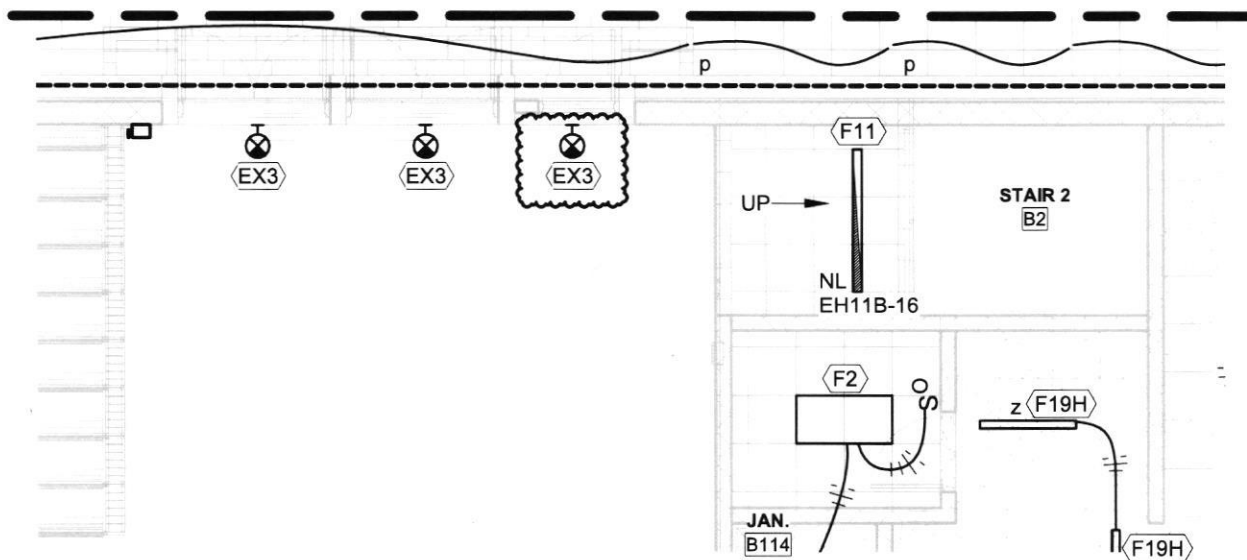
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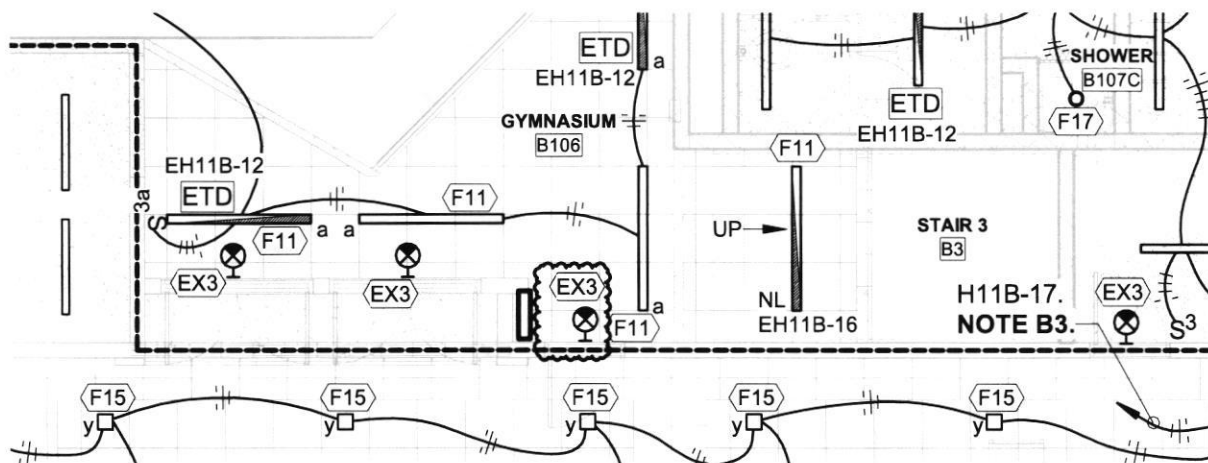




# LIGHTING PLAN - FIRST FLOOR AREA "B" ALT

ORIGINAL DETAIL 1 / E4.1B-Alt

1/8" = 1'-0"



# LIGHTING PLAN - FIRST FLOOR AREA "B" ALT

ORIGINAL DETAIL 1 / E4.1B-Alt

1/8" = 1'-0"

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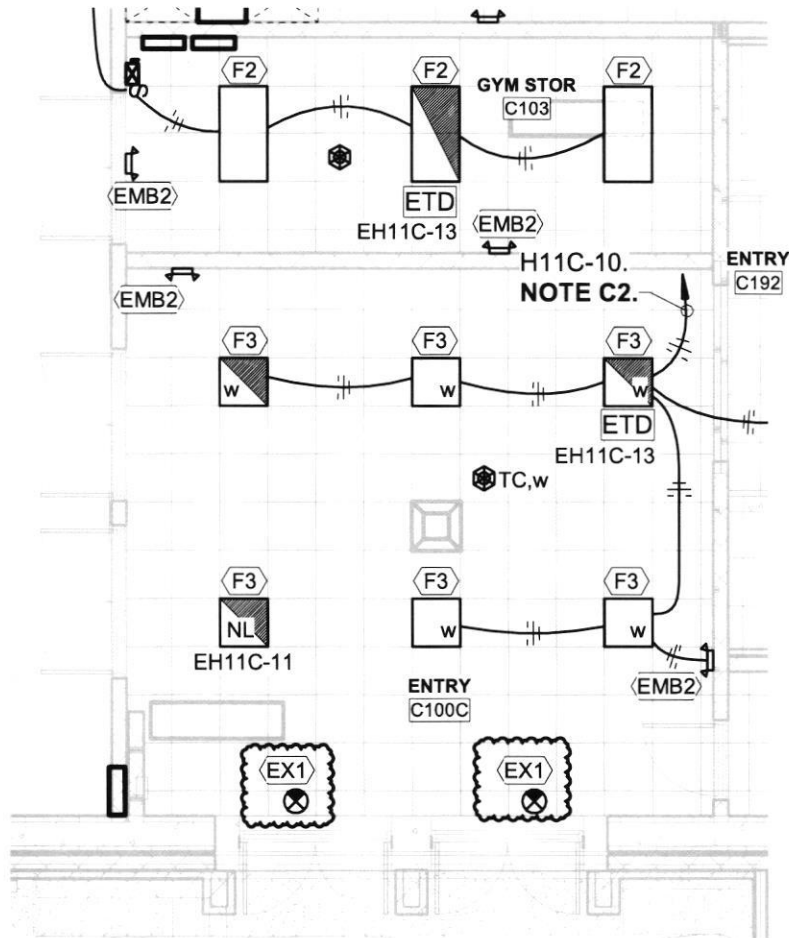
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# LIGHTING PLAN - FIRST FLOOR AREA "C"

ORIGINAL DETAIL 1 / E4.1C

1/8" = 1'-0"

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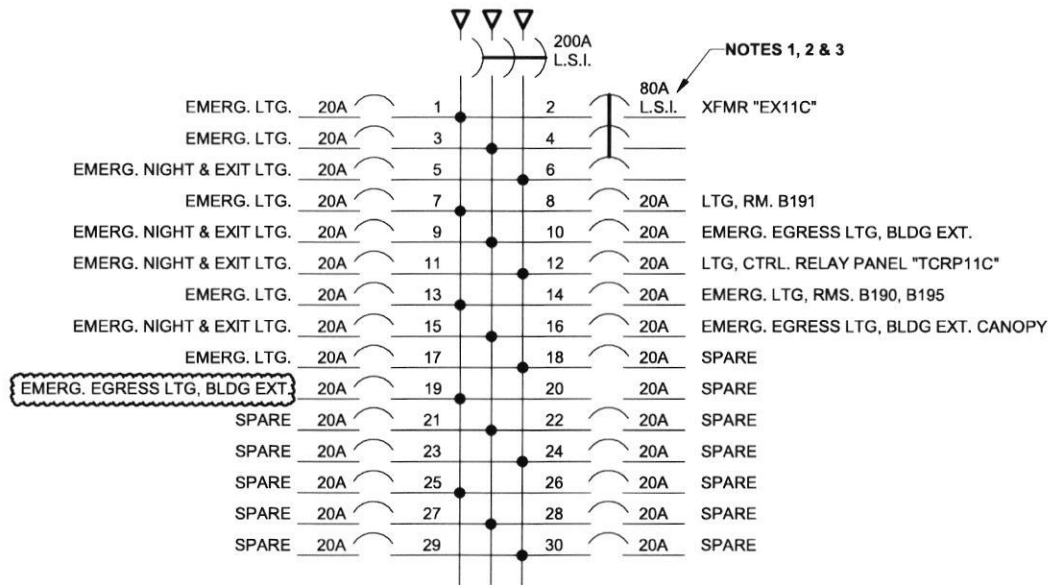
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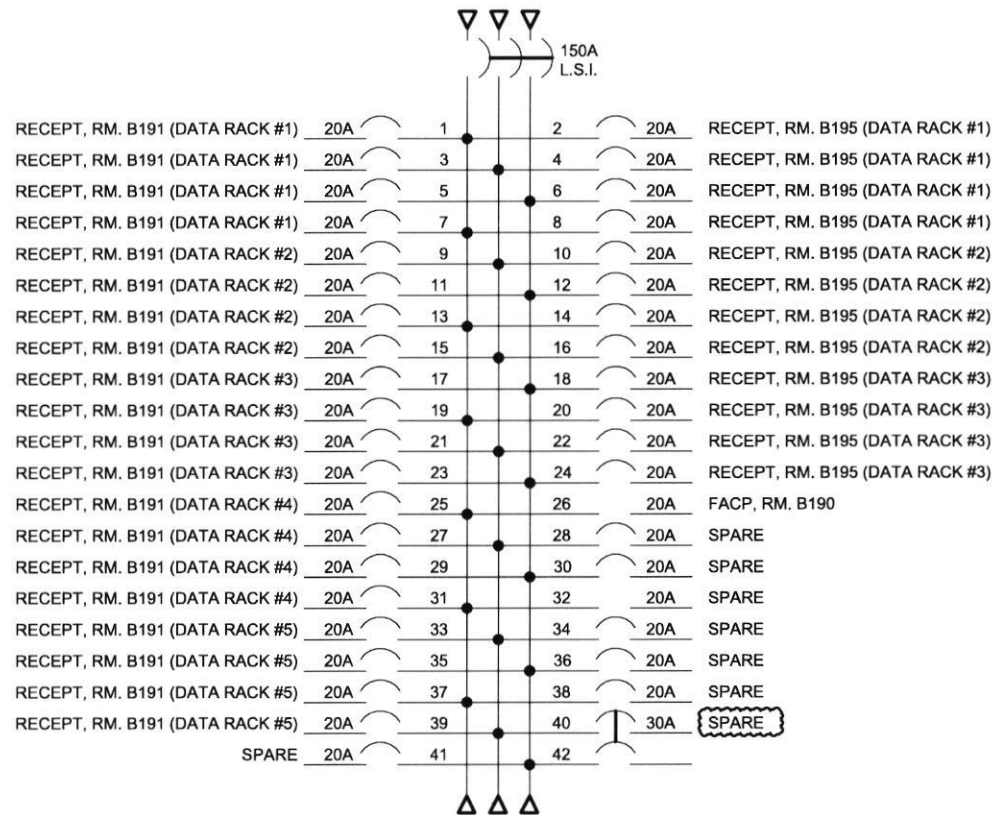
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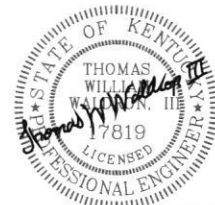
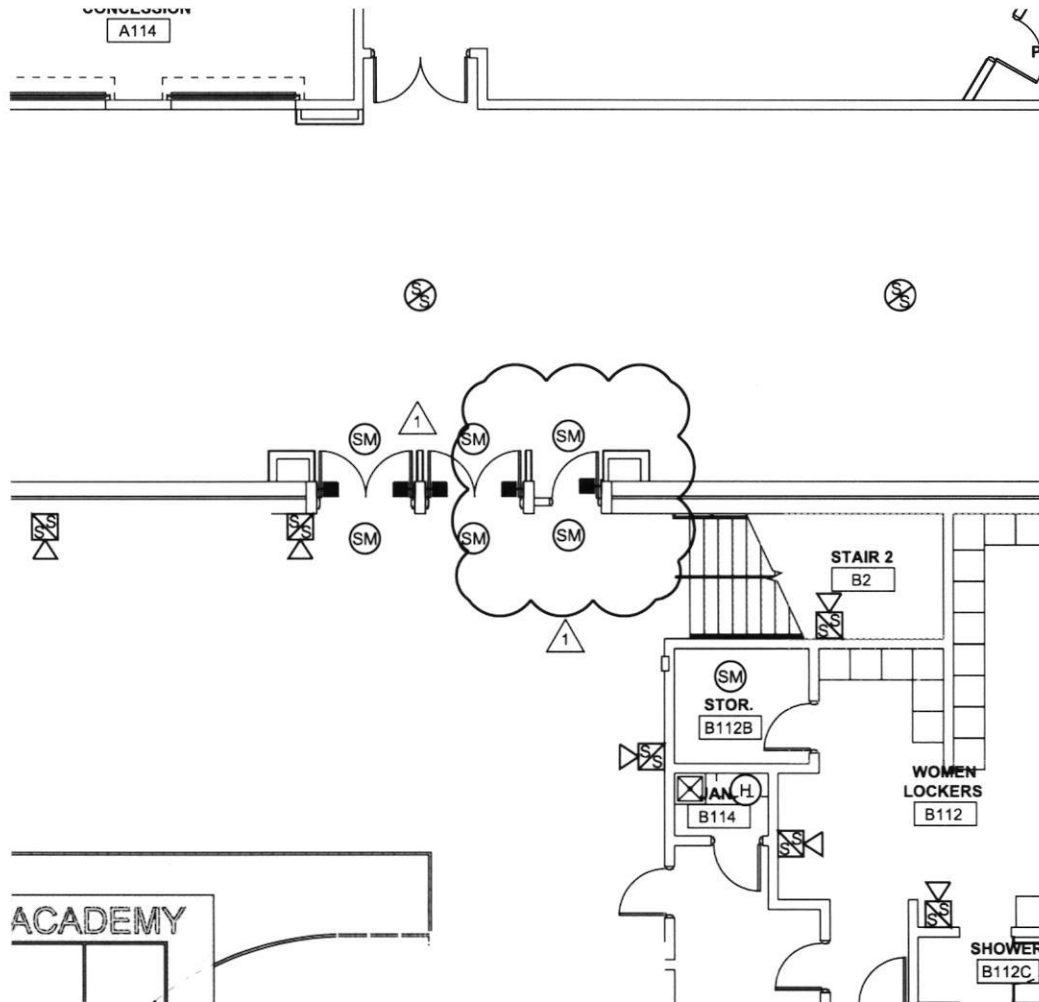
### PANEL "EH11C" [NEC700]

200A, 480Y/277V, 3PH, 4W  
 SURFACE MOUNT  
 30 SPACE  
 18,000 A.I.C.  
 PROVIDE WITH HINGED COVER ENCLOSURE.



# **PANEL "EL11C" [NEC700]**

150A, 208Y/120V, 3PH, 4W  
 SURFACE MOUNT  
 42 SPACE  
 10,000 A.I.C.  
 PROVIDE WITH HINGED COVER ENCLOSURE.  
 PROVIDE WITH FEED-THRU LUGS.



OCT, 2023

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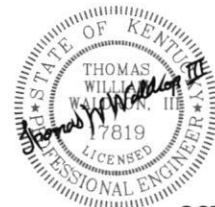
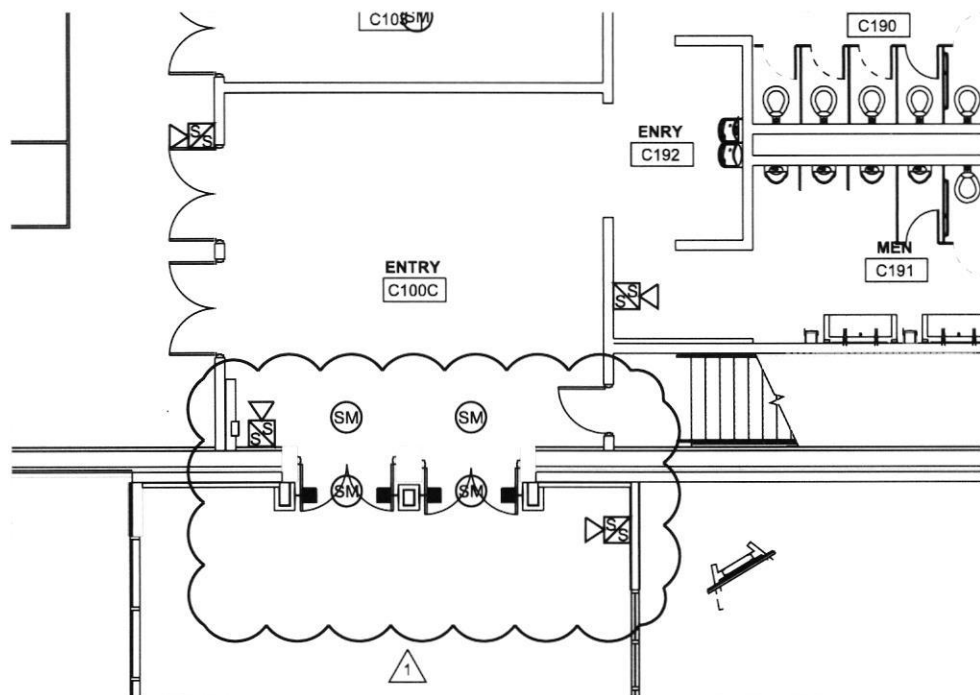
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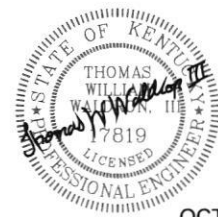
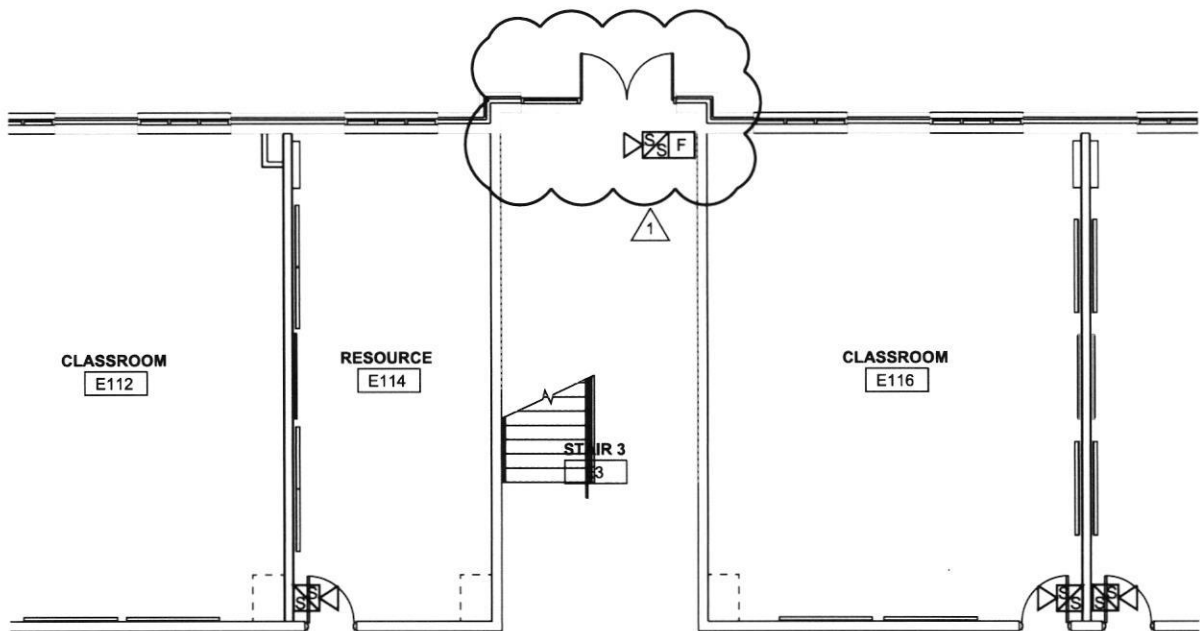
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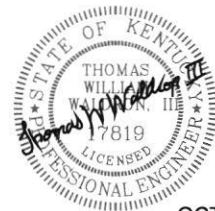
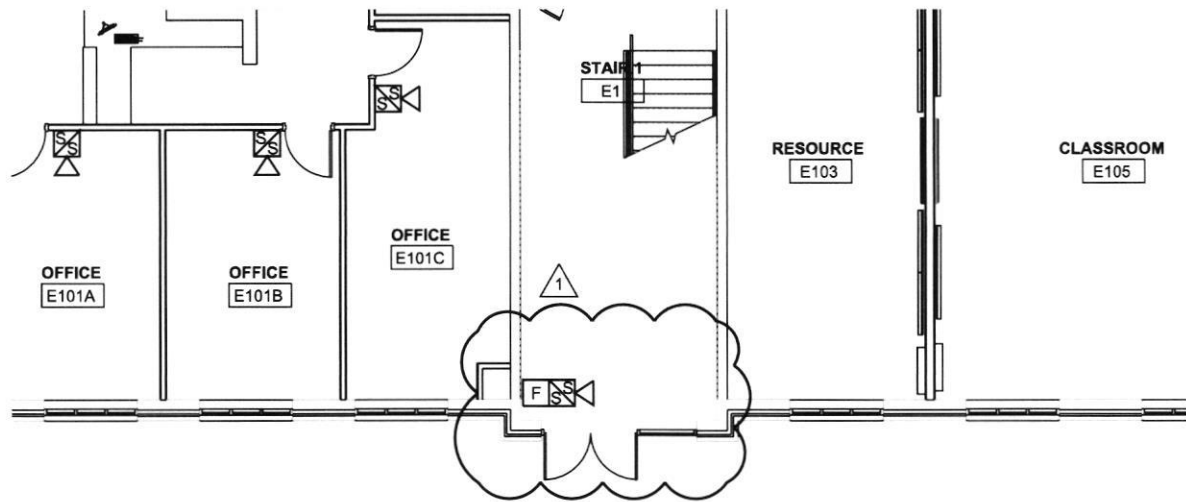
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**Christian County High School  
PROPOSAL REQUEST PRICING SHEET  
ALLIANCE JOB #22-033**

PROPOSED CHANGE REQUEST NO. 1 DATE 11/28/2023

DESCRIPTION DFH changes PR 1

CONTRACTOR Atlas BID PKG. 80

WORK DESCRIPTION \_\_\_\_\_

**A. UNIT PRICING FROM FORM OF PROPOSAL**

1. UNIT PRICING	_____ QTY.	_____ U.P.	\$ -	TOTAL COST
2. UNIT PRICING	_____ QTY.	_____ U.P.	\$ -	TOTAL COST
3. UNIT PRICING	_____ QTY.	_____ U.P.	\$ -	TOTAL COST

**B. MATERIAL**

1. <u>HM frames per attached</u> ITEM	<u>1</u> QTY.	_____ UNIT	\$ 1,024.34
2. <u>HM doors per attached</u> ITEM	<u>1</u> QTY.	_____ UNIT	\$ 1,459.13
3. <u>HDW per attached</u> ITEM	<u>1</u> QTY.	_____ UNIT	\$ 1,500.47
<b>MATERIAL TOTAL</b>			<b>\$ 3,983.94</b>

**LABOR**

1. _____ 16 HOURS @	\$ 56.52	\$/HR	\$ 904.35
2. _____ HOURS @	_____	\$/HR	\$ -
3. _____ HOURS @	_____	\$/HR	\$ -
<b>LABOR TOTAL</b>			<b>\$ 904.35</b>

**EQUIPMENT**

**EQUIPMENT TOTAL** \$ -

MATERIAL, LABOR & EQUIPMENT SUBTOTAL	\$ 4,888.29
15% OVERHEAD/PROFIT MARK-UP	\$ 733.24
DEDUCT DPO (DIRECT PURCHASE ORDER) MATERIAL	\$ -
TOTAL ADD/DEDUCT	\$ 5,621.53

**NOTE: CONTRACTORS ARE TO USE UNIT PRICES WHERE APPLICABLE.**



The Atlas Companies  
5101 Commerce Crossing Drive  
Louisville, Kentucky 40229  
Phone: (502) 714-9867

Project: KY-23-113 - Hopkinsville-Christian Co Acad  
5185 Fort Campbell Blvd  
Hopkinsville, Kentucky 42240

## Prime Contract Change Order #001: CE #003 - PR-001

TO:	Christian County Board of Education 200 Glass Avenue Hopkinsville, Kentucky 42240		
DATE CREATED:	11/28/2023	ATLAS PM:	Carrie Craig
REQUEST RECEIVED FROM:		REVISION:	0
REFERENCE:		CHANGE REASON:	Cost Overage
FIELD CHANGE:	No	CONTRACT FOR:	KY-23-11301:Hopkinsville-Christian Co Acad
SCHEDULE IMPACT:		TOTAL AMOUNT:	

### DESCRIPTION:

CE #003 - PR-001

Pricing below is for the following items requested per PR-001:

- Add HM frames B101.09, B101.10 and change size of D106
- Add HM doors B101.09, B101.10
- Add hardware for B101.9 and B101.10, change hardware for D106 for wider door
- Cylinders for B100D and changing E1 and E3 to pairs
- Remove vertical rods and add mullions headings 001,002,003,004,017,026, 036,037
- Labor

### ATTACHMENTS:

### CHANGE ORDER LINE ITEMS:

PCCO #001

#	SubJob	Cost Code	Description
1	N/A	02-08-1213 - Hollow Metal Frames	Add HM frames B101.09, B101.10 and change size of D106
2	N/A	02-08-1313 - Hollow Metal Doors	Add HM doors B101.09, B101.10
3	N/A	02-08-7000 - Hardware	Add hardware for B101.9 and B101.10, change hardware for D106 for wider door
4	N/A	02-08-7000 - Hardware	Cylinders for B100D and changing E1 and E3 to pairs
5	N/A	02-08-7000 - Hardware	Remove vertical rods and add mullions headings 001,002,003,004,017,026, 036,037

The original (Contract Sum)

Net change by previously authorized Change Orders

The contract sum prior to this Change Order was

The contract sum would be changed by this Change Order in the amount of

The new contract sum including this Change Order will be

The contract time will not be changed by this Change Order.

- ☐ *Change Order Approved - No official paperwork required*  
☐ *Change Order Approved - Official paperwork to follow*

**Christian County Board of Education**

200 Glass Avenue

Hopkinsville, Kentucky 42240

**SIGNATURE**

**DATE**



The Atlas Companies  
5101 Commerce Crossing Drive  
Louisville, Kentucky 40229  
Phone: (502) 714-9867

Project: KY-23-113 - Hopkinsville-Christian Co Acad  
5185 Fort Campbell Blvd  
Hopkinsville, Kentucky 42240

## Prime Contract Change Order #001: CE #003 - PR-001 (Labor)

TO: Alliance Corporation  
Glasgow, Kentucky

DATE CREATED: 11/29/2023

ATLAS PM: Carrie Craig

REQUEST RECEIVED  
FROM:

REVISION: 0

REFERENCE:

CHANGE REASON: Cost Overage

FIELD CHANGE: No

CONTRACT FOR: KY-23-11302:Hopkinsville-Christian Co Acad

SCHEDULE IMPACT:

TOTAL AMOUNT:

### DESCRIPTION:

CE #003 - PR-001

Pricing below is for the labor for the following items:

- Add HM doors B101.09, B101.10
- Add hardware for B101.9 and B101.10, change hardware for D106 for wider door
- Cylinders for B100D and changing E1 and E3 to pairs
- Remove vertical rods and add mullions headings 001,002,003,004,017,026, 036,037

### ATTACHMENTS:

### CHANGE ORDER LINE ITEMS:

PCCO #001

#	SubJob	Cost Code	Description
1	N/A	01-01-1000 - Installation	Labor

The original (Contract Sum)

Net change by previously authorized Change Orders

The contract sum prior to this Change Order was

The contract sum would be changed by this Change Order in the amount of

The new contract sum including this Change Order will be

The contract time will not be changed by this Change Order.

- ☐ Change Order Approved - No official paperwork required
- ☐ Change Order Approved - Official paperwork to follow

Alliance Corporation

Glasgow, Kentucky

SIGNATURE

DATE

# FACPAC Contract Change Order Supplemental Information Form (Ref# 59443)

Form Status: Saved

Tier 1 Project: Consolidated High School

BG Number: 22-104

Status: Active

District: Christian County (HB678)

Phase: Project Initiation (View Checklist)

Contract: The Atlas Companies , 0080, Dr, Frames, Wood Drs, Finish Hardware and Misc  
Specialties

Type: CM Bid Package

Proposed

Change Order Number	1
Time Extension Required	No
Date Of Change Order	2/9/2024
Change Order Amount To Date	Increase

## Construction Contingency

Calculations below are project wide. Remaining negative Construction Contingency may require the submission of a revised BG1.

Current Approved Amount	\$6,320,436.60
Net Approved COs	\$0.00
Remaining After Approved COs	\$6,320,436.60
Net All COs	\$386,110.64
Remaining After All COs	\$5,934,325.96

This Requested Change Order Amount \$5,621.53

+/-

Change In A/E Fee This Change Order \$281.07

+/-

Change In CM Fee This Change Order \$0.00

+/-

Remaining Construction Contingency \$5,934,325.96

Balance

Contract Change Requested By Architect/Engineer

Contract Change Reason Code Expansion of Scope

Change Order Description And Justification

Door and hardware revisions per PR# 1.

Cost Benefit To Owner

The cost of this change order has been reviewed and determined to be reasonable.

Contract unit prices have been utilized No  
to support the cost associated with this

change order.

## Detailed Cost Breakdown

Contract unit prices have not been utilized, provide a detailed cost breakdown which separates labor, material, profit and overhead.

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Detail Item	Amount	Percent of Total
Labor	\$904.35	16.09%
Materials	\$3,983.94	70.87%
Profit and Overhead	\$733.24	13.04%
Bond Insurance		0.00%
<b>Cost Breakdown Total:</b>	<b>\$5,621.53</b>	

Cost for this Change Order supported by an alternate bid or competitive price quote

Explain Why

Executed contract with contractor.

## **Change Order Supplemental Information Form Signature Page (Online Form Ref# 59443)**

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Architect

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Date

---

Construction Manager

---

Date

---

Finance Officer

---

Date

---

Local Board of Education Designee

---

Date